

## **NOTICE OF PUBLIC HEARING** **Minor Variance**

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**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
- 

**APPLICATION NO.:** HM/A-20:247

**APPLICANTS:** Drew Goursky on behalf of the owner Wesley Community Homes

**SUBJECT PROPERTY:** Municipal address **195 Ferguson Ave. N., Hamilton**

**ZONING BY-LAW:** Zoning By-law 6593, as Amended by By-law 01-213

**ZONING:** "E/S-1297C" (Multiple Dwellings, Lodges, Clubs and etc.) district

**PROPOSAL:** To permit the creation of twelve (12) additional dwelling units in an existing sixty (60) unit multiple dwelling, which is part of a Non-Profit housing development that also includes 20 street townhouse dwelling units and eight (8) block townhouse dwelling units, notwithstanding that,

1. The parking requirement shall consist of sixty-four (64) parking spaces instead of seventy-two parking spaces for the expanded multiple dwelling and ninety (90) parking spaces instead of 104 parking spaces for the overall housing development.

2. The requirement for visitors parking for the multiple dwelling shall consist of fourteen (14) visitors parking spaces instead of eighteen (18) visitors parking spaces.

**NOTES:**

1. The requirements for a 1.5m wide planting strip and a visual barrier between 1.2m-2.0m in height shall be provided in accordance with Section 18A(11) and ((12) for the existing surface parking area boundary containing six (6) which adjoins a residential district.

2. The variances are written as requested by the applicant. The applicant has identified that an additional dwelling unit is being requested which changes the total number of dwelling units within the multiple dwelling to twelve (12) from eleven (11).

3. The proposal was reviewed initially as Formal Consultation application FC-19-098 which was circulated August 29, 2019 by Development Planning.

4. The property was approved under Site Plan applications DA-93-13 and DA-94-29. Although an approved copy of these site plans could not be located, it appears that the previous site plans are consistent with the current site plan.

5. Site Specific E/S-1297C was approved by Ontario Municipal Board Decision 1205 on July 27, 2001 to permit a drop in centre to be developed (for up to 745 square metres of gross floor area) within the multiple dwelling at 195 Ferguson Avenue North.

6. Committee of Adjustment application HM/A-94:157 was approved to permit a portion of the required visitors parking for the multiple dwelling located at 195 Ferguson Ave North to be located in the underground parking area rather than accessible within an at-grade parking area.

7. Committee of Adjustment application HM/A-05:203, was approved to permit the parking associated with 195 Ferguson Avenue North to be reduced to 64 parking spaces from 71 parking spaces to allow a storage area to be provided in the basement parking area.

This application will be heard by the Committee as shown below:

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**DATE:** Thursday, December 3rd, 2020  
**TIME:** 3:10 p.m.  
**PLACE:** Via video link or call in (see attached sheet for details)  
**To be streamed at** [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)  
**for viewing purposes only**

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## PUBLIC INPUT

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

## MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

DATED: November 17th, 2020.

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

***Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.***

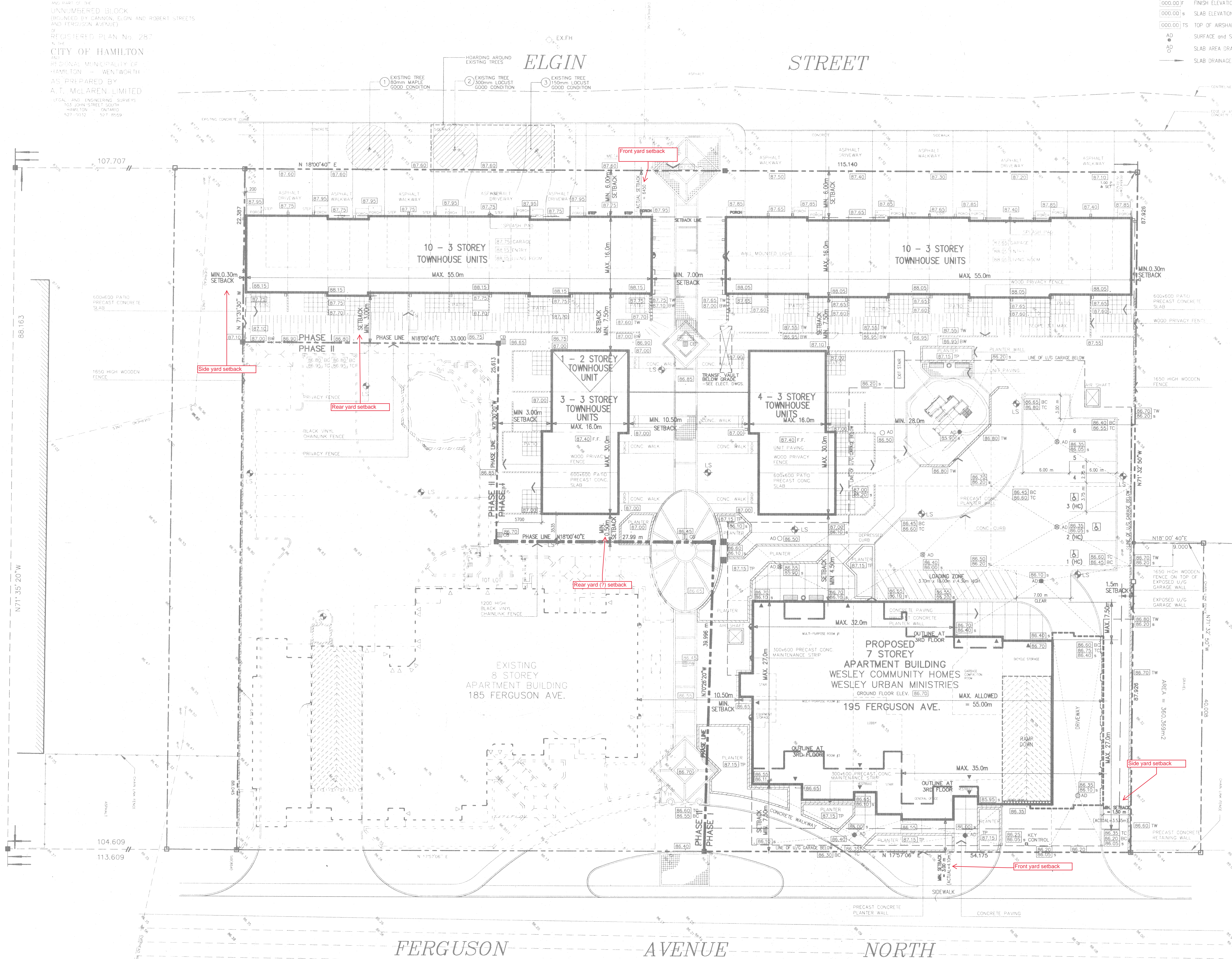


BENCHMARK  
ELEVATION WAS MEASURED TO THE CENTER OF BENCHMARK NO. 3, 14, LOCATED  
ON THE EAST SIDE OF THE SOUTH OF THE NORTH-EAST CORNER OF A BUILDING  
AT THE NORTH-WEST CORNER OF CANON STREET AND ELGIN STREET, HAVING  
AN ELEVATION OF 86.170.

SITE INFORMATION TAKEN FROM:  
PLAN OF SURVEY

LOTS NO. 51, 52, AND 53  
AND PART OF  
LOTS 49 AND 54  
ROBERT STREET (NOW CLOSED)  
AND PART OF  
AN ALLEYWAY (NOW CLOSED)  
AND PART OF THE  
UNNUMBERED BLOCK  
BETWEEN CANON STREET AND ROBERT STREET  
AND FERGUSON AVENUE  
REGISTERED PLAN NO. 287  
N.T.S.  
CITY OF HAMILTON  
REGIONAL MUNICIPALITY OF  
HAMILTON - WENTWORTH  
AS PREPARED BY  
A.T. McLAREN LIMITED  
LEGAL AND ENGINEERING SURVEYS  
101 JOHN STREET SOUTH  
HAMILTON - ONTARIO  
N7Y 2G2 N7Y 2G2

CANNON STREET EAST

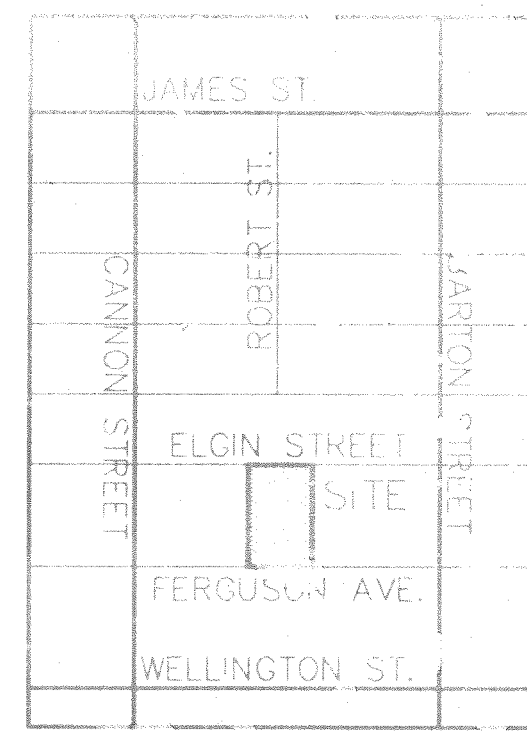


NOTES:

- ALL SITE AREAS SHOWN TO BE  
CONFIRMED BY A SURVEYOR.
- FOR ALL LANDSCAPING SHOWN, REFER  
TO LANDSCAPE ARCH. DRAWINGS.
- PAD MOUNTED TRANSFORMER REFER TO  
ELECTRICAL ENG. DRAWINGS.
- ROADWAY DESIGN AND LAYOUT BY OTHERS.

LEGEND:

- EXISTING GRADE
- FINISH ELEVATION, (REFER TO GRADE ELEVATIONS BY STRYBOS @ ASSOC.)
- SLAB ELEVATION
- TOP OF AIRSHAF ELEVATION
- SURFACE AND SLAB AREA DRAIN
- SLAB AREA DRAIN
- SLAB DRAINAGE DIRECTION - REFER TO LANDSCAPE ARCH. DWGS.



KEY MAP  
N.T.S.

STATISTICS

BY-LAW ALLOWED = 17223.89 m<sup>2</sup> (10131.70 TOTAL SITE AREA x 1.7)  
EXISTING BUILDING = 7602.20 m<sup>2</sup> (MERIDIAN BUILDING)  
WESLEY SITE G.F.A. = 9621.69 m<sup>2</sup> (MAXIMUM ALLOWED)  
185, 270-37 SP.F.F.

PHASE 1

SITE AREA	6601.10 m <sup>2</sup>	
BUILDING COVERAGE	APARTMENT BUILDING	
	GROUND FLOOR-BUILDING	830.97 m <sup>2</sup>
	RAMP TO GARAGE	119.35 m <sup>2</sup>
	EXIT STAIR	9.90 m <sup>2</sup>
	SUBTOTAL	960.22 m <sup>2</sup>
	TOWNHOUSES	
	STREET TOWNHOUSES	1034.14 m <sup>2</sup>
	INTERIOR TOWNHOUSES	351.80 m <sup>2</sup>
	SUB-TOTAL	1428.94 m <sup>2</sup>
	TOTAL COVERAGE	2389.16 m <sup>2</sup> 34.8%
PAVED AREA		1187.92 m <sup>2</sup> 17.9%
LANDSCAPED AREA		3284.02 m <sup>2</sup> 47.9%
TOTAL		6661.10 m <sup>2</sup> (100.0%)
(TOTAL LANDSCAPING REQUIRED)		2744.44 m <sup>2</sup> (40.00%)

BUILDING BY-LAW G.F.A. (MAX. ALLOWED 9621.69 m<sup>2</sup>)

APARTMENT BUILDING	5807.04 m <sup>2</sup>
STREET TOWNHOUSES	2437.80 m <sup>2</sup>
INTERIOR TOWNHOUSES	1113.80 m <sup>2</sup>
TOTAL G.F.A. PROVIDED	9358.64 m <sup>2</sup>

APARTMENT BUILDING UNIT COUNT

	COND. FL.	2ND. FL.	TYP. FL.	TOTAL UNITS
1 BEDROOM	-	-	11 UNITS	50 UNITS (94.7%)
2 BEDROOM	-	-	1 UNIT	5 UNITS (9.3%)
APARTMENT BUILDING TOTAL	-	-	12 UNITS	60 UNITS (100.0%)
(HANDICAPPED UNITS PROVIDED = 5 UNITS)	-	-	-	-

TOWNHOUSE UNIT COUNT

2 BEDROOM (INTERIOR)	1 UNITS (3.5%)
3 BEDROOM (STREET)	20 UNITS (21.54%)
4 BEDROOM (INTERIOR)	7 UNITS (25.00%)
TOWNHOUSE UNIT TOTAL	28 UNITS (100.0%)

PARKING PROVIDED

UNDERGROUND TENANTS	56 CARS
UNDERGROUND VISITORS	8 CARS
ON SURFACE VISITORS	6 CARS
TOTAL PARKING	70 CARS

APARTMENT UNIT BREAKDOWN

SUITE	GROUND FLOOR	2ND FLOOR	3RD - 7TH FLOORS	TOTAL
1A	-	-	6	30
1B	-	-	2	10
1C	-	-	1	5
2A H/C	-	-	2	10
TOTAL	-	-	12	60

SITE PLAN APPLICATION NO. DA-95-13

The following undertaking must be placed on all submitted plans of the site and must be read in conjunction with the City of Hamilton Planning Department's "Site Plan Application Form" and "Site Plan Application Guidelines".

(a) to comply with all the terms and conditions of the City of Hamilton Planning Department's "Site Plan Application Form" and "Site Plan Application Guidelines".

(b) to comply with all the terms and conditions of the City of Hamilton Planning Department's "Site Plan Application Form" and "Site Plan Application Guidelines".

(c) to comply with all the terms and conditions of the City of Hamilton Planning Department's "Site Plan Application Form" and "Site Plan Application Guidelines".

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(i) to comply with all the terms and conditions of the City of Hamilton Planning Department's "Site Plan Application Form" and "Site Plan Application Guidelines".

(j) to comply with all the terms and conditions of the City of Hamilton Planning Department's "Site Plan Application Form" and "Site Plan Application Guidelines".

(k) to comply with all the terms and conditions of the City of Hamilton Planning Department's "Site Plan Application Form" and "Site Plan Application Guidelines".

(l) to comply with all the terms and conditions of the City of Hamilton Planning Department's "Site Plan Application Form" and "Site Plan Application Guidelines".

(m) to comply with all the terms and conditions of the City of Hamilton Planning Department's "Site Plan Application Form" and "Site Plan Application Guidelines".

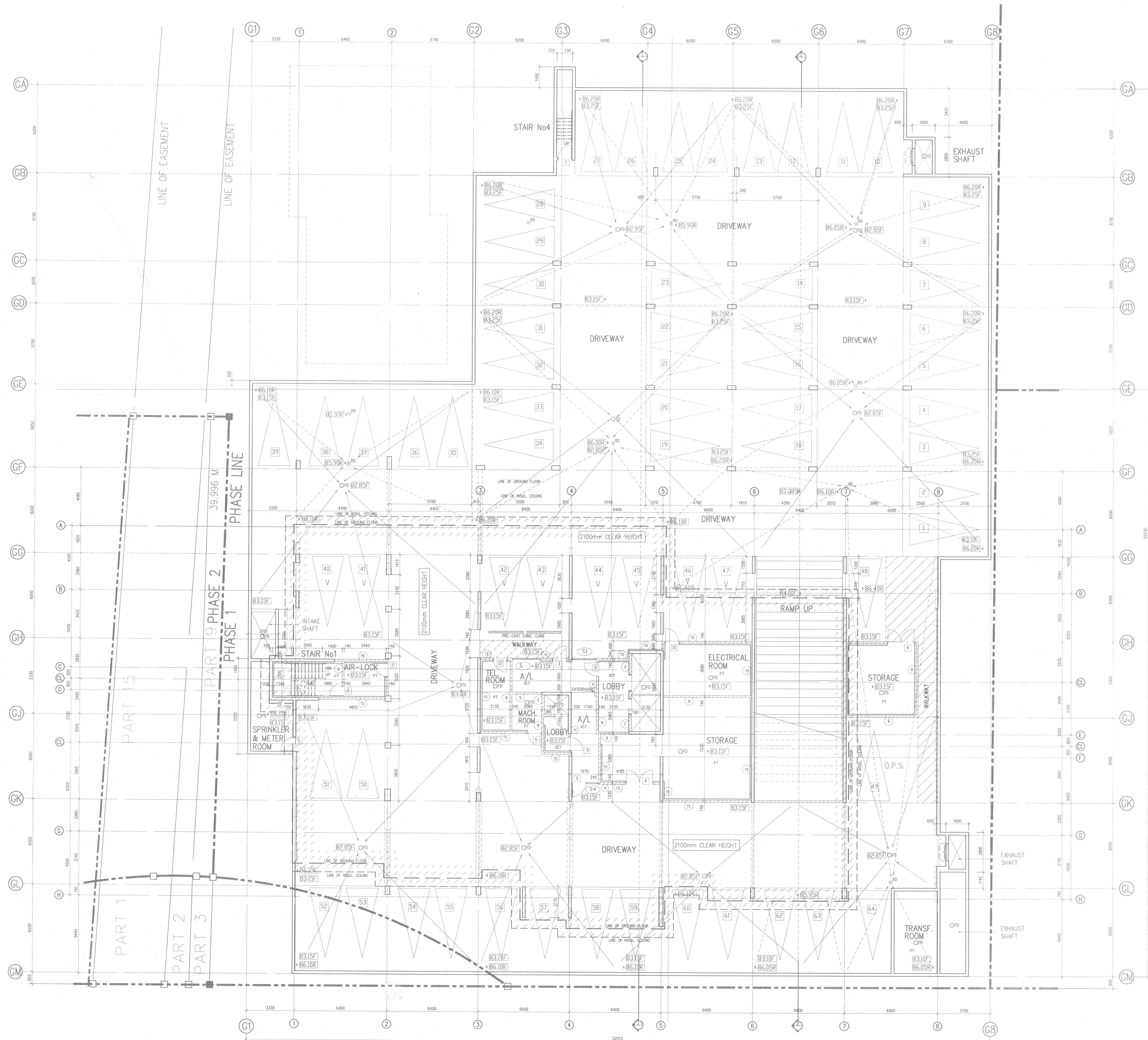
(n) to comply with all the terms and conditions of the City of Hamilton Planning Department's "Site Plan Application Form" and "Site Plan Application Guidelines".

(o) to comply with all the terms and conditions of the City of Hamilton Planning Department's "Site Plan Application Form" and "Site Plan Application Guidelines".

(p) to comply with all the terms and conditions of the City of Hamilton Planning Department's "Site Plan Application Form" and "Site Plan Application Guidelines".

(q) to comply with all the terms and conditions of the City of Hamilton Planning Department's "Site Plan Application Form" and "Site Plan Application Guidelines".





**PARKING STATISTICS:**

PARKING PROVIDED = 56 U/G SPACES	(80.1%)
= 8 U/G VISITORS	(11.4%)
= 6 SURFACE VISITORS	(8.5%)
<b>TOTAL PROVIDED = 70 SPACES</b>	<b>(100%)</b>

- GENERAL NOTES:**
- U/S OF ALL FOOTINGS TO BELOW FROST LINE AND BEAR ON UNDISTURBED SOIL - SEE STRUCT. DWGS.
  - ALL WALLS AND CEILINGS TO BE PAINTED WHITE.
  - ALL HEATED SPACES TO BE INSULATED FROM UNHEATED SPACES WITH R.S.I. 2.11 RIGID INSUL. IN 64mm METAL STUDS WITH 12.7 DRYWALL (TYPICAL - VERTICALLY).
  - FOR ALL STRUCTURAL, MECHANICAL & ELECTRICAL ITEMS PERTAINING TO THIS DWG. REFER TO RESPECTIVE ENGINEER'S DWGS.
  - STRUCTURAL CONCRETE EXPANSION JOINT IN GARAGE ROOF REFER TO STRUCT. ENG. DRAWINGS.
  - INDICATES SLAB ON GRADE ELEVATION.
  - INDICATES GARAGE ROOF SLAB ELEVATION.
  - ALL CONC. WALLS AND COLUMNS TO BE SEALED FROM FOOTING TO 910mm ABOVE FIN. GARAGE FLOOR.
  - INDICATES EXTENT OF U/S OF GARAGE ROOF SLAB TO BE FINISHED WITH R.S.I. 4.7 BATT INSULATION (FIBERGLASS) ON METAL SUSPENDED CEILING WITH 12.7mm GYPSUM BOARD.
  - INDICATES PAINTED AREAS FOR WALKWAYS FOR EXIT PURPOSES.
  - O.P.S. - INDICATES OVERSIZED PARKING SPACE.
  - SC - INDICATES SEDIMENT CHAMBER, REFER TO MECH. DWGS.
  - SLP - INDICATES ELEV. SLUMP PIT REFER TO MECH. DWGS.
  - CB - INDICATES CATH. BASIN.
  - C/P - INDICATES FLOOR DRAIN.
  - A/D - INDICATES AREA DRAIN AT GRADE.
  - R/D - INDICATES ROOF DRAIN AT GRADE.
  - H/A - INDICATES HANDICAPPED AUTOMATIC DOOR OPENING DEVICE - SEE ELECT. ENG. DWGS.

The Architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. engineering drawings shown on the drawing. The Engineer is responsible for the accuracy of the engineering drawings shown on the drawing. The Engineer is not responsible for the accuracy of the survey, structural, mechanical, electrical, etc. engineering drawings shown on the drawing. The Engineer is not responsible for the accuracy of the survey, structural, mechanical, electrical, etc. engineering drawings shown on the drawing.

Contractor shall check all dimensions and quantities of the work and report any discrepancies to the Architect before proceeding with the work. The Contractor must conform to all applicable Ontario Building Code Requirements of Automatic Fire Protection.

No investigation has been conducted to determine the environmental condition of the site. This drawing is not to be used for any purpose other than the one intended unless signed by the Architect.

Issued for Construction  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

COPYRIGHT 1994 RAFAEL + BIGAUSKAS ARCHITECTS

**PROPOSED RESIDENTIAL DEVELOPMENT**

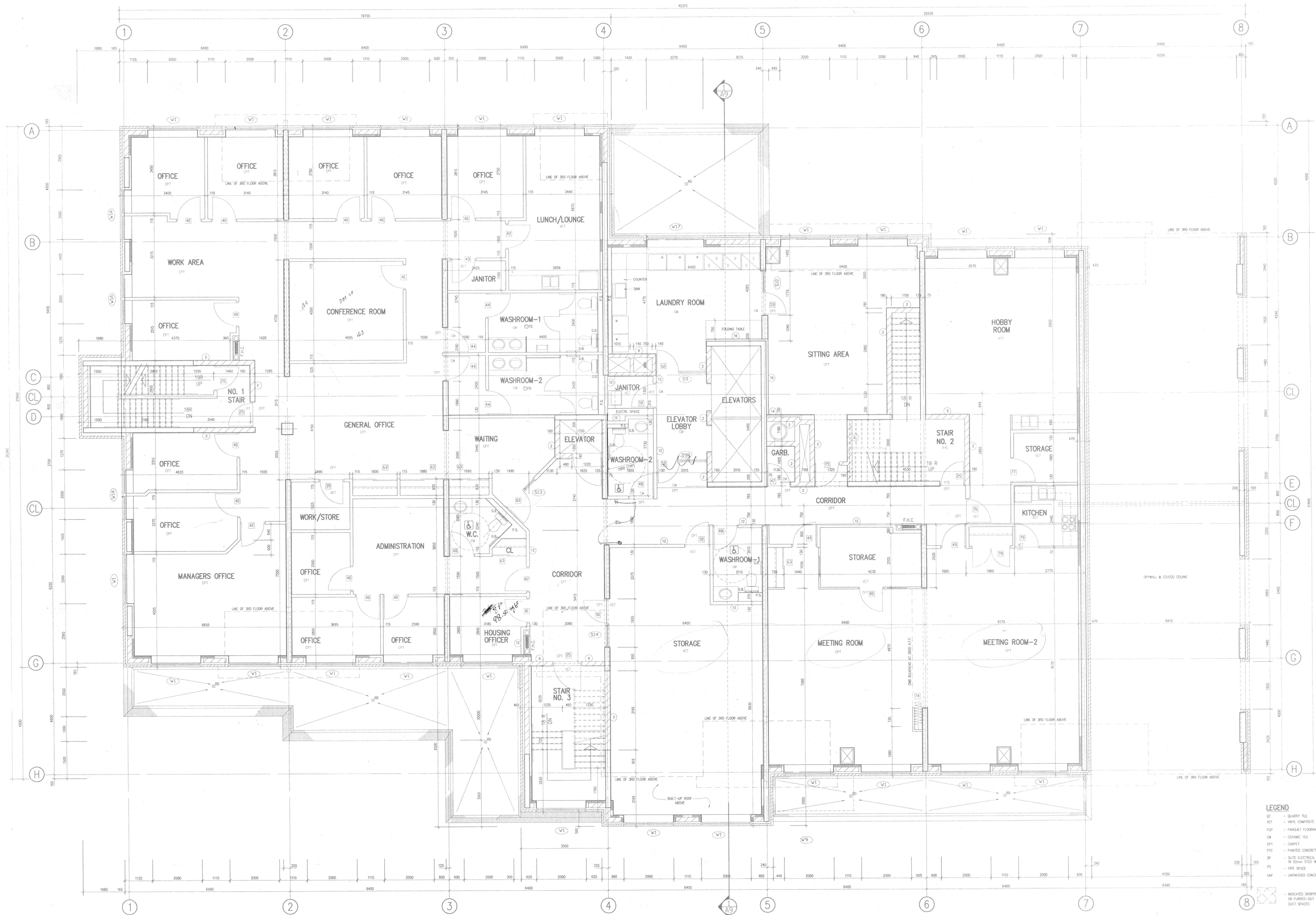
**ANDRIN BUILDING CORPORATION**  
WESLEY COMMUNITY PROJECT  
FERGUSON AVE. & CITY OF HAMILTON

**RAFAEL + BIGAUSKAS ARCHITECTS**  
95 Bridgeway Ave., 2nd Floor, Hamilton, Ontario L8N 3Y1  
Telephone: (416) 597-4511  
Project Architect: A. BIGAUSKAS

Sheet Title: **U/G GARAGE PLAN**

Scale: 1:100  
Date: JULY/94  
Date plotted: NOV. 30/94  
Date printed: \_\_\_\_\_





The Architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. engineering information shown on the drawings. Refer to the appropriate engineering drawings and proceed with work.

Contractor shall check all dimensions of the work and report any discrepancy to the Architect before proceeding. Construction must conform to all applicable Codes and Requirements of Authorities Having Jurisdiction.

No investigation has been conducted to determine if this office is required to be reported on by this office in respect to the environmental condition of its site.

This drawing is not to be scaled.

All dimensions and areas to be verified on site by Ontario Land Surveyor.

This drawing is not to be used for any other purpose unless signed by the Architect.

Issued for Construction  
 Signature: \_\_\_\_\_  
 Date: \_\_\_\_\_

COPYRIGHT 1994 RAFAEL + BIGAUSKAS ARCHITECTS

3 NOV. 30/94 FOR CONTRACT SET  
 2 OCT. 3/94 FOR W.O.B. & BLOC. REPT. SUBMITTAL  
 1 SEP. 20/94 FOR M.O.H.

no. date issued

PROPOSED RESIDENTIAL DEVELOPMENT

**ANDRIN BUILDING CORPORATION**  
**WESLEY COMMUNITY HOMES**  
 FERGUSON AVE. & CITY OF HAMILTON

**RAFAEL + BIGAUSKAS ARCHITECTS**

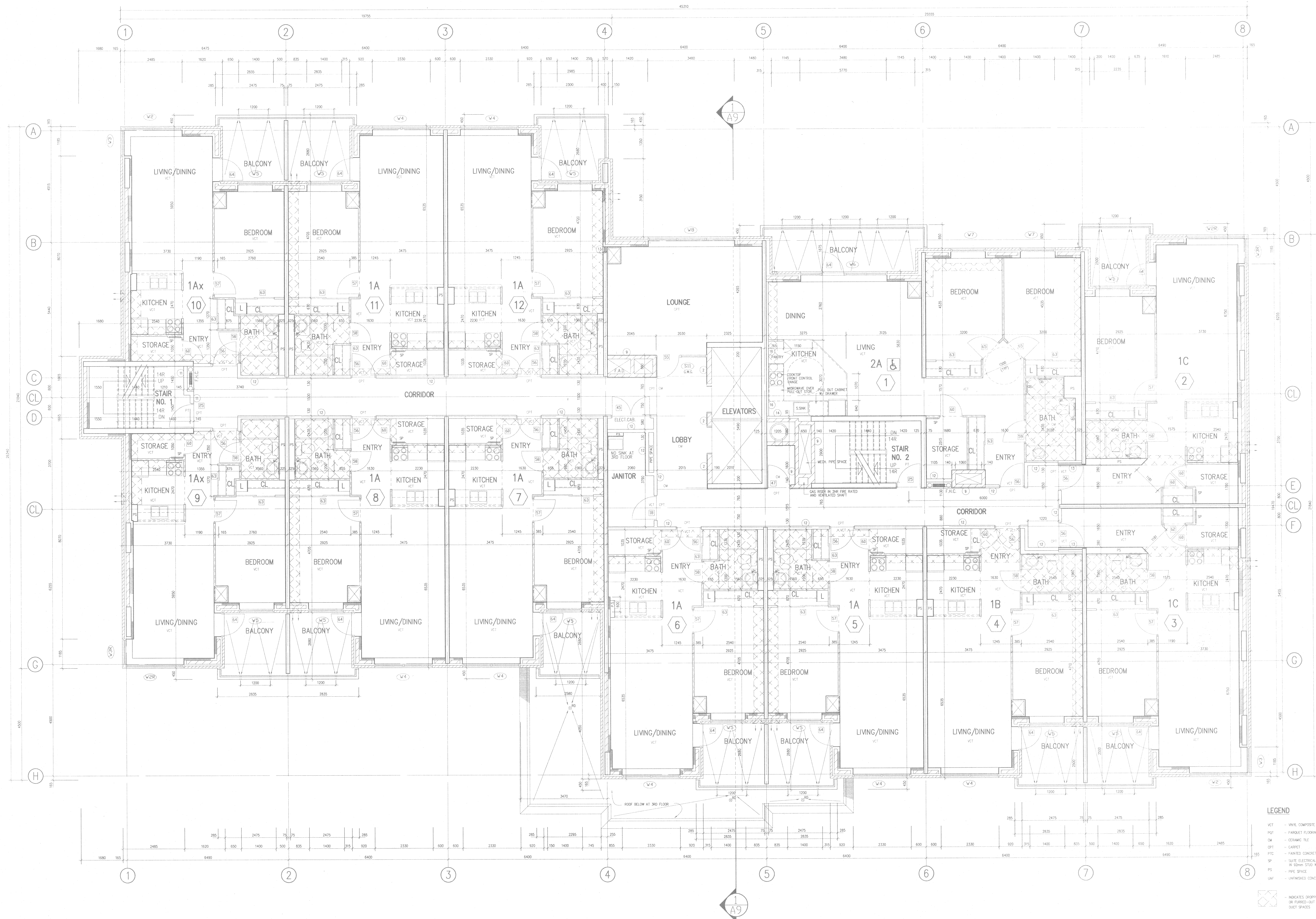
95 Bridgeland Ave., 2nd Floor, Toronto, Ontario  
 Telephone: (416) 789-4572 Fax: (416) 789-4573  
 project architect project engineer  
 A. BIGAUSKAS

sheet title  
**2ND FLOOR PLAN**

scale 1:50 drawn by B.P./j.e.  
 date JULY/94 checked by  
 date plotted NOV. 30/94  
 date printed

INDICATES SHIPPED C.L.C. OR FURRED-OUT DUCT SPACES



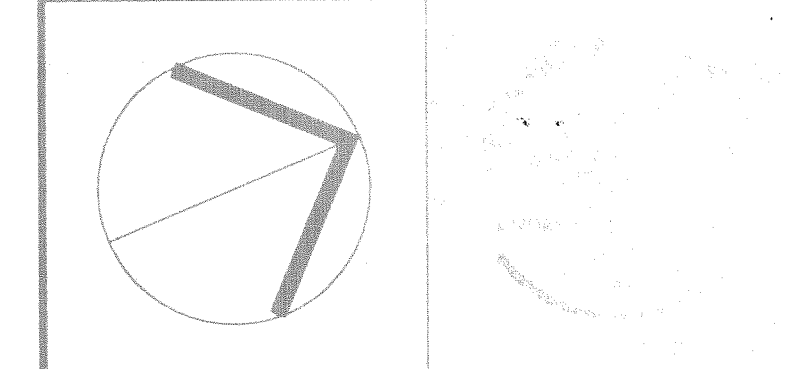


The Architect is not responsible for accuracy of survey, structural, electrical, etc. engineering, plumbing, etc. shown on this drawing. It is the responsibility of the client to provide appropriate engineering drawings and specifications for the work to be performed. No investigation has been undertaken or reported on by this office in regard to the environmental condition of this site. This drawing is not to be scaled. All dimensions and areas to be confirmed on site by Ontario Land Surveyor. This drawing is not to be used for construction unless signed by the Architect.

Issued for Construction  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_  
COPYRIGHT 1994 RAFAEL + BIGAUSKAS ARCHITECTS INC.

3	NOV. 30/94	FOR CONTRACT SET
2	OCT. 3/94	FOR M.O.H. & B.C. PERMIT SUBMISSION
1	SEP. 20/94	FOR M.O.H.
no.	date	issued

PROPOSED RESIDENTIAL DEVELOPMENT  
**ANDRIN BUILDING CORPORATION**  
WESLEY COMMUNITY HOMES  
FERGUSON AVE. & QTY. OF HAMILTON



**RAFAEL + BIGAUSKAS ARCHITECTS**

95 Bridgeland Ave., 2nd Floor, Toronto, Ontario, Canada  
Telephone: (416) 789-4573 Fax: (416) 789-4574

project architect: A. BIGAUSKAS project engineer: \_\_\_\_\_

sheet title: 3RD TO 7TH FLOOR TYPICAL FLOOR PLAN

scale: 1:50	drawn by: B.P./s.o.
date: JULY/94	checked by: _____
date plotted: _____	date printed: _____
NOV. 30/94	date printed: _____

# LEGEND

- VCT - VINYL COMPOSITE TILE
- PQT - PARQUET FLOORING
- CM - CERAMIC TILE
- OPT - CARPET
- PTC - PAINTED CONCRETE
- SP - SATE ELECTRICAL PANEL IN 30mm STUO WALL
- PS - PIPE SPACE
- UNF - UNFINISHED CONCRETE
- - - - - INDICATES DROPPED C.L.G. OR FURRED-OUT DUCT SPACES

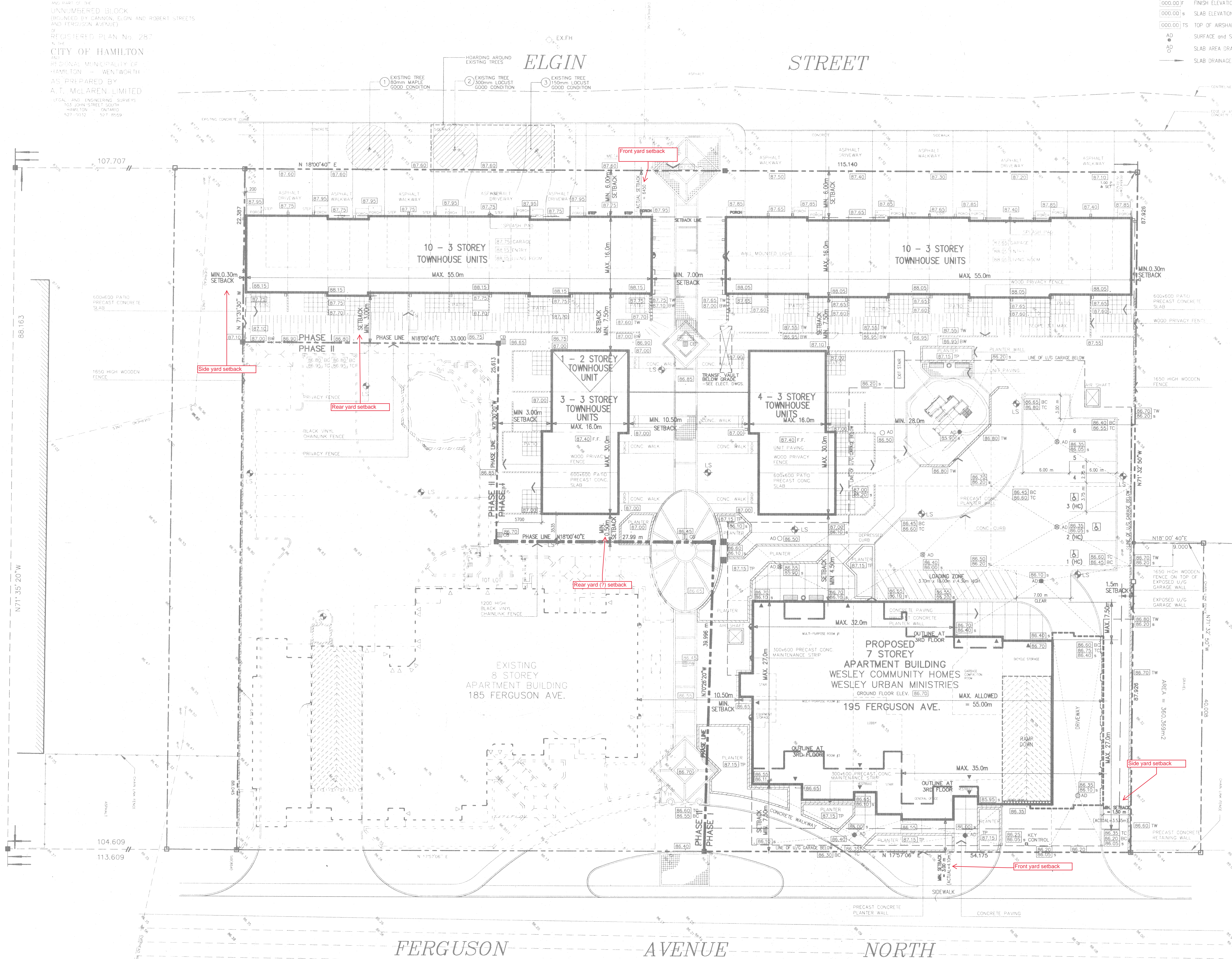


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AT THE NORTH WEST CORNER OF CANNON STREET AND ELGIN STREET. HAVING  
AN ELEVATION OF 86.175.

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AND PART OF  
LOTS 49 AND 54  
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AND PART OF  
AN ALLEYWAY (NOW CLOSED)  
AND PART OF THE  
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REGISTERED PLAN NO. 287  
N.T.S.  
CITY OF HAMILTON  
REGIONAL MUNICIPALITY OF  
HAMILTON - WENTWORTH  
AS PREPARED BY  
A.T. McLAREN LIMITED  
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101 JOHN STREET SOUTH  
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N7Y 2G2 N7Y 2G2

CANNON STREET EAST

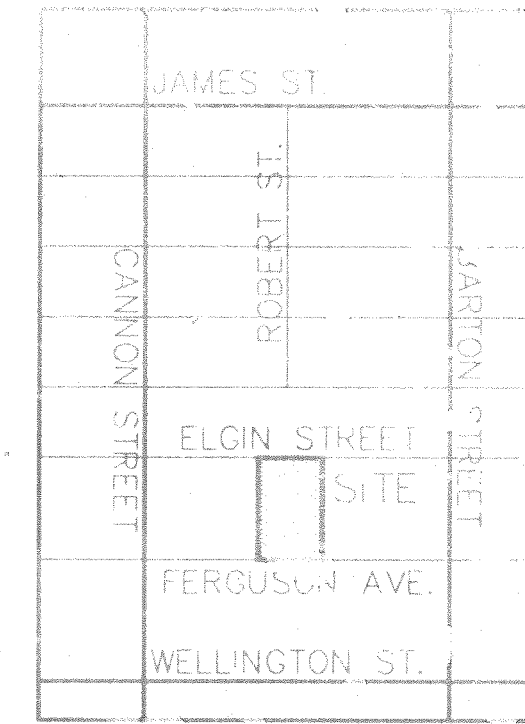


NOTES:

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- PAD MOUNTED TRANSFORMER REFER TO  
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LEGEND:

- EXISTING GRADE
- FINISH ELEVATION, (REFER TO GRADE ELEVATIONS BY STRYBOS @ ASSOC.)
- SLAB ELEVATION
- TOP OF AIRSHAF ELEVATION
- SURFACE AND SLAB AREA DRAIN
- SLAB AREA DRAIN
- SLAB DRAINAGE DIRECTION - REFER TO LANDSCAPE ARCH. DWGS.



KEY MAP  
N.T.S.

STATISTICS

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EXISTING BUILDING = 7602.20 m<sup>2</sup> (MERIDIAN BUILDING)  
WESLEY SITE G.F.A. = 9621.69 m<sup>2</sup> (MAXIMUM ALLOWED)  
185,270.37 sq. ft.

PHASE 1

SITE AREA	6601.10 m <sup>2</sup>
BUILDING COVERAGE	APARTMENT BUILDING
	GROUND FLOOR-BUILDING 830.97 m <sup>2</sup>
	RAMP TO GARAGE 119.35 m <sup>2</sup>
	EXIT STAIR 9.90 m <sup>2</sup>
	SUBTOTAL 960.22 m <sup>2</sup>
	TOWNHOUSES
	STREET TOWNHOUSES 1034.14 m <sup>2</sup>
	INTERIOR TOWNHOUSES 351.80 m <sup>2</sup>
	SUB-TOTAL 1428.94 m <sup>2</sup>
	TOTAL COVERAGE 2389.16 m <sup>2</sup>

PAVED AREA 6661.10 m<sup>2</sup> (100.0%)  
LANDSCAPED AREA 2744.44 m<sup>2</sup> (40.0%)  
(TOTAL LANDSCAPING REQUIRED)

BUILDING BY-LAW G.F.A. (MAX. ALLOWED 9621.69 m<sup>2</sup>)

APARTMENT BUILDING	5807.04 m <sup>2</sup>
STREET TOWNHOUSES	2437.80 m <sup>2</sup>
INTERIOR TOWNHOUSES	1113.80 m <sup>2</sup>
TOTAL G.F.A. PROVIDED	9358.64 m <sup>2</sup>

APARTMENT BUILDING UNIT COUNT

	COND. FL.	2ND. FL.	TYP. FL.	TOTAL UNITS
1 BEDROOM	-	-	11 UNITS	50 UNITS (94.7%)
2 BEDROOM	-	-	1 UNIT	5 UNITS (9.3%)
APARTMENT BUILDING TOTAL	-	-	12 UNITS	60 UNITS (100.0%)
(HANDICAPPED UNITS PROVIDED = 5 UNITS)	-	-	-	-

TOWNHOUSE UNIT COUNT

2 BEDROOM (INTERIOR)	1 UNITS (3.5%)
3 BEDROOM (STREET)	20 UNITS (21.54%)
4 BEDROOM (INTERIOR)	7 UNITS (25.00%)
TOWNHOUSE UNIT TOTAL	28 UNITS (100.0%)

PARKING PROVIDED

UNDERGROUND TENANTS	56 CARS
UNDERGROUND VISITORS	8 CARS
ON SURFACE VISITORS	6 CARS
TOTAL PARKING	70 CARS

APARTMENT UNIT BREAKDOWN

SUITE	GROUND FLOOR	2ND FLOOR	3RD - 7TH FLOORS	TOTAL
1A	-	-	6	30
1B	-	-	2	10
1C	-	-	1	5
2A H/C	-	-	2	10
TOTAL	-	-	12	60

SITE PLAN APPLICATION NO. DA-95-13

The following undertaking must be placed on all submitted plans of the site and must be read in conjunction with the following conditions:

(a) to comply with all the contents of this plan and drawing and not to use them for any other purpose without the written consent of the City of Hamilton.

(b) to perform the following work or to make reasonable provision for the same:

(c) to maintain the satisfaction of the City of Hamilton and of the public in the use of the site and to perform the following work or to make reasonable provision for the same:

(d) to perform the following work or to make reasonable provision for the same:

(e) to perform the following work or to make reasonable provision for the same:

(f) to perform the following work or to make reasonable provision for the same:

(g) to perform the following work or to make reasonable provision for the same:

(h) to perform the following work or to make reasonable provision for the same:

(i) to perform the following work or to make reasonable provision for the same:

(j) to perform the following work or to make reasonable provision for the same:

(k) to perform the following work or to make reasonable provision for the same:

(l) to perform the following work or to make reasonable provision for the same:

(m) to perform the following work or to make reasonable provision for the same:

(n) to perform the following work or to make reasonable provision for the same:

(o) to perform the following work or to make reasonable provision for the same:

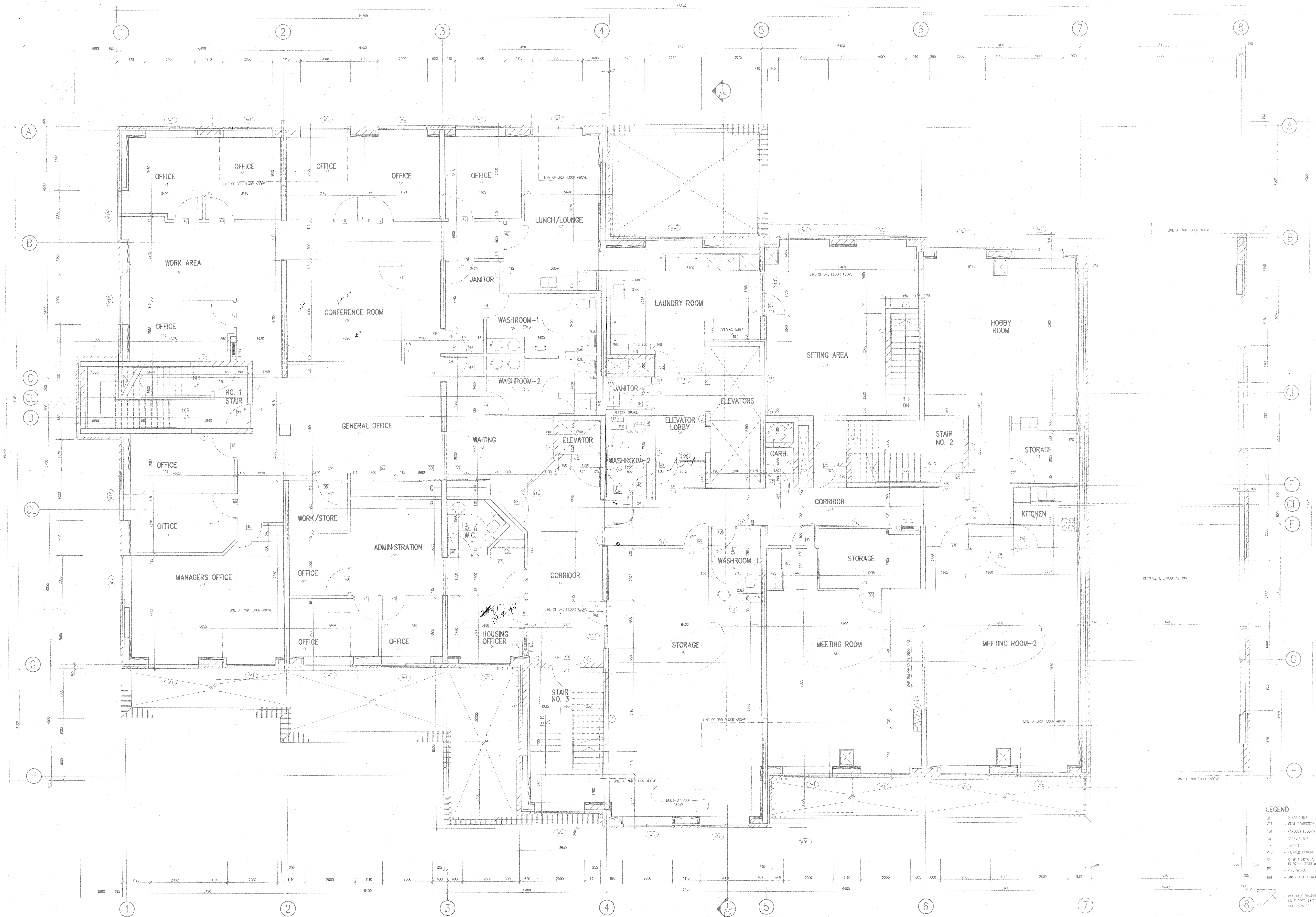
(p) to perform the following work or to make reasonable provision for the same:

(q) to perform the following work or to make reasonable provision for the same:









The Architect is not responsible for the accuracy of survey data, including, but not limited to, the location of existing structures, utilities, etc. engineering information shown on the drawings. Refer to the appropriate engineering drawings and proceed with work.

Contractor shall check all dimensions on the work and report any discrepancy to the Architect before proceeding. Construction must conform to all applicable Codes and Requirements of Authorities Having Jurisdiction.

No investigation has been conducted to determine the environmental condition of this site.

This drawing is not to be scaled.

All dimensions and areas to be verified on site by Ontario Land Surveyor.

This drawing is not to be used for any other purpose unless signed by the Architect.

Issued for Construction

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

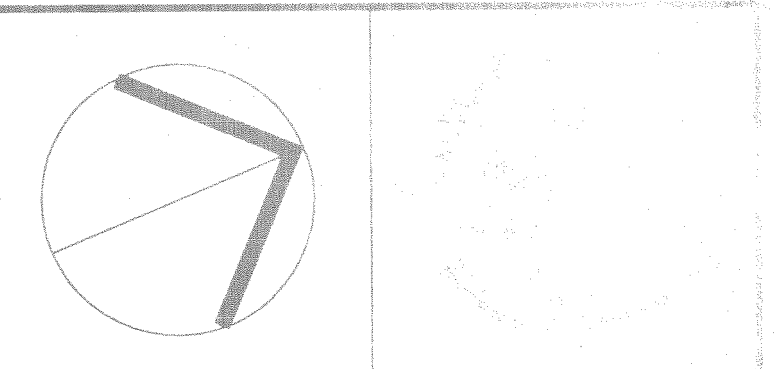
COPYRIGHT 1994 RAFAEL + BIGAUSKAS ARCHITECTS

3 NOV. 30/94 FOR CONTRACT SET  
2 OCT. 3/94 FOR W.O.B. & B.L.C. REPLY SUBMITTAL  
1 SEP. 20/94 FOR M.O.H.

no. date issued

PROPOSED RESIDENTIAL DEVELOPMENT

**ANDRIN BUILDING CORPORATION**  
WESLEY COMMUNITY HOMES  
FERGUSON AVE. & CITY OF HAMILTON



**RAFAEL + BIGAUSKAS ARCHITECTS**

95 Bridgeland Ave., 2nd Floor, Toronto, Ontario  
Telephone: (416) 789-4572 Fax: (416) 789-4573  
project architect: RAFAEL + BIGAUSKAS

sheet title

**2ND FLOOR PLAN**

scale 1:50 drawn by B.P./j.e.

date JULY/94 checked by RAFAEL + BIGAUSKAS

date plotted

NOV. 30/94

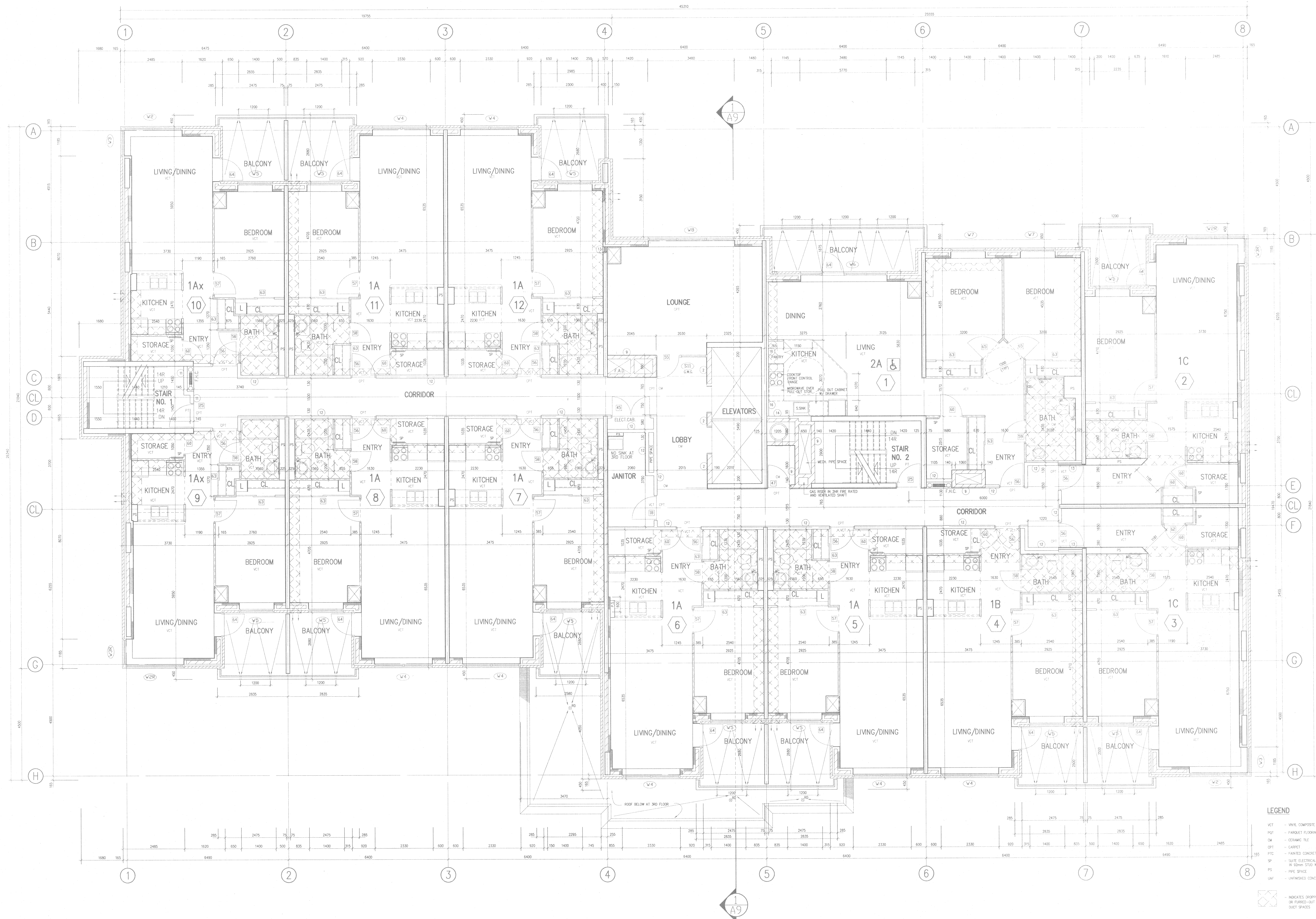
date printed

NOV. 30/94

date printed

NOV. 30/94





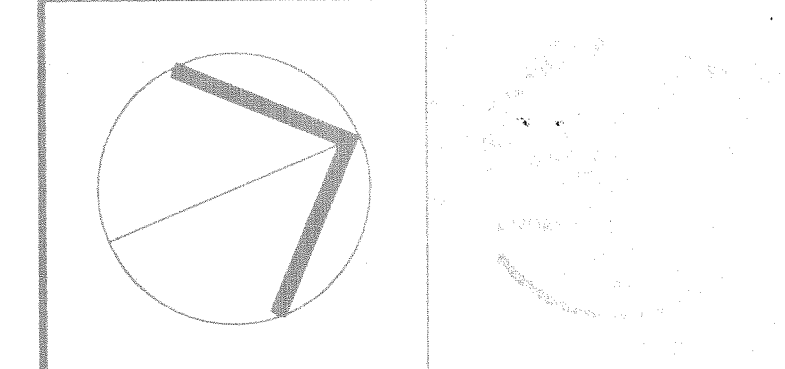
The Architect is not responsible for accuracy of survey, structural, mechanical, electrical, etc. engineering, plumbing, etc. shown on this drawing. It is the responsibility of the client to provide appropriate engineering drawings and specifications for the work to be performed. No investigation has been undertaken or reported on by this office in regard to the environmental condition of this site. This drawing is not to be scaled. All dimensions and areas to be confirmed on site by Ontario Land Surveyor. This drawing is not to be used for construction unless signed by the Architect.

Issued for Construction  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_  
COPYRIGHT 1994, RAFAEL + BIGAUSKAS ARCHITECTS INC.

3	NOV. 30/94	FOR CONTRACT SET
2	OCT. 3/94	FOR M.O.H. & B.C. PERMIT SUBMISSION
1	SEP. 20/94	FOR M.O.H.
no.	date	issued

PROPOSED RESIDENTIAL DEVELOPMENT

**ANDRIN BUILDING CORPORATION**  
WESLEY COMMUNITY HOMES  
FERGUSON AVE. & QTY. OF HAMILTON



**RAFAEL + BIGAUSKAS ARCHITECTS**

95 Bridgeland Ave., 2nd Floor, Toronto, Ontario, Canada  
Telephone: (416) 789-4573 Fax: (416) 789-4574

project architect: A. BIGAUSKAS project engineer: \_\_\_\_\_

sheet title: 3RD TO 7TH FLOOR TYPICAL FLOOR PLAN

scale: 1:50	drawn by: B.P./s.o.
date: JULY/94	checked by: _____
date plotted: _____	date printed: _____
NOV. 30/94	date printed: _____

**LEGEND**

- VCT - VINYL COMPOSITE TILE
- PQT - PARQUET FLOORING
- CM - CERAMIC TILE
- OPT - CARPET
- PTC - PAINTED CONCRETE
- SP - SATE ELECTRICAL PANEL IN 30mm STUO WALL
- PS - PIPE SPACE
- UNF - UNFINISHED CONCRETE
- INDICATES DROPPED C.L.G. OR FURRED-OUT DUCT SPACES



PROPERTY DESCRIPTION:

LT 50-53 PL 287; PT LT 49, 54 PL 287; PT ROBERT ST PL 287 BTN ELGIN ST & FERGUSON AV N (CLOSED BY BL28, AMENDED BY BL29); PT UNNUMBERED BLK PL 287 LYING BTN CANNON, ELGIN, ROBERT STREETS & FERGUSON AV N; PT ALLEYWAY PL 287 (CLOSED BY AB37437) PT 4, 6, 7, 13, 14, 17 & 18, 62R12857, S/T & T/W VM201375; S/T VM167628, VM184268, VM217651; CITY OF HAMILTON

PROPERTY REMARKS:

PLANNING ACT CONSENT AS IN VM137956. PLANNING ACT. CONSENT AS IN VM184233.

ESTATE/QUALIFIER:

RECENTLY:

PIN CREATION DATE:

FEE SIMPLE  
LT CONVERSION QUALIFIED

RE-ENTRY FROM 17162-0342

2009/12/21

OWNERS' NAMES

CAPACITY SHARE

WESLEY COMMUNITY HOMES INC.

ROWN

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
** PRINTOUT	INCLUDES ALL	DOCUMENT TYPES AND	DELETED INSTRUMENTS	SINCE 2009/12/18 **		
**SUBJECT,	ON FIRST REGISTRATION UNDER THE	LAND TITLES ACT, TO:				
**	SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES	*				
**	AND ESCHEATS OR FORFEITURE TO THE CROWN.					
**	THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF					
**	IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY					
**	CONVENTION.					
**	ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.					
**DATE OF CONVERSION TO	LAND TITLES: 2009/12/21	**				
62R12084	1992/02/10	PLAN REFERENCE				C
62R12297	1992/08/10	PLAN REFERENCE				C
62R12719	1993/08/04	PLAN REFERENCE				C
VM167628	1993/10/27	TRANSFER EASEMENT			THE REGIONAL MUNICIPALITY OF HAMILTON-WENTWORTH	C
62R12857	1993/11/30	PLAN REFERENCE				C
VM184237	1994/05/24	AGREEMENT			THE CORPORATION OF THE CITY OF HAMILTON	C
	REMARKS: SITE PLAN					
VM184238	1994/05/24	AGREEMENT			THE CORPORATION OF THE CITY OF HAMILTON	C
	REMARKS: SITE PLAN					
VM184268	1994/05/24	TRANSFER EASEMENT			THE CORPORATION OF THE CITY OF HAMILTON	C

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.

NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.



REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
62R13066	1994/07/29	PLAN REFERENCE				C
VM200940	1994/12/14	AGREEMENT			THE CITY OF HAMILTON	C
REMARKS: VM184238						
VM201375	1994/12/16	TRANSFER	\$1,323,859		WESLEY COMMUNITY HOMES INC.	C
VM201376	1994/12/16	CHARGE	\$11,815,271		THE TORONTO-DOMINION BANK	C
VM201377	1994/12/16	ASSIGNMENT GENERAL				C
REMARKS: RENTS, VM201376						
VM217651	1995/09/19	TRANSFER EASEMENT			UNION GAS LIMITED	C
VM237271	1997/01/15	AGREEMENT				C
VM251107	2001/06/15	TRANSFER OF CHARGE		THE TORONTO-DOMINION BANK	SCOTIA MORGTGAGE CORPORATION	C
REMARKS: VM201376						
VM251108	2001/06/15	ASSIGNMENT GENERAL		THE TORONTO-DOMINION BANK	SCOTIA MORTGAGE CORPORATION	C
REMARKS: VM201376, VM201377						
VM268638	2006/05/09	AGREEMENT		WESLEY COMMUNITY HOMES INC.	SCOTIA MORTGAGE CORPORATION	C
REMARKS: AMENDING NO. VM201376						
WE771585	2011/07/13	TRANSFER OF CHARGE		SCOTIA MORTGAGE CORPORATION	THE TORONTO-DOMINION BANK	C
REMARKS: VM201376.						
WE771586	2011/07/13	NO ASSGN RENT GEN		SCOTIA MORTGAGE CORPORATION	THE TORONTO-DOMINION BANK	C
REMARKS: RENTS VM201376						
WE1152583	2016/09/27	TRANSFER OF CHARGE		THE TORONTO-DOMINION BANK	SCOTIA MORTGAGE CORPORATION	C
REMARKS: VM201376, VM251107, VM268638, WE771585						
WE1152584	2016/09/27	NO ASSGN RENT GEN		THE TORONTO-DOMINION BANK	SCOTIA MORTGAGE CORPORATION	C
REMARKS: VM201376.						
WE1153200	2016/09/29	NOTICE	\$2	WESLEY COMMUNITY HOMES INC.	SCOTIA MORTGAGE CORPORATION	C
REMARKS: VM201376						

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.

NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.





Hamilton

Planning and Economic Development Department  
Planning Division

**Committee of Adjustment**

City Hall  
5<sup>th</sup> floor 71 Main Street West  
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221  
Fax (905) 546-4202

**PLEASE FILL OUT THE FOLLOWING PAGES AND  
RETURN TO THE CITY OF HAMILTON PLANNING  
DEPARTMENT.**

**FOR OFFICE USE ONLY.**

APPLICATION NO. \_\_\_\_\_ DATE APPLICATION RECEIVED \_\_\_\_\_

PAID \_\_\_\_\_ DATE APPLICATION DEEMED COMPLETE \_\_\_\_\_

SECRETARY'S  
SIGNATURE \_\_\_\_\_

**CITY OF HAMILTON  
COMMITTEE OF ADJUSTMENT  
HAMILTON, ONTARIO**

***The Planning Act***

**Application for Minor Variance or for Permission**

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner Wesley Community Homes Telephone No. [REDACTED]  
FAX NO. [REDACTED] E-mail address. [REDACTED]
2. Address [REDACTED]  
\_\_\_\_\_  
Postal Code [REDACTED]
3. Name of Agent Drew Goursky Telephone No. [REDACTED]  
FAX NO. \_\_\_\_\_ E-mail address. [REDACTED]
4. Address [REDACTED]  
\_\_\_\_\_  
Postal Code [REDACTED]

**Note:** **Unless otherwise requested all communications will be sent to the agent, if any.**

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:  
Please see attached Parcel Register.  
\_\_\_\_\_  
Postal Code \_\_\_\_\_  
\_\_\_\_\_  
Postal Code \_\_\_\_\_



6. Nature and extent of relief applied for:  
Seeking relief from Section 18A (Tables 1 and 2) of Zoning By-Law 693.  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_
7. Why it is not possible to comply with the provisions of the By-law?  
The site currently has excess parking and will have 19 extra spaces once the Wesley Day Program vacates the premises. It is not physically possible to add parking spaces.  
Low utilization rate of parking by existing residents will extend to the new resident
8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):  
Plan 287 LTS 50 to 53 PT LTS 49, 54 PT CLOSED ALLEY PT CLOSED ST RP 62R12857  
PT54, 6, 7,13, 14, 17, 18, PLUS EASEMENT 1.69AC, 180.28 FR. 288.48D  
 \_\_\_\_\_
9. PREVIOUS USE OF PROPERTY
- Residential   X   Industrial        Commercial         
 Agricultural        Vacant         
 Other \_\_\_\_\_
- 9.1 If Industrial or Commercial, specify use  
 \_\_\_\_\_
- 9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?  
 Yes        No        Unknown   X
- 9.3 Has a gas station been located on the subject land or adjacent lands at any time?  
 Yes        No        Unknown   X
- 9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?  
 Yes        No   X   Unknown
- 9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?  
 Yes        No   X   Unknown
- 9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?  
 Yes        No   X   Unknown
- 9.7 Have the lands or adjacent lands ever been used as a weapon firing range?  
 Yes        No   X   Unknown
- 9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?  
 Yes        No   X   Unknown



9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes \_\_\_\_\_ No   X   Unknown \_\_\_\_\_

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes \_\_\_\_\_ No   X   Unknown \_\_\_\_\_

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

The existing apartment building was built nearly 25 years ago and received all of the appropriate approvals at that time. The proposed expansion is internal and no exterior excavation will occur.

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes \_\_\_\_\_ No   X  

### ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature Property Owner

\_\_\_\_\_  
Print Name of Owner

10. Dimensions of lands affected:

Frontage Building 54.175m

Depth 87.926m2

Area 6881.10m2

Width of street 86.08m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: Ground Floor 830.9m2, Gross Floor Area 5807.04m2, 7 floors, Length 54.175m2

Width 87.926m2

Proposed: The proposed changes are all internal and within the existing dimensions of the building and will have no impact on the existing footprint.

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: N/A



Proposed: <u>N/A</u>	
<hr/>	
<hr/>	
<hr/>	
13.	Date of acquisition of subject lands: <u>1994/12/16</u>
14.	Date of construction of all buildings and structures on subject lands: <u>Building completed in 1995</u>
15.	Existing uses of the subject property: <u>Multi-residential affordable housing apartment building for people requiring mental health supports.</u>
16.	Existing uses of abutting properties: <u>Residential</u>
17.	Length of time the existing uses of the subject property have continued: <u>Has been a residential building since completion in 1995.</u>
18.	Municipal services available: (check the appropriate space or spaces) Water <u>Existing</u> Connected <u>Yes</u> Sanitary Sewer <u>Existing</u> Connected <u>Yes</u> Storm Sewers <u>Existing</u>
19.	Present Official Plan/Secondary Plan provisions applying to the land: <u>West Harbour Secondary Plan - Medium Density Residential 2 Ferguson-Wellington Corridor.</u>
20.	Present Restricted Area By-law (Zoning By-law) provisions applying to the land: <u>Former Hamilton Zoning By-Law 6593.</u>
21.	Has the owner previously applied for relief in respect of the subject property? <div style="text-align: center;"> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No </div> If the answer is yes, describe briefly. <u>HM/A-94:157 - allowance to locate some visitor parking in the underground garage.</u> <u>HM/A-05:203 - reduce parking spaces from 71 to 64 to allow for storage in the underground garage.</u>
22.	Is the subject property the subject of a current application for consent under Section 53 of the <i>Planning Act</i> ? <div style="text-align: center;"> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No </div>
23.	The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

**NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps**



October 30, 2020

Committee of Adjustment  
City of Hamilton  
71 Main Street West, 5<sup>th</sup> Floor  
Hamilton, ON L8P 4Y5

Dear Sir/Madam:

**Re: 195 Ferguson Avenue North, Hamilton, ON  
Committee of Adjustment Application for a Minor Variance  
Wesley Community Homes, Inc.**

Tim Welch Consulting Inc. is pleased to submit this Committee of Adjustment Application for Minor Variance on behalf of the landowners noted above.

In response to a growing problem with people unable to secure permanent affordable and supportive housing in Hamilton, Wesley Community Homes Inc. (Wesley) is proposing to add 11 new apartments to its current 60 unit, seven storey building at 195 Ferguson Avenue North (subject property).

Staff from the development team and Wesley attended a formal pre-consultation meeting with City staff on September 25, 2019, where it was noted that only a minor variance for reducing the minimum number of parking spaces would be required to permit the construction of 11 additional apartment dwelling units on the subject property.

This application for Minor Variance seeks to vary the parking requirement of WEST HARBOUR SECONDARY PLAN: MEDIUM DENSITY RESIDENTIAL 2 FERGUSON-WELLINGTON CORRIDOR, SECTION 18A (Tables 1 and 2) of ZONING BY-LAW 6593 and SECTION 18.1 (b) and TABLE 2 of ZONING BY-LAW 6595.

This memo provides further context on the existing conditions of the subject property and the rationale for reducing the minimum number of parking spaces for the apartment building.

**Existing Conditions**

Wesley is a not-for-profit housing corporation that provides affordable and supportive housing for low- and moderate-income households at 195 Ferguson Avenue North, Hamilton. The subject property is considered to be a "through-lot" with frontage along Ferguson Ave. N. and Elgin St. The total size of the subject property is approximately 6,861.1m<sup>2</sup> (0.69 ha) with the following site stats:

- Frontage: 54.2m along Ferguson Ave. N.;
- Frontage: 115.1 along Elgin St.;
- Depth: 87.9m



The subject property is currently occupied by 28 townhouse units and a 60-unit seven storey apartment building. The townhouses occupy on the west half of the subject property while the apartment is located on the east half and fronts onto Ferguson Avenue North. Parking for the street townhouses is provided through garages and driveways while parking (69 spaces in total) for the apartment building and interior townhouses is provided through a small surface parking lot (7 spaces which are used for visitors) and a below grade parking structure (59 parking spaces).

Presently, the apartment building has 55 one-bedroom and five two-bedroom apartments from floors three to seven while the ground floor is used for administrative purposes and day programs operated by Wesley Urban Ministries (not affiliated with Wesley Homes) to provide outreach services for individuals who are at risk or are currently homeless. The second floor is largely vacant and used only for staff meetings, etc.

### **Proposed Development**

Wesley Homes is proposing to increase the number of apartment dwellings units on the subject property from 60 dwelling units to 71. The proposed intensification of the subject property is anticipated to occur by converting the 2<sup>nd</sup> floor of the existing apartment building to 10 one-bedroom apartments and adding a two-bedroom apartment dwelling on the ground floor. To offset the loss of common areas on the 2<sup>nd</sup> floor, Wesley Homes is also preparing to convert a portion of the ground floor to a common area for tenants. Wesley Urban Ministries are currently on a short-term lease and will move their programming out of 195 Ferguson Avenue, North on November 1, 2020.

### **Planning Considerations**

At present, the site is currently subject to the development standards contained within site-specific zoning by-law E/S 1297C (as amended). Of note is that a previous Committee of Adjustment application (HM/A05:203) was approved to reduce the number of parking spaces for the apartment and street townhouse dwellings (8 units) from 71 to 64 (a parking ratio). Within the City's Official Plan, the site is subject to the policies contained within the Neighbourhoods and Non-Decision 113 West Harbour Setting Sail designations.

At the formal pre-consultation meeting on September 25, 2019 for the proposed intensification, comments from staff noted that the only variance which would be required was reducing the minimum number of parking spaces (tenant and visitor) on the subject property for the existing apartment building.

At present, site specific zoning by-law E/S 1297C requires that the existing apartment building provide 60 parking spaces or a 1.0 parking ratio for each dwelling unit.



## Current Parking Utilization at 195 Ferguson Avenue North

Total Above Ground Spaces: 7		
Type	Number	Accessible Spots
Visitors	7	1
Total	7	1

Total Below Ground Spaces: 59		
Type	Number	Accessible Spots
Tenants	19	1
Wesley Staff	5	0
Good Shepherd Staff	13	0
Spaces to be vacant*	19	0
Spaces Not Usable	3	0
Total	59	1

\*Spaces available after Wesley Urban Ministry leaves the building.

As noted, in the second chart, 19 spaces will be vacated once the programming offered by Wesley Urban Ministries leaves the building. Wesley and Good Shepherd staff advised that most residents utilize the HRT #2 Barton bus or DARTS to get to appointments, shopping, etc. Many residents also walk to nearby amenities including grocery stores and the hospital. Based on a review of their waiting list, it does not appear that any of the new incoming residents will require parking. Even if they did, there would be 19 vacant spaces available once Wesley Urban Ministry vacates the building, which would be more than enough parking to accommodate any new residents. It is notable that in the past year, the parking utilization rate at Wesley has not changed.

Many affordable housing providers in Hamilton have sought parking variances for new developments due to the low number of residents with cars. A reduction in parking also assists with the "affordability" of a project as costs will not be incurred to create additional spaces. It is very rare for residents living in supported affordable housing to have a car and generally, the majority of parking is used by staff.

To further illustrate this point, the YWCA affordable rental building under construction at 52 Ottawa Street, Hamilton is similar in size to the proposed Acorn Street project and was approved with a parking variance to permit 8 spaces.

### 52 Ottawa Street- YWCA Project

The site-specific designation amended the "H" Community shopping and commercial zone to allow a special requirement that a multiple dwelling unit consisting of 50 unit with a maximum height of six storeys be permitted.



**52 Ottawa Street: 6 storey**

Medium density

One Bedroom 34 units (15 Market+ 19 AH)

Two Bedroom 10 units (10 AH)

Three Bedroom 6 units (6 AH)

**Total 50 units**

**Total Parking - 8 marked surface parking**

Additionally, non-profit housing provider Sacajawea was approved for 11 parking spaces at its 23-unit affordable housing development at 18 West, (close to the King Street bus routes) and upon occupancy in December 2019 found that only four of its residents needed a parking space

**Planning Considerations**

As this application requested certain Minor Variances to applicable sections of the Zoning By-law as noted above, in this regard we have considered the four tests that a minor variance must meet per section 45 (1) of The Planning Act, RSO 1990, c P. 13., as follows:

**i) Is the Application Minor?**

The variance required for this project is minor in nature and will allow for adequate parking for residents. In fact, with the staff from Wesley Urban Ministries leaving the building, 19 spaces, which far exceeds the number of units being added will become available and no additional pressure will be placed on parking demand.

**ii) Is the application desirable for the appropriate development of the lands?**

This application is desirable and represents appropriate development of the subject lands as the proposed form and density is supported by the current Official Plan and zoning designation of the property. The application provides for a more appropriate and efficient utilization of floor space to allow for more critically needed affordable housing opportunities to be developed.

**iii) Does the application conform to the general intent of the Zoning By-law?**

The requested variance conforms to the intent of the Zoning By-law and is required in order to accommodate the minor internal architectural adjustments required for the building.

**iv) Does the application conform to the general intent of the Official Plan?**

Based on a review of the applicable policies of City of Hamilton Official Plan, the intensification for the site provides will increase the density of the site and is supportive of public transit developments. The location of the property is in an area well served by public transit and other amenities.

Section 2.4 of The Official Plan of Hamilton specifically states:



*2.4 Residential intensification is a key component of Hamilton's growth strategy and is essential to meet our growth and employment targets. Intensification ensures land, urban services and the transportation network are used more efficiently, and sufficient population is maintained to support existing community facilities. Successfully accommodating more residents within the existing built-up area reduces the need for development of greenfield lands and urban boundary expansions. Intensification contributes to creating and maintaining vibrant neighbourhood nodes and corridors and can provide a wider range of housing types to meet the housing needs of Hamilton's current and future population. This Plan supports the intensification of the existing built-up area of the City, with a focus on intensification of planned Urban Nodes and Urban Corridor.*

And further section 3.2.1.3 of the City's Official Plan states a goal of that part of the Urban housing goal of the city is to *"Increase Hamilton's stock of affordable housing of all types, particularly in areas of the City with low levels of affordable housing."*

With the approval of this Minor Variance Application, Wesley Community Homes will be able to pursue current "shovel ready" funding opportunities that will serve to provide permanent, supportive affordable housing opportunities to the city's most vulnerable and disadvantaged residents.

We trust that this information will assist the Committee of Adjustment in providing their approval for this Minor Variance Application.

Please do not hesitate to contact Drew Goursky at (905) 867-1878 or [dgoursky@twcinc.ca](mailto:dgoursky@twcinc.ca) if you require any additional information.

Sincerely,

A handwritten signature in black ink, appearing to read 'Drew Goursky', with a stylized flourish at the end.

Drew Goursky  
Housing Consultant