

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: GL/A-20:254

APPLICANTS: Owner: Keith Tinson Agent: Steven Albanese

SUBJECT PROPERTY: Municipal address **111 Cutts Cres., Glanbrook**

ZONING BY-LAW: Zoning By-law 464, as Amended by By-law 14-026

ZONING: R4-279district (Residential)

PROPOSAL: To permit the construction of patio deck at the rear of the existing single detached dwelling, notwithstanding that;

1. A minimum 0.9m setback shall be permitted from an interior side lot line instead of the minimum 1.0m setback required from an interior side lot line.
2. A minimum 0.9m setback shall be permitted from the rear lot line instead of the minimum 3.0m setback required from the rear lot line.

This application will be heard by the Committee as shown below:

DATE: Thursday, January 21st, 2021

TIME: 1:55 p.m.

PLACE: Via video link or call in (see attached sheet for details)

To be streamed at www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

Important note: *If a person or public body that files an appeal of a decision of the Committee of Adjustment in respect of the proposed consent does not make written submission to the Committee of Adjustment before it gives or refuses to give a provisional consent, the Local Planning Appeal Tribunal (LPAT) may dismiss the appeal.*

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

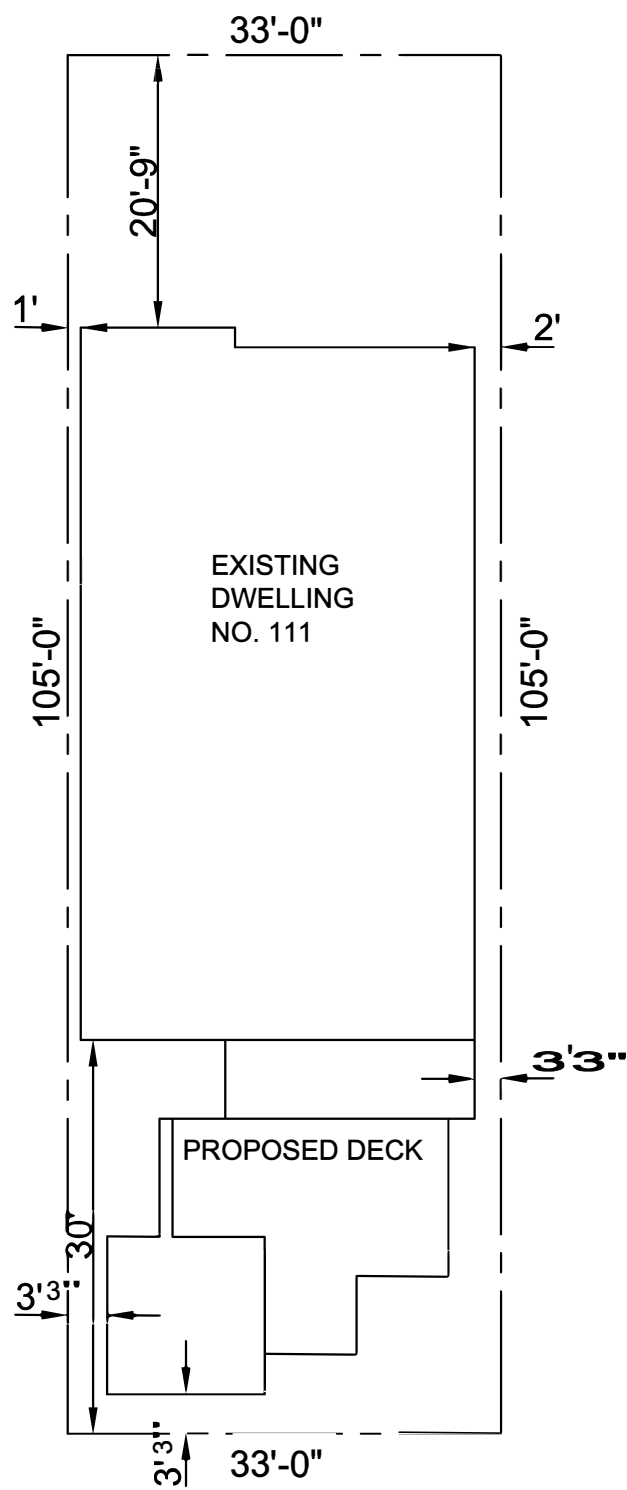
- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: January 5th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

CUTTS CRESCENT



LOT AREA: 3465ft²
EXISTING LOT COVERAGE: 1600ft²
DECK COVERAGE: 540ft²
TOTAL LOT COVERAGE: 2140ft² (61.76%)

No.	Revision / Issue:	Date:
1	FOR PERMIT	09/21/20

Firm Name & Address:

Project Name & Address:

Site Plan
111 Cutts Crescent
Binbrook, On

Project:

Proposed Deck

Date:

09/21/20

Scale:

N.T.S.

Sheet:

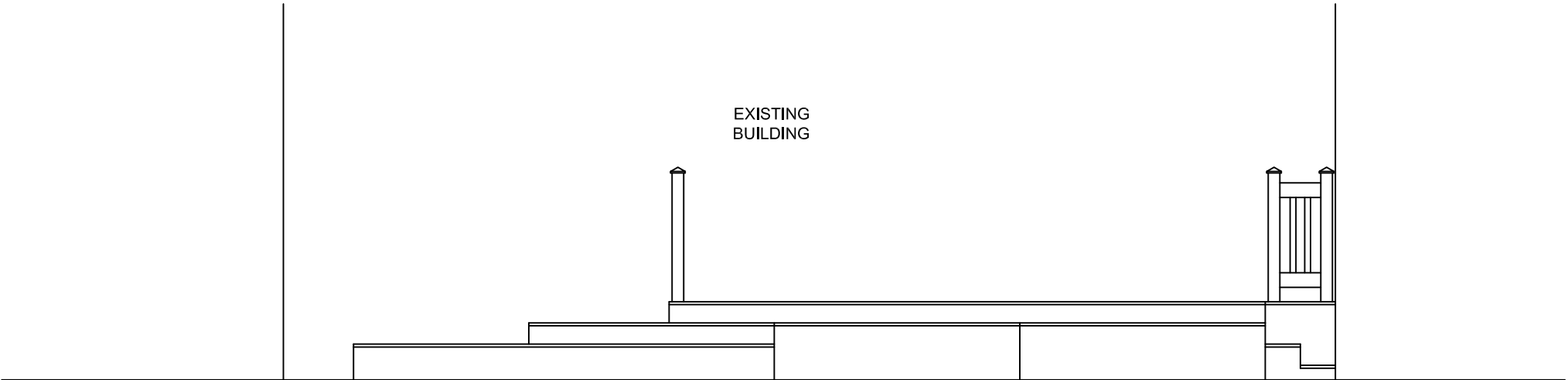
A1



LEFT ELEVATION



RIGHT ELEVATION



FRONT ELEVATION

No.	Revision / Issue:	Date:
1	FOR PERMIT	09/21/20

Firm Name & Address:

Project Name & Address:

Elevations
111 Cutts Crescent
Binbrook, On

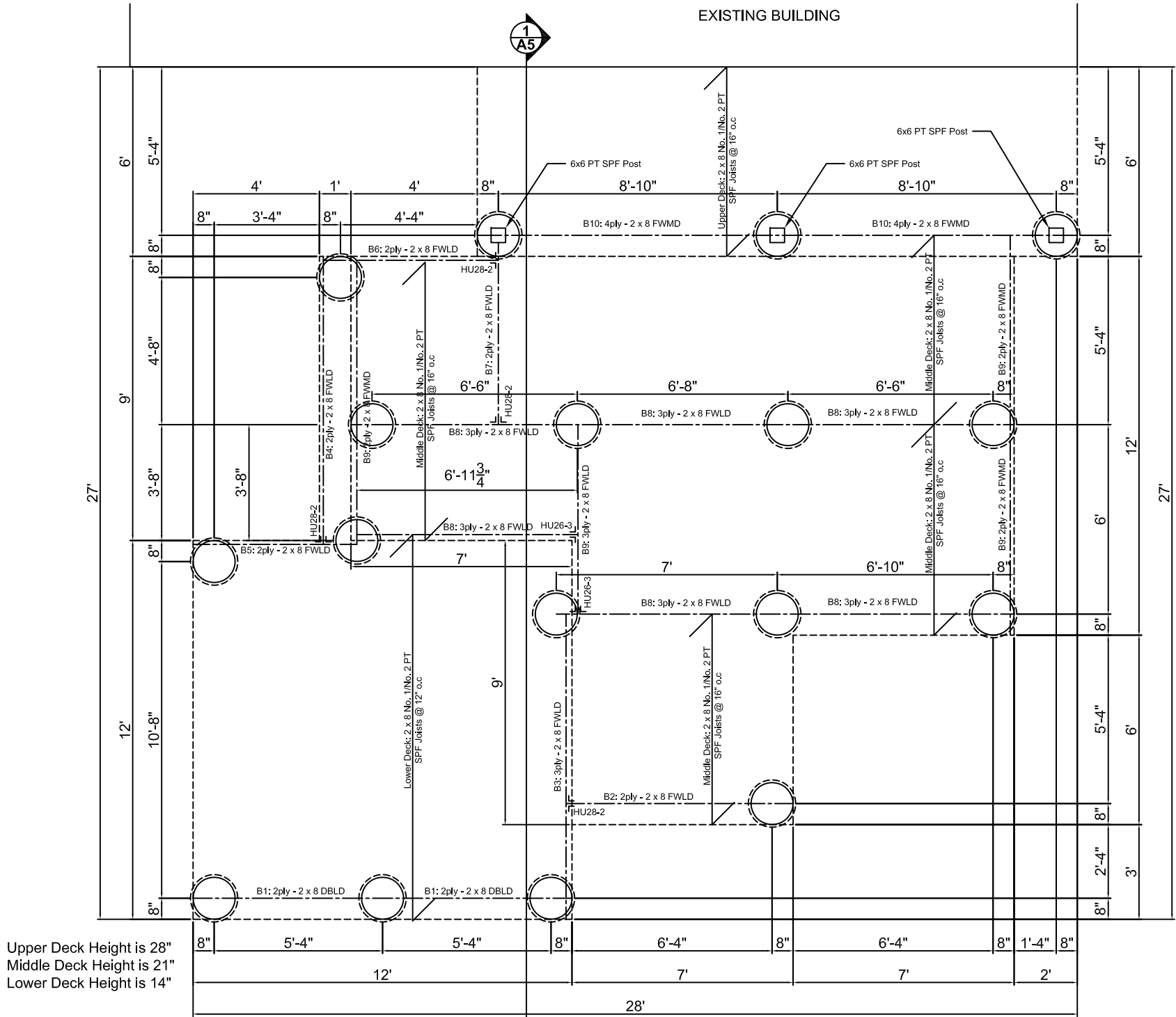
Project:
Proposed Deck

Date:
09/21/20

Scale:
N.T.S.

Sheet:

A4



All beam material to be No. 1/No. 2 PT SPF grade.
DBLD: Dropped Below Lower Deck
FWLD: Flush With Lower Deck
FWMD: Flush With Middle Deck
FWUD: Flush With Upper Deck

DECK PLAN

No.	Revision / Issue:	Date:
1	FOR PERMIT	09/21/20

Firm Name & Address:

Project Name & Address:

Deck Plan
111 Cutts Crescent
Binbrook, On

Project:
Proposed Deck

Date:
09/21/20

Scale:
N.T.S.

Sheet:

No.	Revision / Issue:	Date:
1	FOR PERMIT	09/21/20

Firm Name & Address:

Project Name & Address:

Building Section
111 Cutts Crescent
Binbrook, On

Project:

Proposed Deck

Date:

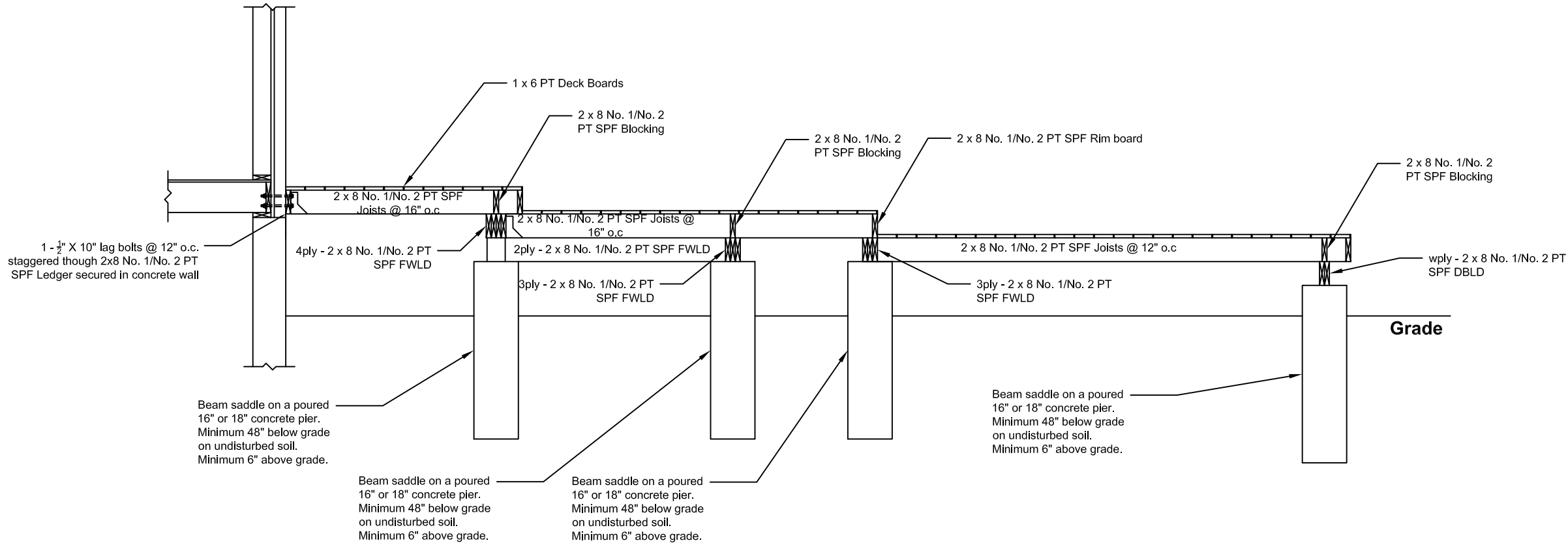
09/21/20

Scale:

N.T.S.

Sheet:

A5



BUILDING SECTION #1



Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

**PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.**

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

**CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO**

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner Keith Tinson Telephone No. _____

FAX NO. _____ E-mail address _____

2. Address _____

Postal Code _____

3. Name of Agent Steven Albanese Telephone No. _____

FAX NO. _____

4. _____
Postal Code _____

Note: Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:

TD Bank
500 Guelph Line, Burlington Postal Code L7R 3M4

Postal Code _____

6. Nature and extent of relief applied for:
Rear yard set back For deck is 10'
we are proposing 3'

7. Why it is not possible to comply with the provisions of the By-law?
The backyard does not level itself to a
concrete or interlock patio without changing
grade significantly. A deck would allow for
usable space / maintain existing grade

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):
111 Cutts Crescent

9. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐
Agricultural ☐ Vacant ☐
Other

9.1 If Industrial or Commercial, specify use

9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☒ Unknown ☐

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☒ Unknown ☐

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Public Records.

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☐

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application, by reason of its approval to this Application.

Oct 21/20
Date

Signature Property Owner

Keith Tinson
Print Name of Owner

10. Dimensions of lands affected:

Frontage 33'
Depth 108'
Area 3465 SF
Width of street 25'

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: House W - 30'
L - 54'3"
H - 24'

TWO STORIES w/ 1600SF ground floor & 2900SF

Proposed: House to remain the same. Adding
a deck to backyard.

W - 28'
L - 27'
H - 24"

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: RS - 1'
LS - 2'
Front - 20'9" / REAR 30'

Proposed: RS - 3'3"
LS - 3'3"
ROAR - 3'3"
FRCMT - 75'

13. Date of acquisition of subject lands: 2010
14. Date of construction of all buildings and structures on subject lands: 10+ years
15. Existing uses of the subject property: SFD
16. Existing uses of abutting properties: SFD
17. Length of time the existing uses of the subject property have continued: 10-15 years
18. Municipal services available: (check the appropriate space or spaces)
Water ✓ Connected ✓
Sanitary Sewer ✓ Connected ✓
Storm Sewers ✓
19. Present Official Plan/Secondary Plan provisions applying to the land:
Low Density Residential
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
RY-279-464 BCAA Brook
RY-100 14-026
21. Has the owner previously applied for relief in respect of the subject property?
Yes No
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes No
23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps