



Hamilton

## COMMITTEE OF ADJUSTMENT

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5  
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

# **NOTICE OF PUBLIC HEARING** **Minor Variance**

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**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
- 

**APPLICATION NO.:** SC/A-20:130

**APPLICANTS:** Owner: Mary & Pasquale Caterini  
Agent: Alfonso Alaimo

**SUBJECT PROPERTY:** Municipal address **381 Mud St. E., Stoney Creek**

**ZONING BY-LAW:** Zoning By-law 05-200, as Amended

**ZONING:** S1 (Settlement Residential) district

**PROPOSAL:** permit the construction of a new Single Detached Dwelling and a 9.144m (30'0") x 15.24m (50'0") one (1) storey accessory building which includes a 4.572m (15'0") x 15.24m (50'0") roofed-over porch (covered patio) notwithstanding that:

1. A minimum easterly side yard of 1.2m shall be provided for the proposed single detached dwelling instead of the minimum required side yard of 3.0m.
2. A maximum parking space size shall not be required instead of the existing regulation requiring a maximum parking space size of 3.0m wide x 6.0m long.
3. A maximum accessory building lot coverage of 140m<sup>2</sup> shall be permitted for all accessory buildings instead of the maximum lot coverage of 97m<sup>2</sup> for all accessory buildings.
4. A maximum accessory building height of 7.2m shall be permitted and a maximum height of 5.8m shall be permitted to the underside of any fascia eaves, overhang or the lower ends of the roof joists, rafters or trusses for the proposed accessory building instead of the requirement that buildings accessory to a residential use shall have a maximum building height of 5.0 metres and the maximum height of the underside of any fascia eaves, overhang or the lower ends of the roof joists, rafters or trusses shall be 3.0 metres.

**NOTE:**

- i) Pursuant to Variance # 3 above, the 4.572m (15'0") x 15.24m (50'0") roofed-over porch (covered patio) attached to the 9.144m (30') x 15.24m (50') accessory building is not included and not required to be included in the lot coverage determination.
- ii) Pursuant to Variance # 3 above, the Agent has indicated that the existing dwelling, existing detached garage and existing two sheds are intended to be demolished once the proposed single detached dwelling and 9.144m (30') x 15.24m (50') detached garage are constructed. If the existing detached garage

and existing two sheds are not demolished; a further variance shall be required as the total lot coverage for all accessory buildings will exceed 140m<sup>2</sup>.

- iii) The Agent has indicated that the existing driveway is to be removed with demolition of the existing dwelling, existing detached garage and existing two sheds. If this driveway is not removed, a further variance shall be necessary in order to allow two (2) driveways as a maximum of one (1) driveway is permitted.
- iv) The Agent has indicated that the proposed accessory building will be used for residential and personal use only. The accessory building shall not be used for commercial or industrial uses or for human habitation.

This application will be heard by the Committee as shown below:

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**DATE:** Thursday, December 3rd, 2020  
**TIME:** 2:15 p.m.  
**PLACE:** Via video link or call in (see attached sheet for details)  
**To be streamed at** [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)  
**for viewing purposes only**

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## PUBLIC INPUT

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

## MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

DATED: November 17<sup>th</sup>, 2020

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

***Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.***




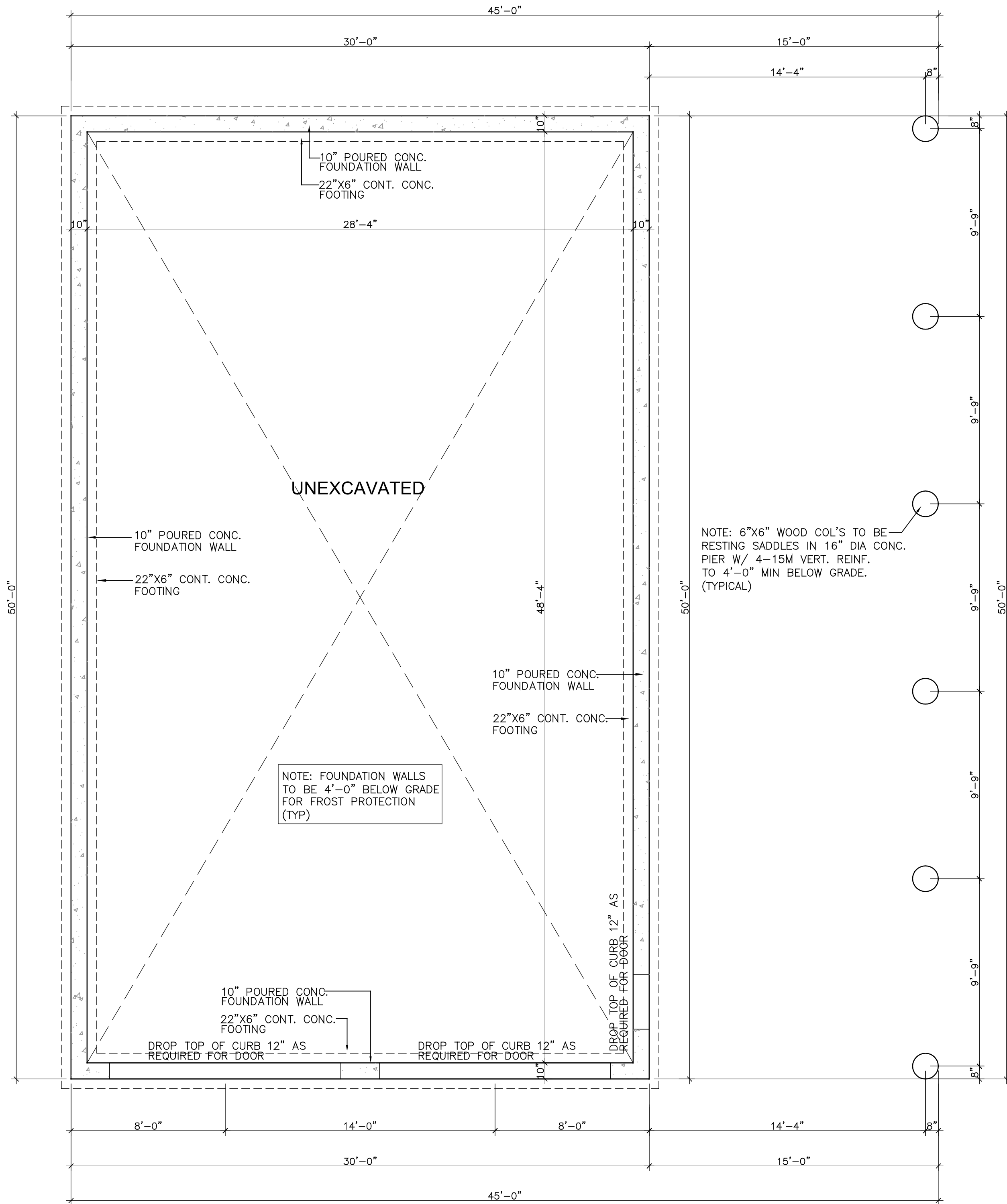






DO NOT SCALE DRAWINGS

<b>CATERINI RESIDENCE</b>		 <b>UNIQUE DESIGNS INC.</b>			
381 MUD ST. HAMILTON, (ST. CRK) ONT.		<b>STORAGE GARAGE</b>		<b>ELEVATIONS</b>	
Drawn By		Scale		No. DATE DESCRIPTION	
Date: 092620		1/4"=1'-0"		1. 09.24.20 ISSUED FOR PERMIT	
Job Number 090220		<b>A1</b>		2. THESE DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF WORK PRIOR TO PROCEEDING. ANY DISCREPANCIES MUST BE REPORTED TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.	
				3. THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.	
				4.	
				5.	
				6.	
				7.	
				8.	



## FOUNDATION PLAN

NOTE: FOUNDATION WALLS TO BE 10" THICK POURED CONCRETE UNLESS NOTED OTHERWISE.  
IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO HAVE ALL GRADES AND SERVICES CHECKED AND VERIFIED GRADING AND SERVICES ENGINEERED  
FOUNDATION WALLS TO BE CONSTRUCTED TO A MIN 6" ABOVE APPROVED GRADES.

### COLUMN SCHEDULE

COL. 1=3-2x4  
COL. 2=4-2x4  
COL. 3=2-2x6  
COL. 4=3-2x6  
COL. 5=4-2x6

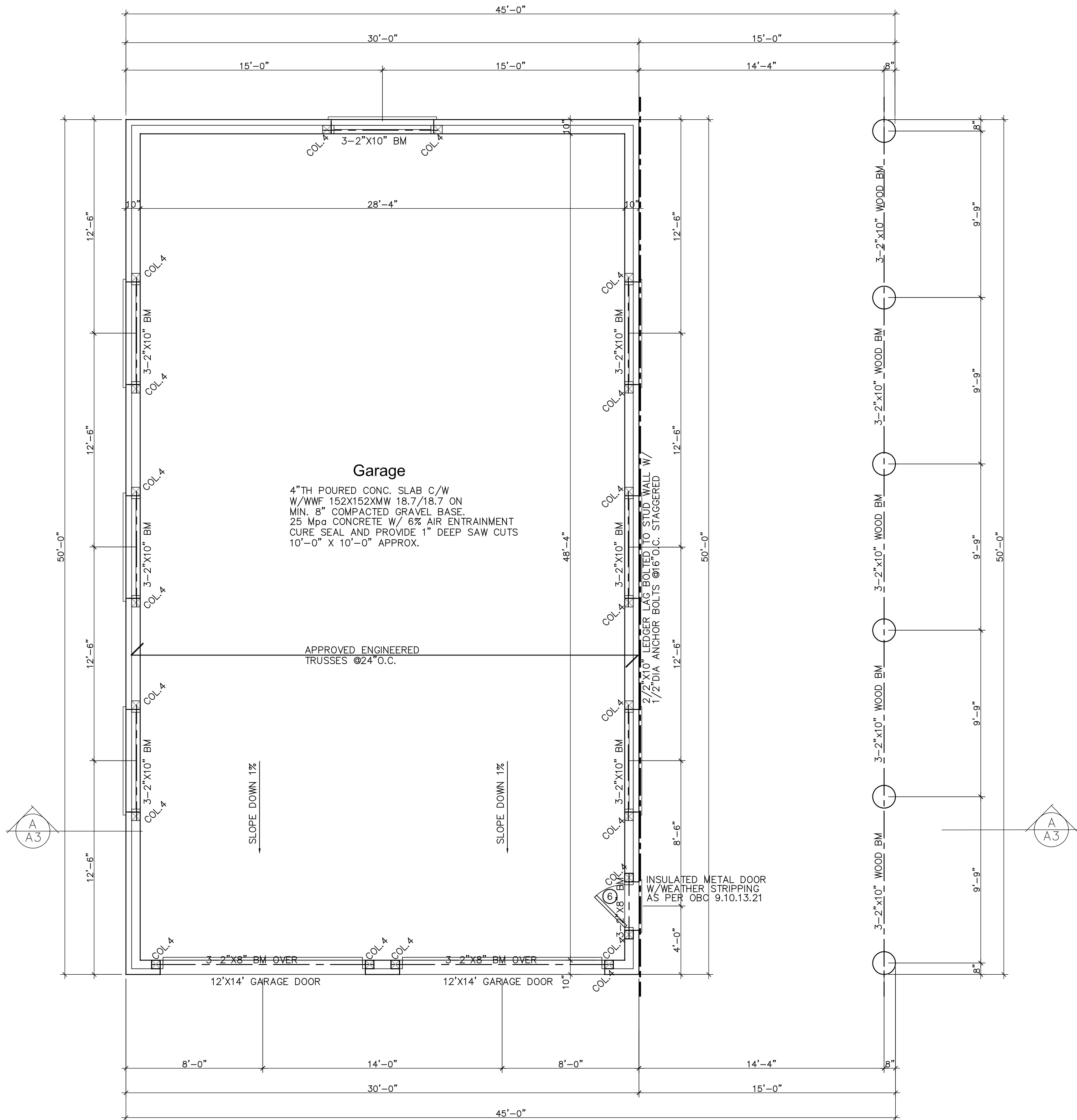
NOTE: VERIFY ALL GRADE AND FLOOR HEIGHTS PRIOR TO CONSTRUCTION. MAKE ANY ADJUSTMENTS REQUIRED TO NUMBER OF RISERS/ STEPS PRIOR TO COMMENCING CONSTRUCTION.

FOR LATERALLY SUPPORTED / UNSUPPORTED FOUNDATION WALLS AT TOP - SEE TABLE 9.15.4.2.A. FOR MAX. HT. PERMITTED

NOTE: NEW CONCRETE FOOTINGS AND FOUNDATION WALL SOIL BEARING CAPACITY IS ASSUMED AT 75 Kpa OR GREATER.

STEEL LINTEL SCHEDULE		
CLEAR SPAN	LINTEL SIZE	
	BRICK	STONE
2'-6"	L 3"x3"x1/4"	L 4"x3"x1/4"
3'-11"	L 3 1/2"x3 1/2"x1/4"	L 5"x3 1/2"x5/16"
4'-11"	L 3 1/2"x3 1/2"x5/16"	L 5"x3 1/2"x5/16"
5'-11"	L 4"x3 1/2"x5/16"	L 5"x5"x5/16"
6'-11"	L 5"x3 1/2"x5/16"	L 5"x5"x5/16"
7'-10"	L 5"x3 1/2"x5/16"	L 5"x5"x5/16"
8'-10"	L 5"x3 1/2"x3/8"	L 5"x5"x3/8"
9'-10"	L 6"x4"x3/8"	L 5"x5"x1/2"

STEEL LINTELS SHOWN IN ABOVE CHART SHALL HAVE EVEN AND LEVEL BEARING AND SHALL HAVE NOT LESS THAN 6" LENGTH OF BEARING AT END SUPPORTS.



## FLOOR PLAN

1500 SQ FT

IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO HAVE ALL GRADES AND SERVICES CHECKED AND VERIFIED GRADING AND SERVICES ENGINEERED

PROPOSED GRADE LINE AS INDICATED ARE FOR REFERENCE ONLY AND DO NOT

NOTE: VERIFY ALL ELECTRICAL LIGHTING FIXTURES, OUTLET PLUGS ETC. WITH OWNER PRIOR TO INSTALLATION.

USE ONLY WHERE 'LVL'S' ARE NOT SPECIFIED

WOOD LINTEL LEGEND
FOR WOOD OPENINGS :
44" OR LESS USE 2/2"x8"
66" OR LESS USE 2/2"x10"
88" OR LESS USE 2/2"x12"
PROVIDE INSUL. BETWEEN HEADERS IF POSSIBLE

NOTE: ALL OVERHANGS 16" UNLESS NOTED OTHERWISE

Note to Truss Manufacture.

The Truss Manufacture will; (1) Design and specify all Girder Trusses and Beams that only carry roof loads. (2) Ensure that all Roof Beams and Girder Trusses have been designed around the Architectural structural design and therefore have full bearing to the footings in the basement. (3) Automatically upgrade and provide calculations for any Architecturally specified beams that will carry roof point loads. (4) Design and specify all Conventional Roof Framing over and between manufactured roof trusses systems needed to complete overall roof shape. (5) Provide the Local Municipality with Engineered documents for any of the above mentioned items if required.

DO NOT SCALE DRAWINGS



UNIQUE DESIGN INC.

STORAGE GARAGE

PLANS

CATERINI  
RESIDENCE

381 MUD ST.  
HAMILTON, (ST. CRK) ONT.

Drawn By  
Date:  
Job Number  
090220

Scale  
1/4"=1'-0"

A2

No. DATE DESCRIPTION

1. 09.24.20 ISSUED FOR PERMIT

2.

3.

4.

5.

6.

7.

8.

THESE DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL STRUCTURES AND SERVICES PRIOR TO CONSTRUCTION. ANY DISCREPANCIES MUST BE REPORTED TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.

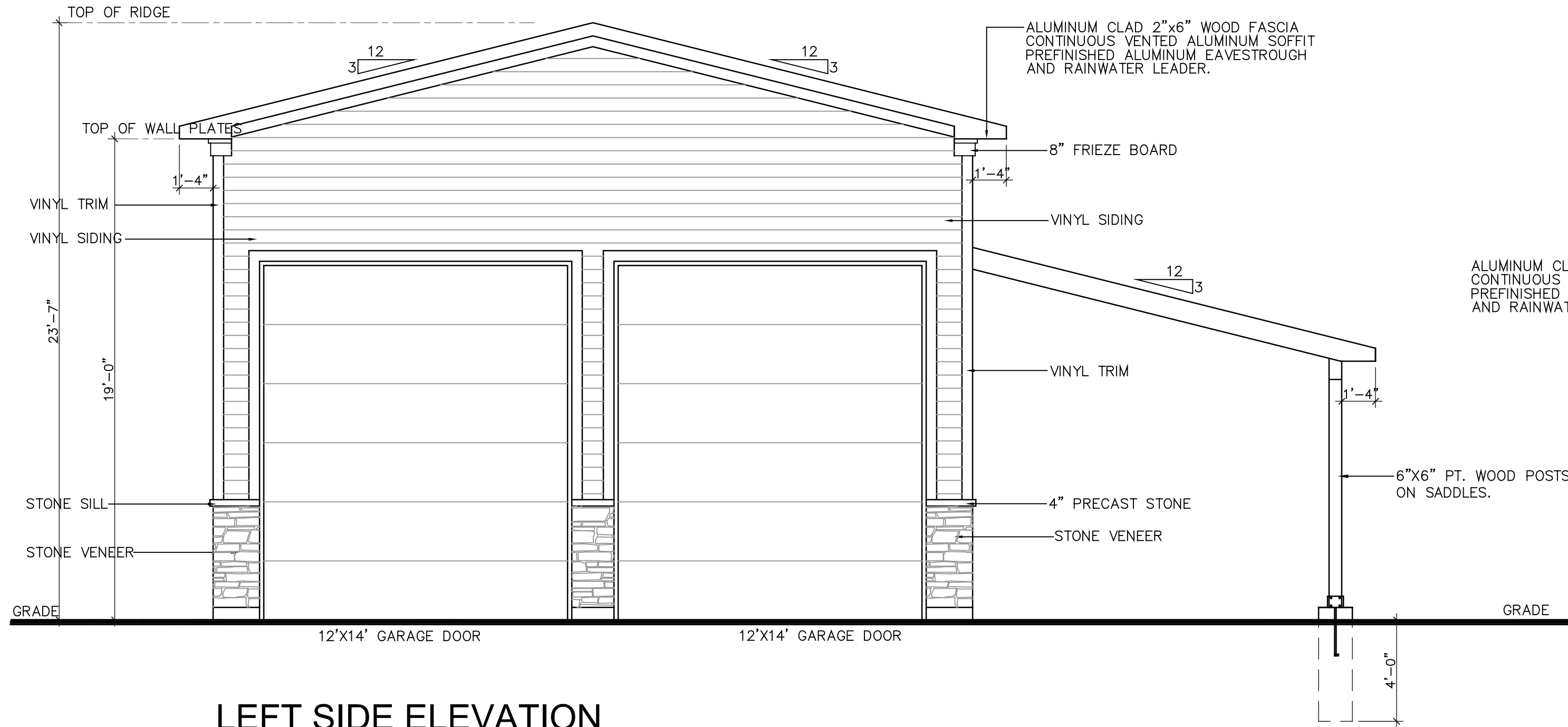
THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Div.C, Article 3.2.5.1 of the Building Code  
MAURO FORTUNATO  
Name Signature  
15084 BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Div.C, Article 3.2.4.1 of the Building Code  
UNIQUE DESIGNS INC.  
Firm Name  
31090 BCIN





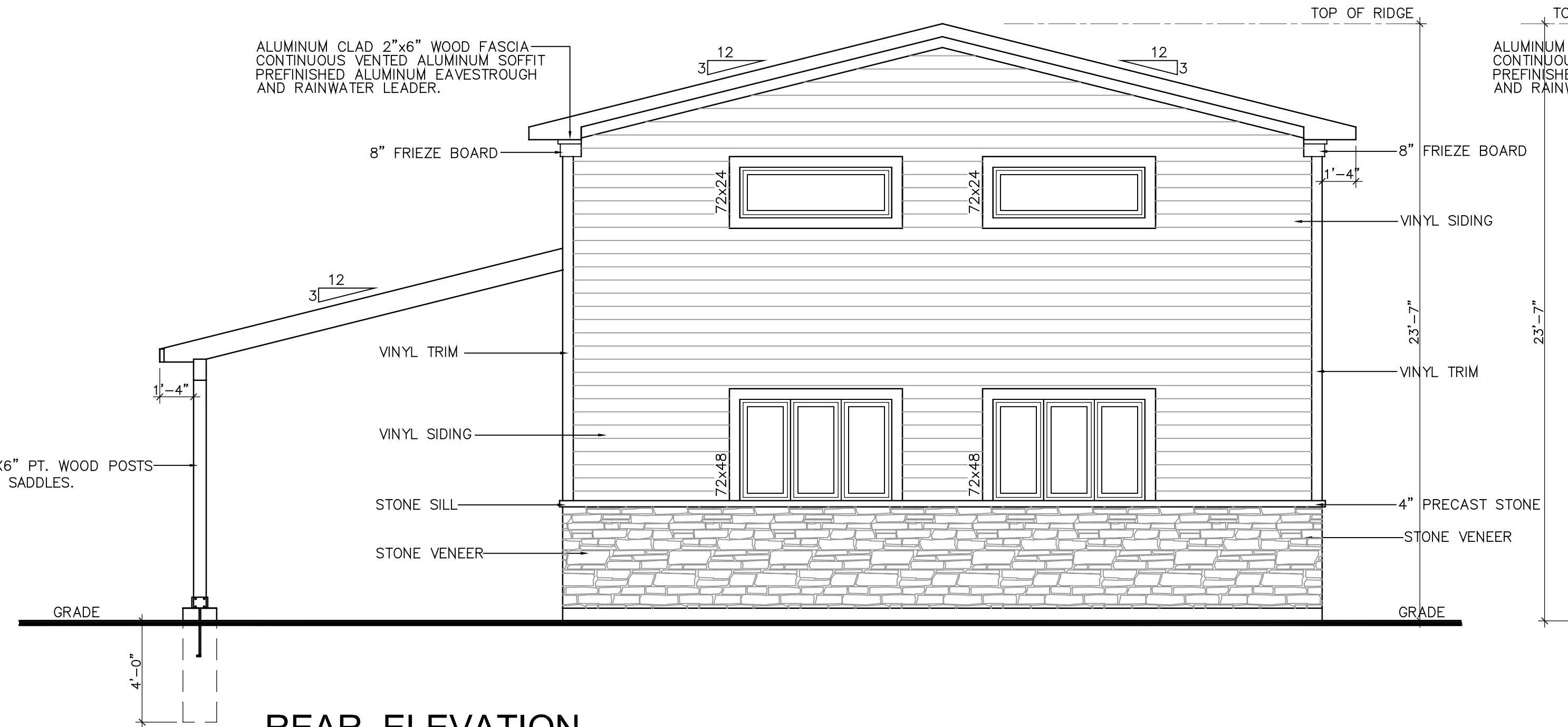
LEFT SIDE ELEVATION



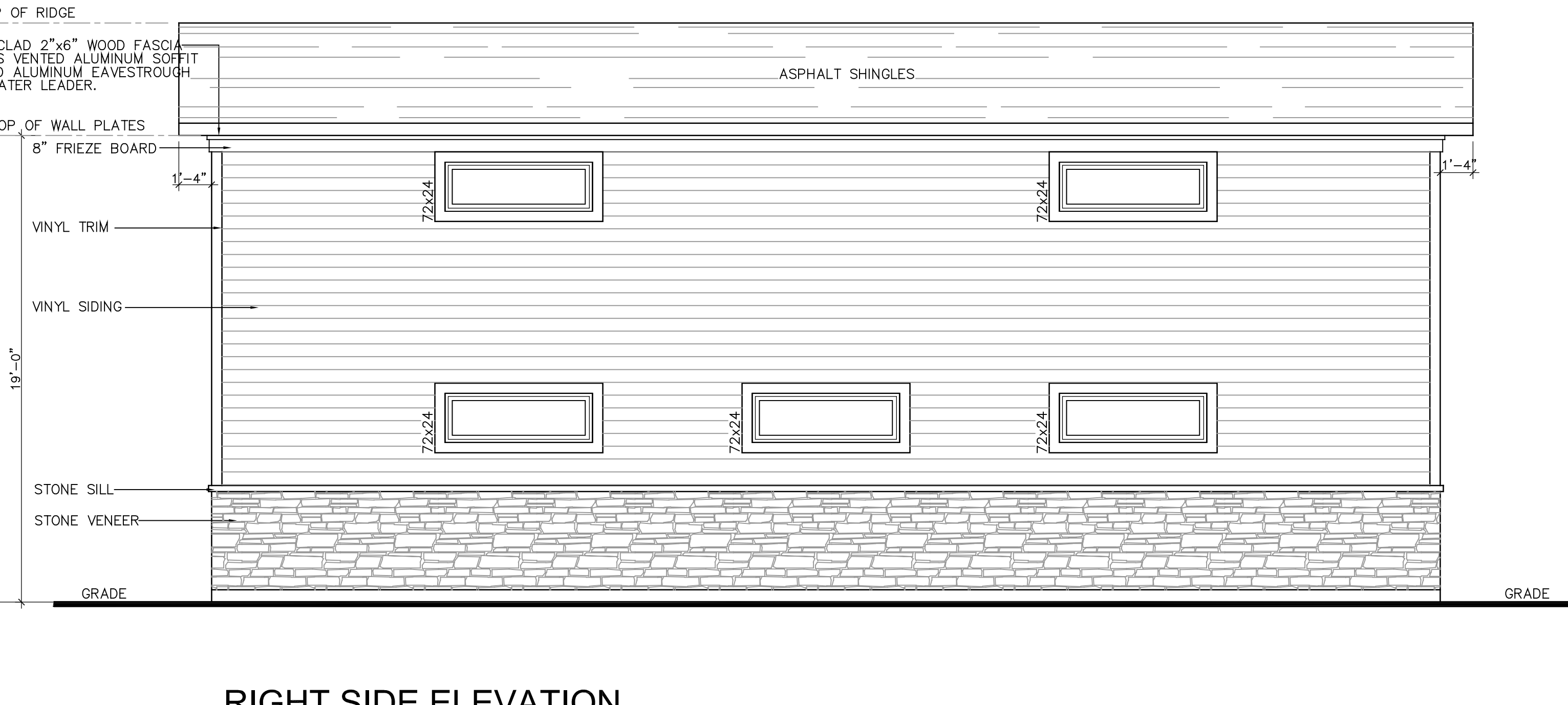
FRONT ELEVATION

IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO HAVE ALL GRADES AND SERVICES CHECKED AND VERIFIED GRADING AND SERVICES ENGINEERED

PROPOSED GRADE LINE AS INDICATED ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT FINISHED GRADING CONDITIONS



REAR ELEVATION



RIGHT SIDE ELEVATION

DO NOT SCALE DRAWINGS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	
QUALIFICATION INFORMATION	
Required unless design is exempt under Div.C, Article 3.2.5.1 of the Building Code	
MAURO FORTUNATO	15084
Name	Signature
REGISTRATION INFORMATION	
Required unless design is exempt under Div.C, Article 3.2.4.1 of the Building Code	
UNIQUE DESIGNS INC.	31090
Firm Name	BCIN

No.		DATE	DESCRIPTION
1.	2.	09.24.20	ISSUED FOR PERMIT
3.	4.		
5.	6.		
7.	8.		
THESE DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL WORK. ANY DISCREPANCIES MUST BE REPORTED TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.			
THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.			
UNIQUE DESIGN INC.		ELEVATIONS	
CATERINI RESIDENCE		STORAGE GARAGE	
381 MUD ST. HAMILTON, (ST. CRK) ONT.			
Drawn By	Scale	Date:	
	1/4"=1'-0"	092620	
Job Number			
090220			
A1			

UNIQUE DESIGNS INC 3109



STRUCTURAL NOTES

1. ALL MATERIALS AND METHODS OF CONSTRUCTION MUST COMPLY WITH THE LATEST ADDITION OF THE O.B.C. 2012.

2. DO NOT SCALE THESE DRAWINGS.

3. SUBMIT STRUCTURAL STEEL SHOP DRAWINGS FOR REVIEW BY THE DESIGNER PRIOR TO FABRICATION. MAKE FIELD MEASUREMENTS NECESSARY FOR FABRICATION AND ERECTION.

4. THE CONTRACTOR SHALL PROVIDE INSPECTION REPORTS PREPARED BY AN INSPECTION AND TESTING AGENCY ON THE STRUCTURAL STEEL ERECTION AND CONCRETE STRENGTH.

5. ALL FOOTING SHALL BEAR ON UNDISTURBED SOIL CAPABLE OF SUSTAINING A LOAD OF 4 KSF.

6. SPECIFIED 28 DAY CONCRETE STRENGTH IS 20 MPA. ALL CONCRETE EXPOSED TO FREEZE-THAW CYCLES IN A SATURATED CONDITION SHALL BE CLASSIFICATION C-1 TO CSA-A23.1-M90.

7. REINFORCING STEEL: G30.18M GRADE 400R.

8. STRUCTURAL STEEL CSA G40.21M :

HSS SECTIONS

ANCHOR BOLTS

PIPE MATERIAL

OTHER STEEL

GRADE 350W CLASS H

GRADE 260W

ASTM A53

GRADE 300W

WELDING TO CONFORM TO CSA W59 AND W47.1

9. LOAD BEARING MASONRY MATERIALS:

HOLLOW BLOCK

SOLID BLOCK

BELOW GRADE MORTAR

ABOVE GRADE MORTAR

GROUT FOR BLOCK CORES

CSA A165.1M-H/15/X/X

CSA A165.1M-S/15/X/X

CSA A179M-TYPE S

CSA A179M-TYPE N

CSA A179M 1:3:2 CEMENT: SAND PEA GRAVEL BY VOLUME, 8" SLUMP

ALL LUMBER TO BE KILN-DRIED, GRADED TO CONFORM TO CSA 0141, SPF NO.2 UNLESS NOTED

10. STRUCTURAL LUMBER:

11. SUPPLY JOIST HANGERS TO THE JOIST MANUFACTURER'S SPECIFICATIONS.

12. PROVIDE WEB STIFFENERS WHERE TJI JOISTS CONNECTED USING HANGERS

13. PROVIDE FIRE PROTECTION WHEN WELDING CLOSE TO COMBUSTIBLE MATERIALS.

NOTES:

THESE NOTES COMPLY WITH THE REQUIREMENTS OF THE ONTARIO BUILDING CODE.(REG. 2006) UNLESS SPECIFICALLY ALTERED BY MUNICIPALITY HAVING JURISDICTION. IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO CONFORM WITH THESE SECTIONS WHERE APPLICABLE AND FAMILIARIZE HIMSELF SPECIFICALLY WITH PART 9 OF THE CODE

ALL STRUCTURAL LUMBER TO BE EASTERN SPRUCE NO.2 CONSTRUCTION GRADE, UNLESS OTHERWISE NOTED. SIZES ARE DETERMINED FROM SPAN OFF TABLES OF THE BUILDING CODE,- ONTARIO REG. 413/97

ALL WINDOWS ARE DOUBLE GLAZED OR THERMOPANE

ALL WINDOW HEADS TO BE 6'-10"(OR 7'-10") ABOVE FIN. FLOOR OR TO MATCH DOOR HEAD FRAMING HIEGHTS

ALL EXTERIOR DOORS, IF WOOD TO HAVE STORM DOORS OR TO BE OF METAL INSULATED TYPE.

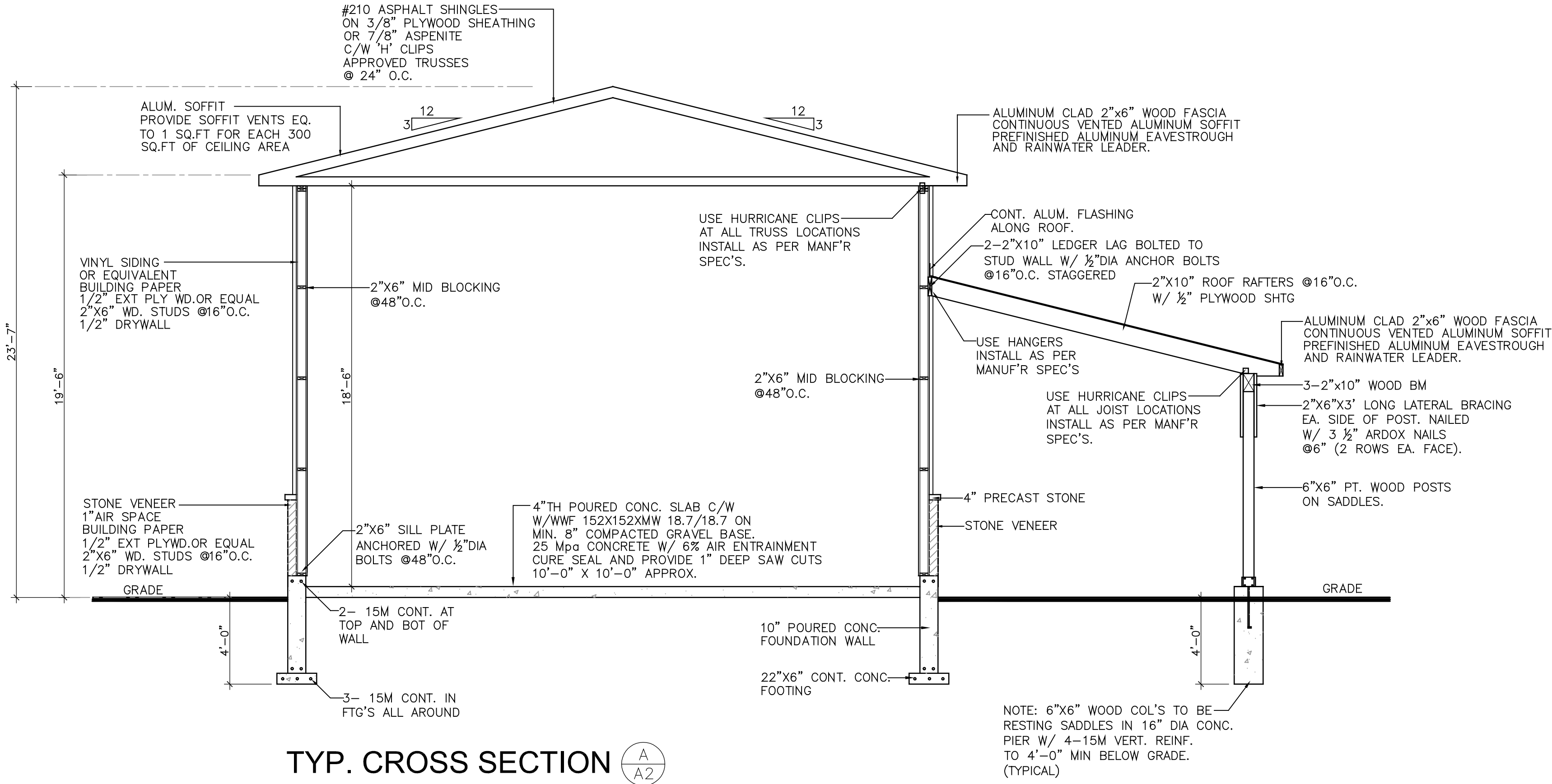
ALL TIMBER TO BE SUPPORTED MIN 6" ABOVE FIN. GRADE UNLESS PRESSURE TREATED AGAINST TERMITES REMOVE WOOD DEBRIS OR VEGETABLE MATTER FROM BACKFILL

LUMBER SUPPLIER TO PROVIDE TJ-EXPERT FRAMING LAYOUTS INCLUDING APPROPRIATE DETAILS/HANGER SPECS/ JOIST AND BEAM SIZING/ HOLE CHARTS FOR JOISTS/ RIM BOARD SPECS ETC. AND ARE TO SPECIFY FLOOR PERFORMANCE TJ PRO RATING FOR REVIEW AND APPROVAL BY DESIGNER IF REQUIRED

IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO HAVE ALL GRADES AND SERVICES CHECKED AND VERIFIED GRADING AND SERVICES ENGINEERED

FOUNDATION WALLS TO BE CONSTRUCTED TO A MIN 6" ABOVE APPROVED GRADES AT HOUSE

PROPOSED GRADE LINE AS INDICATED ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT FINISHED GRADING CONDITIONS OF ANY PARTICULAR LOT



DO NOT SCALE DRAWINGS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	
QUALIFICATION INFORMATION	
Required unless design is exempt under Div.C, Article 3.2.5.1 of the Building Code	
MAURO FORTUNATO	15084
Name	Signature
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UNIQUE DESIGNS INC.	
Firm Name	BCIN

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090220	

381 MUD ST.  
HAMILTON, (ST. CRK) ONT.

CATERINI  
RESIDENCE

UNIQUE DESIGNS INC.

STORAGE  
GARAGE

SECTION,  
NOTES

DESCRIPTION		DATE		No.	
ISSUED FOR PERMIT					
1.		09.24.20		2.	
3.				4.	
5.				6.	
7.				8.	

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Hamilton

Planning and Economic Development Department  
Planning Division

20-17220  
Committee of Adjustment  
City Hall  
5<sup>th</sup> floor 71 Main Street West  
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221  
Fax (905) 546-4292

PLEASE FILL OUT THE FOLLOWING PAGES AND  
RETURN TO THE CITY OF HAMILTON PLANNING  
DEPARTMENT.

RECEIVED  
JUN 24 2020  
COM OF ADJUSTMT

FOR OFFICE USE ONLY.

APPLICATION NO. SC/A-20-130 DATE APPLICATION RECEIVED June 24/20

PAID \_\_\_\_\_ DATE APPLICATION DEEMED COMPLETE \_\_\_\_\_

SECRETARY'S  
SIGNATURE \_\_\_\_\_

CITY OF HAMILTON  
COMMITTEE OF ADJUSTMENT  
HAMILTON, ONTARIO

*The Planning Act*

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner MARY & PASQUALE CATERINI Telephone No. [REDACTED]

2. [REDACTED]

3. Name of Agent ALFONSO ALAIMO Telephone No. [REDACTED]

4. [REDACTED]

Note: Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:

ROYAL BANK OF CANADA  
180 WELLINGTON ST. W. Postal Code M5T 1T1  
\_\_\_\_\_  
\_\_\_\_\_  
Postal Code \_\_\_\_\_

6. Nature and extent of relief applied for:

- MINOR VARIANCE FOR HOUSE SIDEYARD (REDUCE EAST SIDEYARD to 1.25m SETBACK)
- MINOR VARIANCE TO INCREASE HEIGHT & SIZE OF UTILITY/STORAGE BUILDING (40'x60' BLDG ; 25' 3 1/2" HEIGHT)

7. Why it is not possible to comply with the provisions of the By-law?

- NEED TO MOVE THE HOUSE TO MAKE ROOM FOR DRIVEWAY & PRESERVE TREES
- CHANGE TO UTILITY/STORAGE BLDG. TO ALLOW FOR CARLIFTS & HOISTS & MAKE ROOM FOR COLLECTIBLE CAR, RV & EQUIPMENT STORAGE (i.e. CLASSIC CARS, ATVS, SNOWMOBILES, EQUIPMENT)

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

CON-6 PT LOT 17 SLT SC RP 62R1211 PART 1 IRREG  
1.12 AC 94.50 FR 493.20 D  
381 MUD ST. E. STONEY CREEK

9. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☐

Other

9.1 If Industrial or Commercial, specify use

9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☐ Unknown ☐

9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☒ Unknown ☐



9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes \_\_\_\_\_ No ☒ Unknown \_\_\_\_\_

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

PROPERTY HAS BEEN USED AS PRIMARY RESIDENCE BY THE TWO  
PREVIOUS OWNERS. ADJACENT LANDS - RESIDENCE TO THE WEST  
CEMETARY TO THE EAST, FORMER FRUIT FARM/RESIDENCE TO THE NORTH

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes \_\_\_\_\_ No \_\_\_\_\_

#### ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

March 24, 2020

Date

Signature Property Owner

PASQUALE CATERINI

MARY L. CATERINI

Print Name of Owner

10. Dimensions of lands affected:

Frontage 28.8 M

Depth 150.57 M

Area 1.12 AC. (94.5 FR 443.200)

Width of street N/A

11. Particulars of all buildings and structures on or proposed for the subject lands:  
(Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: EXISTING 2 STOREY HOUSE TO BE DEMOLISHED

Proposed: SINGLE RESIDENTIAL HOME 2305 sq ft BUNGALOW, SINGLE FLOOR  
& DETACHED ACCESSORY BLDG. (UTILITY/STORAGE GARAGE) 2400 sq. ft

12. Location of all buildings and structures on or proposed for the subject lands;  
(Specify distance from side, rear and front lot lines)

Existing: \_\_\_\_\_

Proposed: 65.641 m from frontage property line (S. side), 8.23 m from WEST property line  
1.85 m from EAST PROPERTY LINE, 60.581 m from N. PROPERTY LINE

13. Date of acquisition of subject lands:  
OCTOBER 15, 2010
14. Date of construction of all buildings and structures on subject lands:  
EXISTING HOME 60+ YEARS
15. Existing uses of the subject property: RESIDENTIAL
16. Existing uses of abutting properties: RESIDENTIAL, CEMETARY, RESIDENTIAL/AGRICULTURAL
17. Length of time the existing uses of the subject property have continued:  
60 yrs est.
18. Municipal services available: (check the appropriate space or spaces)  
Water \_\_\_\_\_ Connected \_\_\_\_\_  
Sanitary Sewer \_\_\_\_\_ Connected \_\_\_\_\_  
Storm Sewers \_\_\_\_\_
19. Present Official Plan/Secondary Plan provisions applying to the land:  
\_\_\_\_\_  
\_\_\_\_\_
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:  
\_\_\_\_\_  
\_\_\_\_\_
21. Has the owner previously applied for relief in respect of the subject property?  
Yes \_\_\_\_\_ No \_\_\_\_\_  
If the answer is yes, describe briefly.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?  
Yes \_\_\_\_\_ No \_\_\_\_\_
23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

**NOTE:** It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps referred to in Section 5 and be accompanied by the appropriate fee in cash or by cheque made payable to the City of Hamilton.



Mr. Alaimo,

The minor variance application for this proposal as shown in the attached plan would not need to be circulated to our office for formal comment.

However, as you have been informed, the proposed laneway/culvert crossing and septic system installation will require a permit from our office under Ontario Regulation 161/06 as they are within our regulated area.

Please also note that the culvert size required for the crossing is **800mm** as we have specified, *not* the 300mm culvert shown on the attached plan.

**Darren Kenny, B.Sc. (Hons.), CAN-CISEC**

**Watershed Officer, Badge # 113**

Hamilton Conservation Authority

P.O. Box 81067, 838 Mineral Springs Road

Ancaster, Ontario L9G 4X1

Tel - 905-525-2181, ext. 131

[darren.kenny@conservationhamilton.ca](mailto:darren.kenny@conservationhamilton.ca)

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**From:** Al Alaimo [mailto:[al@ateamcontracting.com](mailto:al@ateamcontracting.com)]

**Sent:** March 18, 2020 2:21 PM

**To:** Kenny, Darren

**Subject:** 381 Mud St. East Stoney Creek Plot plan

Hi Darren,

Here is the plot plan for 381 Mud St. East. Stoney Creek being submitted for minor variance. The septic bed is plotted on the drawing as requested. The minor variance application will consist of the new home to set at 1.25 meters from the east property line and a minor variance to build a 40'x60' 2400 sqft accessory building at the

back of the property and at a roof height of 25.3' high. Please review the drawing and if you have any questions please let me know.

Regards,

Al Alaimo

A-Team Custom Contracting Ltd.  
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