

NOTICE OF PUBLIC HEARING

Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-20:264

APPLICANTS: Owner: Gardenview Properties c/o Rosemary Smith
Agent: AJ Clarke & Associates

SUBJECT PROPERTY: Municipal address **21 Summit Ave., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: E district (Multiple Dwellings, Lodges, Clubs, Etc.)

PROPOSAL: To permit the number of dwelling units within an existing seven (7) storey multiple dwelling to be increased from 38 dwelling units to 41 dwelling units, notwithstanding that

1. The minimum required parking shall be based on the provision of 0.75 parking spaces per Class A dwelling unit to require 31 parking spaces for 41 dwelling units instead of the provision of 1.25 parking spaces per Class A dwelling unit which would require 52 parking spaces.
2. The parking spaces located on the ground floor of the multiple dwelling shall be permitted to be partially obstructed by structural support columns which reduces the width to 2.4m at the entrance to each parking space and also within each parking space.
3. No loading space shall be required instead of the minimum required 1 loading space having dimensions of 18.0m in length x 3.7m in width x 4.4m in height for a multiple dwelling which comprises more than 30 dwelling units.
4. No visitors parking spaces shall be provided instead of the provision of 0.25 parking spaces per Class A dwelling unit which would require 13 visitors parking spaces for 41 dwelling units.

NOTES:

1. The variance is written generally as requested by the applicant. However, it is noted that the applicant has identified that 31 parking spaces are being provided based on the parking study rather than 32 spaces. Accordingly, the requested requirement was modified to 0.75 from 0.77 spaces per dwelling unit. In addition, other variances have been included to address existing obstructions for the covered parking spaces; loading and visitors parking which were identified through discussions with the applicant's consultant.

2. The number of parking spaces has not been clearly identified for the property and a proper site plan has not been provided. Based on the submitted information, it appears that 24 parking spaces are provided on the main floor of the multiple dwelling with 12 parking spaces accessible from the front yard and 12 parking spaces accessible along the rear wall of the building. The location of the remaining parking spaces on the property has not been identified.
3. In lieu of a site plan, floor plans were provided for this application. Based on the submission, it was not possible to review the following parking, and access requirements for the multiple dwelling:
 - Minimum aisle widths and manoeuvring spaces;
 - Planting strip and visual barriers for parking spaces abutting a residential district;
 - The location of parking space boundaries on the property;
 - The designation of individual parking spaces by bumpers or wheel barriers for parking areas consisting of more than 5 parking spaces in a row; and,
 - The location and dimensions of parking spaces that are outside of the building.Therefore, additional variances may be required if the requirements noted are not in compliance with the Zoning By-law.
4. The multiple dwelling was constructed in the 1960s and is recognized as an existing 38 unit multiple dwelling in the E District.
5. The three dwelling units which are to be added are existing within the building but are not currently recognized as legal units.

This application will be heard by the Committee as shown below:

DATE:	Thursday, January 21st, 2021
TIME:	2:40 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
To be streamed at www.hamilton.ca/committeeofadjustment for viewing purposes only	

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

Important note: *If a person or public body that files an appeal of a decision of the Committee of Adjustment in respect of the proposed consent does not make written submission to the Committee of Adjustment before it gives or refuses to give a provisional consent, the Local Planning Appeal Tribunal (LPAT) may dismiss the appeal.*

MORE INFORMATION

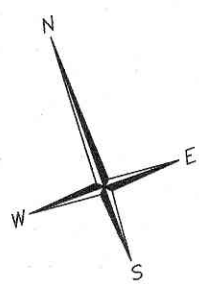
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

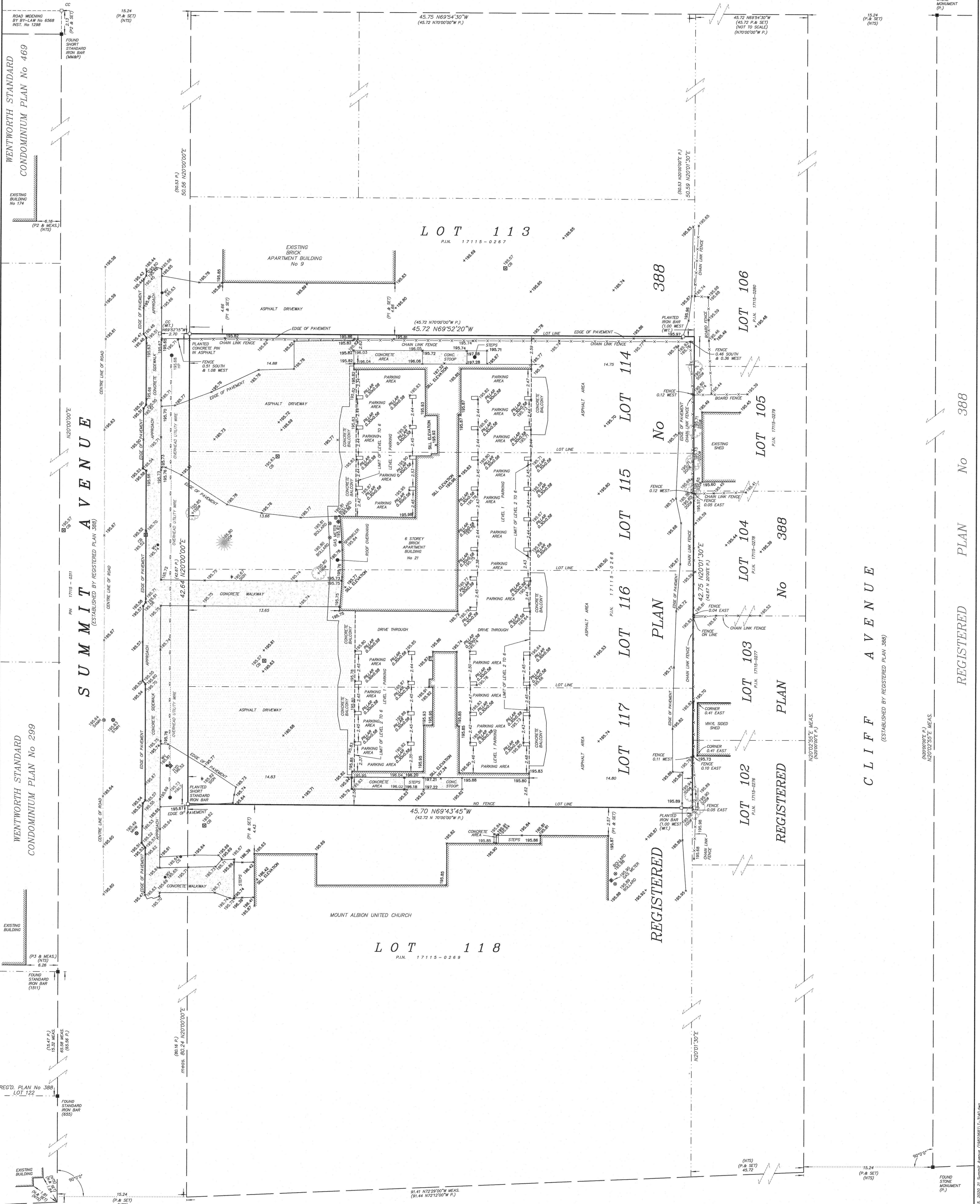
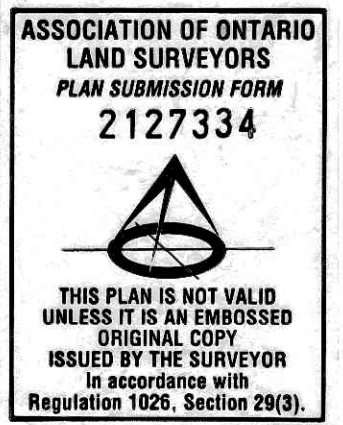
DATED: January 5th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



MOUNTAIN PARK AVENUE
(ESTABLISHED ACCORDING TO REG'D. PLAN No 388)



SURVEYOR'S CERTIFICATE:

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM
 - THE SURVEY WAS COMPLETED ON THE 14th DAY OF JULY 2020

K. Athithithan
ATHITHITHAN KANAGANAYAGAM
ONTARIO LAND SURVEYOR

BENCH MARK
CITY OF HAMILTON
STATION 07720100036
RIB WITH BRASS CAP
MONUMENT IS LOCATED AT THE EAST SIDE OF MAHONY PARK,
~90.0m NORTH OF THE CENTRE LINE OF BARTON STREET EAST.
~15.0m NORTH OF THE CENTRE LINE OF GOOGIN AVENUE
AND ~16.0m WEST OF THE CENTRE LINE OF ADELINE AVENUE.
ELEVATION=86.893 CGVD 28

METRIC:
DISTANCES AND ELEVATIONS SHOWN ON THIS PLAN
ARE IN METRES AND CAN BE CONVERTED TO FEET
BY DIVIDING BY 0.3048

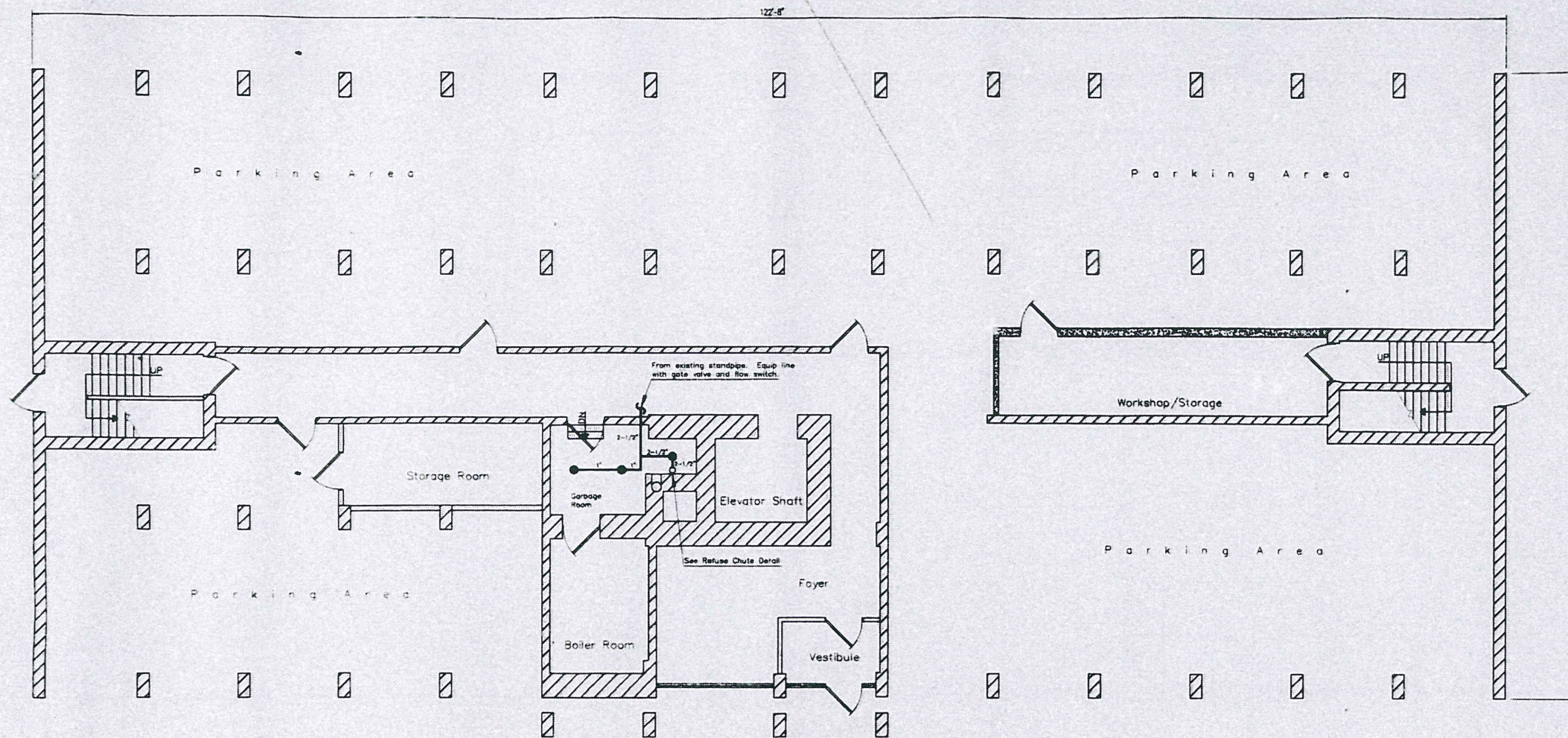
CONCESSION STREET
(ORIGINAL ROAD ALLOWANCE CONCESSIONS 3 AND 4)

- LEGEND:**
- CB DENOTES CATCH BASIN
 - CL DENOTES CENTRE LINE
 - CS DENOTES CURB STOP
 - HP DENOTES HYDRO POLE
 - HYD DENOTES HYDRANT
 - H&LS DENOTES HYDRO & LIGHT STANDARD
 - MHW DENOTES WATER MANHOLE
 - SMH DENOTES SANITARY MANHOLE
 - STMH DENOTES STORM MANHOLE
 - 200# DENOTES 200mm DIA. TREE
 - WV DENOTES WATER VALVE

- LEGEND:**
- CC DENOTES CUT CROSS
 - CC (655) DENOTES J. T. PETERS O. L. S.
 - (1511) DENOTES G. CONSOLI O. L. S.
 - (MM&P) DENOTES MACKAY MACKAY & PETERS LIMITED
 - (O.U.) DENOTES ORIGIN UNKNOWN
 - (NTS) DENOTES NOT TO SCALE
 - (N.) DENOTES PREVIOUS SURVEY NOTES
 - (P.) BY CITY OF HAMILTON DATED AUGUST 29, 1978
 - (P1) DENOTES REGISTERED PLAN No 388
 - (P2) DENOTES PLAN BY H. B. ASHENHURST O. L. S.
 - (P3) DATED JANUARY 1963
 - (W.T.) DENOTES WENTWORTH STANDARD CONDOMINIUM PLAN No 469
 - (W.T.) DENOTES WENTWORTH STANDARD CONDOMINIUM PLAN No 299
 - (W.T.) DENOTES WITNESS

NOTE:
A. J. CLARKE & ASSOCIATES LTD. is not liable for use of this
REPORT by any party or parties for FUTURE TRANSACTIONS
or for any unrelated purposes.
This REPORT reflects conditions at time of survey. UPDATING
may be required to issue ADDITIONAL COPIES subsequent to
DATE OF THE SURVEYOR'S CERTIFICATE.

A. J. Clarke and Associates Ltd.
SURVEYORS • PLANNERS • ENGINEERS
25 MAIN STREET WEST, SUITE 300
HAMILTON, ONTARIO, L8P 1H1
TEL. 905-528-8761 FAX 905-528-2289
email: ajc@ajclarke.com



Ground Floor Plan

The CITY OF HAMILTON disclaims any liability as to the current accuracy of the contents of this document and advises that no reliance can be placed upon the current accuracy of the contents herein.

IMPORTANT NOTICE
This Building Permit does NOT approve the above noted use of these premises as being legal under Zoning Laws.

CITY OF HAMILTON DEPARTMENT OF BUILDINGS	
JUL 10 1996	
REC BY	DATE
REFD BY	DATE
REFD TO	DATE
REFD TO	DATE

IT IS THE OWNER'S SOLE RESPONSIBILITY TO ENSURE THIS WORK COMPLIES WITH THE FIRE PREVENTION REGULATIONS AND STANDARDS UNDER THE FIRE RETORTION ACT OF THE FIRE CODE.

1. GENERAL REQUIREMENTS

1. SCOPE

FURNISH ALL LABOUR, MATERIALS AND EQUIPMENT TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS TO PROVIDE A SYSTEM AND REPLACE ANY PARTS OF THE EXISTING SYSTEM WHICH CONNECT INTO THE NEW SYSTEM.

2. CODE REQUIREMENTS

THE ENTIRE INSTALLATION AND EQUIPMENT IS TO COMPLY WITH APPLICABLE RULES OF:

- ONTARIO ELECTRICAL SAFETY CODE
- ONTARIO BUILDING CODE
- N.F.P.A. 13 "STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS"

3. LIABILITY INSURANCE

MAINTAIN INSURANCE TO FULLY PROTECT OWNER AND CONTRACTOR FROM ANY DAMAGES OR INJURY CLAIMS.

4. CUTTING PATCHING AND PAINTING

BEFORE CUTTING OR DRILLING IN WALLS, CEILINGS, OR FLOORS, ASCERTAIN THAT THE INTEGRITY OF THE BUILDING STRUCTURE WILL NOT BE SACRIFICED DUE TO THE WORK. AFTER COMPLETION OF THE WORK, PATCH AND PAINT TO THE SATISFACTION OF THE OWNER'S. PAY FOR THIS WORK UNDER THIS CONTRACT.

5. SERVICE INTERRUPTIONS

ANY REQUIRED SERVICE INTERRUPTIONS MUST BE REQUESTED AND OBTAINED FROM THE OWNER OR BUILDING SUPERINTENDENT PRIOR TO THE INTERRUPTIONS. THE INTERRUPTIONS MUST BE AS SHORT AS POSSIBLE AND MUST NOT EXTEND INTO THE EVENING.

6. VISITING THE SITE

BEFORE SUBMITTING THE TENDER PRICE FOR THIS WORK, THE CONTRACTOR SHALL VISIT THE SITE IN ORDER TO BECOME COMPLETELY FAMILIAR WITH ALL CONDITIONS AND TO THE EXTENT OF THE DETAILS OF THE WORK, WHICH ARE TO BE MET, FOR COMPLETING THE PROJECT AS SPECIFIED.

7. CLEAN UP

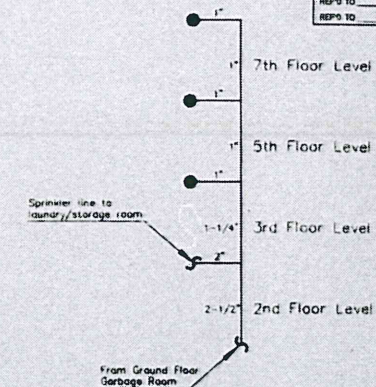
REMOVE ALL WASTE MATERIALS AND CLEAN UP DAILY TO THE SATISFACTION OF THE BUILDING SUPERINTENDENT.

SPRINKLER NOTES:

1. TYPES OF PIPE HANGERS SHALL BE AS PER N.F.P.A. 13, SECTION 3-15.
2. SPRINKLER HEADS SHALL HAVE AN ORIFICE SIZE OF 1/2" WITH A TEMPERATURE RATING OF 57 TO 77°C (135 TO 170 °F).
3. ALL SPRINKLER HEADS, PIPING, AND VALVING INSTALLED AS PER N.F.P.A. 13.
4. PROVIDE WRITTEN VERIFICATION FROM A QUALIFIED CONTRACTOR THAT THE EXISTING STANDPIPE AND HOSE SYSTEM IS CAPABLE OF DELIVERING A MINIMUM FLOW RATE OF 285 L/MINUTE FOR AT LEAST 30 MINUTES AT A MINIMUM DISCHARGE PRESSURE OF 340kpa (50 PSI) AT THE TWO HIGHEST AND MOST REMOTE HOSE VALVE WITH NOT LESS THAN 132 L/MINUTE BEING SUPPLIED FROM EACH OF THE TWO OUTLETS SIMULTANEOUSLY.
5. IF BOOSTER SYSTEM FOR STANDPIPE AND SPRINKLER SYSTEM HAS TO BE UPGRADED, NEW PUMP SHALL BE ULC LISTED AND CAPABLE OF DELIVERING 1025 L/MIN. (270 USGPM) MINIMUM AT NECESSARY PRESSURE FOR STANDPIPE SYSTEM (See Note No. 4).

6. AFTER COMPLETION OF SYSTEM INSTALLATION ENGAGE SYSTEM SUPPLIER TO TEST THE SYSTEM AND EACH DEVICE AND PROVIDE A TEST REPORT.
7. PROVIDE A CERTIFICATE OF VERIFICATION AFTER COMPLETION OF WORK.
8. ASCERTAIN WATER PRESSURE PRIOR TO THE INSTALLATION OF THE SPRINKLER SYSTEM. IF DEFICIENCIES OCCUR NOTIFY DESIGN ENGINEER.

SEE REVISED SPRINKLER NOTES ON PLANS SUBMITTED FEB 97



Refuse Chute Detail

FIRE PREVENTION BUREAU

JUN 28 1996

HAMILTON FIRE DEPARTMENT

FRONTIER ENGINEERING

636 Upper James Street
Hamilton, Ontario, L9C 2Z2
Phone (905)-318-8555

REVISIONS

NO.	DATE	DESCRIPTION

DO NOT SCALE DRAWING. CONTRACTOR TO VERIFY ALL DIMENSIONS, AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE COMMENCEMENT OF WORK.
WORK NOT TO PROCEED UNTIL ALL APPROPRIATE PERMITS HAVE BEEN OBTAINED.
THESE DRAWINGS ARE PROTECTED UNDER COPYRIGHT LAWS, AND MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION FROM FRONTIER ENGINEERING.

DRAWING LIST

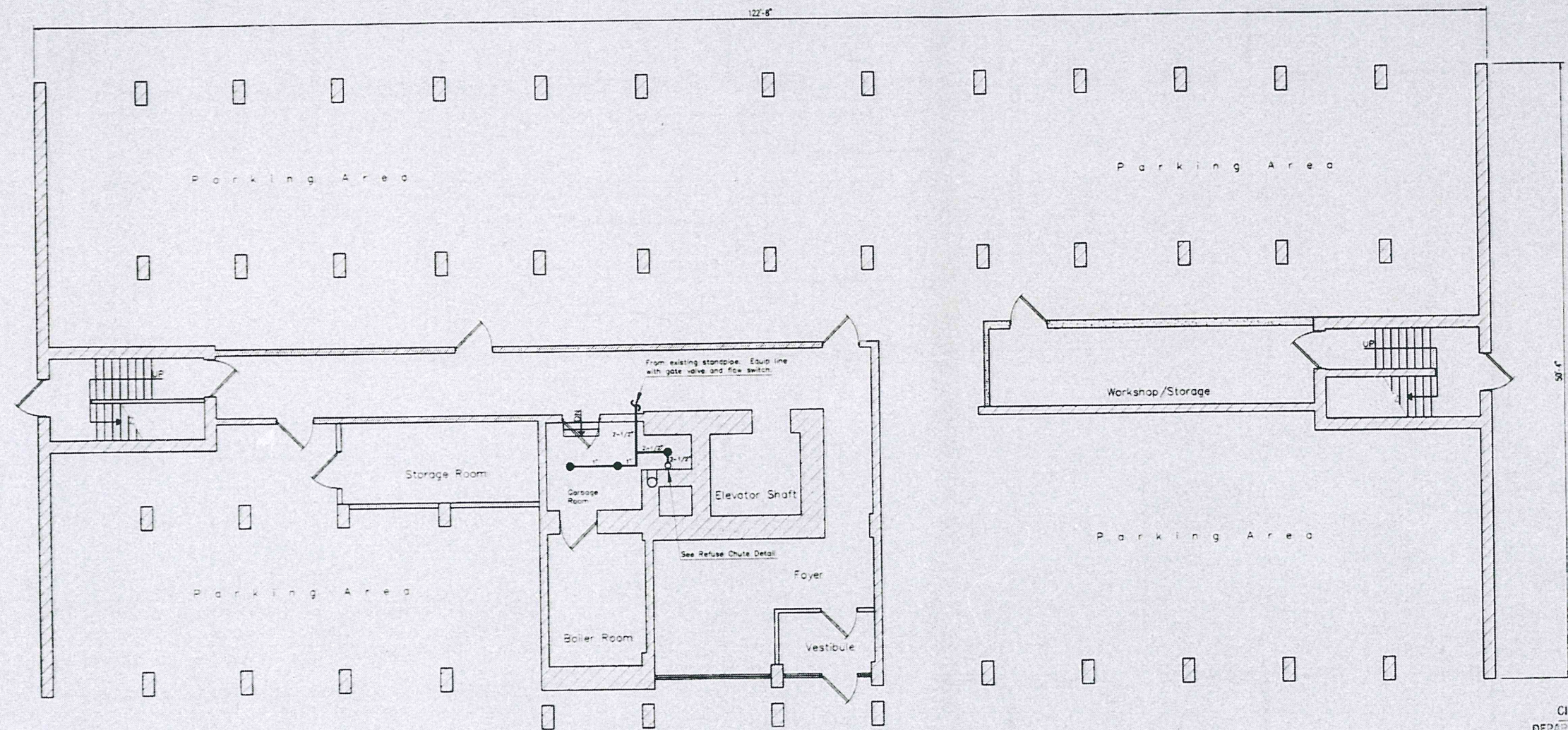
CITY OF HAMILTON	
DEPARTMENT OF BUILDINGS	
FEB 6 1997	
REV. BY	DATE
REV. TO	DATE
REV. TO	DATE
REV. TO	DATE



DRAWING TITLE
Sprinkler System Design

PROJECT
**21 Summit Avenue
Hamilton, Ontario**

SCALE	3/16" 1'-0"
DRAWN BY	C.M.A.
DATE DRAWN	Feb. 26, 1996.
CHECKED BY	K.L.H.
DATE PRINTED	Jan. 29, 1997.
CAD FILE	C:\ADCADD\21SUMMIT.DWG
PROJECT NO.	FE-95-541-A
DRAWING NO.	1



Ground Floor Plan

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CITY OF HAMILTON
DEPARTMENT OF BUILDINGS
EXAMINED BY: [Signature] DATE: FEB 12/97
FOR BUILDING COMMISSIONER

IT IS THE OWNER'S SOLE RESPONSIBILITY TO ENSURE THE WORK COMPLETION WITHIN THE FIRE PREVENTION INSPECTION REPORT MADE UNDER THE FIRE RETROFIT SECTION OF THE FIRE CODE.

SPRINKLER NOTES:

1. TYPES OF PIPE HANGERS SHALL BE AS PER N.F.P.A. 13, SECTION 3-15.
2. SPRINKLER HEADS SHALL HAVE AN ORIFICE SIZE OF 13.5mm WITH A TEMPERATURE RATING OF 57 TO 77°C (135 TO 170 °F).
3. ALL SPRINKLER HEADS, PIPING, AND VALVING INSTALLED AS PER N.F.P.A. 13.
4. REQUIRED TOTAL FLOW - 380 GPM (US) AT DISCHARGE PRESSURE OF 70 PSI.
5. PUMP PRESSURE (BOOST) TO BE 48 PSI (min), CONFIRM WATERMAIN PRESSURE OF 30 PSI (min) AT TIME OF INSTALLATION.
6. AFTER COMPLETION OF SYSTEM INSTALLATION ENGAGE SYSTEM SUPPLIER TO TEST THE SYSTEM AND EACH DEVICE AND PROVIDE A TEST REPORT.
7. PROVIDE A CERTIFICATE OF VERIFICATION AFTER COMPLETION OF WORK.

GENERAL REQUIREMENTS

1. SCOPE
FURNISH ALL LABOUR, MATERIALS AND EQUIPMENT TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS TO PROVIDE A SYSTEM AND REPLACE ANY PARTS OF THE EXISTING SYSTEM WHICH CONNECT INTO THE NEW SYSTEM.
2. CODE REQUIREMENTS
THE ENTIRE INSTALLATION AND EQUIPMENT IS TO COMPLY WITH APPLICABLE RULES OF:
- ONTARIO ELECTRICAL SAFETY CODE
- ONTARIO BUILDING CODE
- N.F.P.A. 13 "STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS"
3. LIABILITY INSURANCE
MAINTAIN INSURANCE TO FULLY PROTECT OWNER AND CONTRACTOR FROM ANY DAMAGES OR INJURY CLAIMS.
4. CUTTING PATCHING AND PAINTING
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SERVICE INTERRUPTIONS

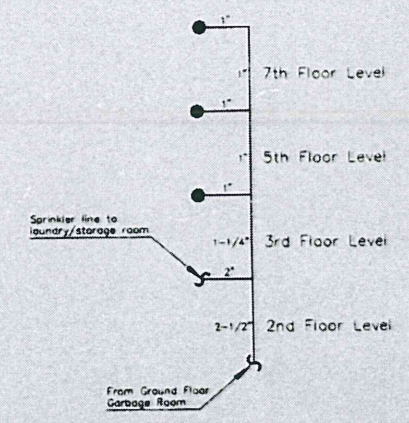
ANY REQUIRED SERVICE INTERRUPTIONS MUST BE REQUESTED AND OBTAINED FROM THE OWNER OR BUILDING SUPERINTENDENT PRIOR TO THE INTERRUPTIONS. THE INTERRUPTIONS MUST BE AS SHORT AS POSSIBLE AND MUST NOT EXTEND INTO THE EVENING.

VISITING THE SITE

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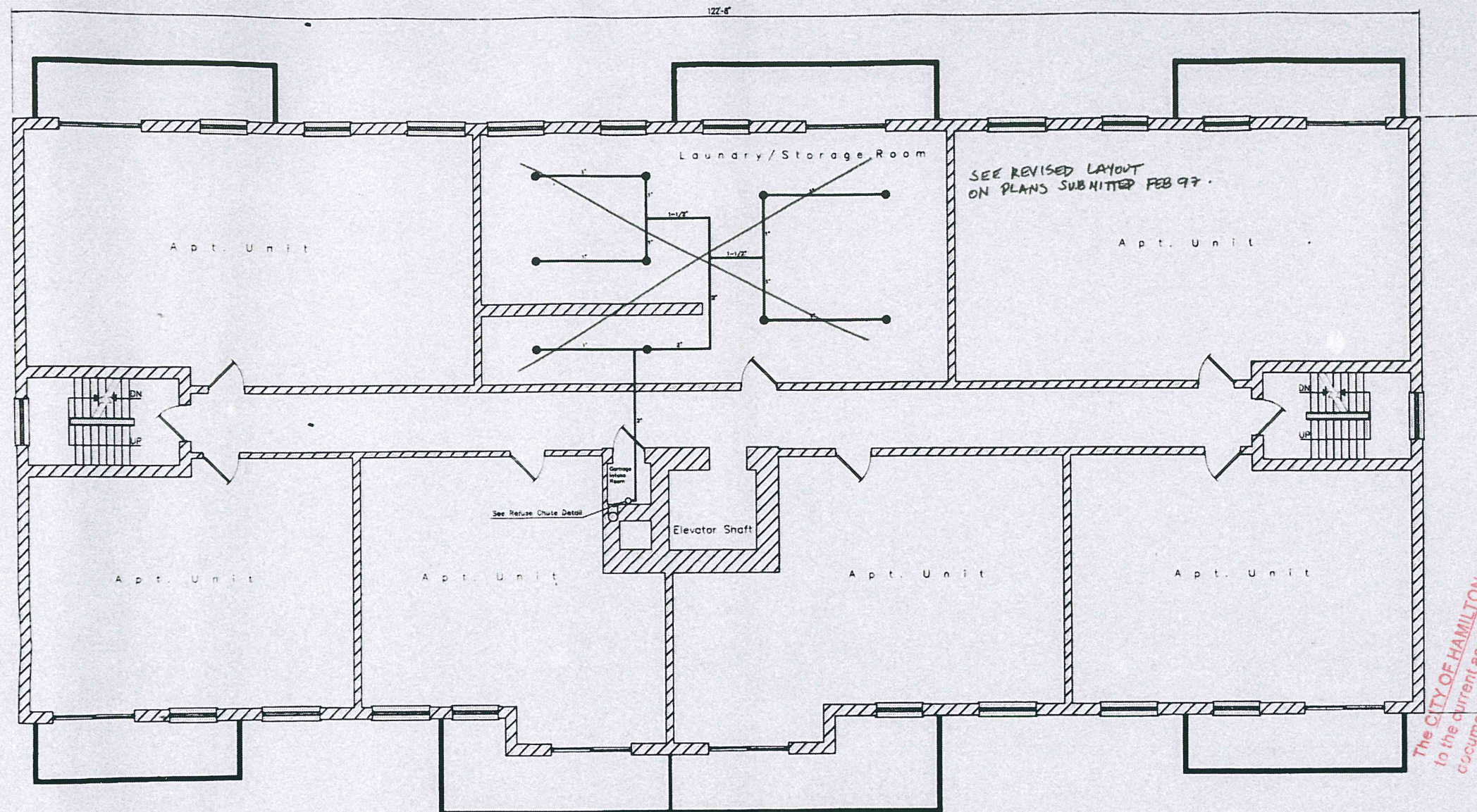
CLEAN UP

REMOVE ALL WASTE MATERIALS AND CLEAN UP DAILY TO THE SATISFACTION OF THE BUILDING SUPERINTENDENT.



Refuse Chute Detail

IMPORTANT NOTICE
This Building Permit does NOT approve the above noted use of the premises as being legal under Zoning Laws.



Second Floor Plan

1. GENERAL REQUIREMENTS

1. SCOPE

FURNISH ALL LABOUR, MATERIALS AND EQUIPMENT TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS TO PROVIDE A SYSTEM AND REPLACE ANY PARTS OF THE EXISTING SYSTEM WHICH CONNECT INTO THE NEW SYSTEM.

2. CODE REQUIREMENTS

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- ONTARIO BUILDING CODE
- N.F.P.A. 13 "STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS"

3. LIABILITY INSURANCE

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4. CUTTING, PATCHING AND PAINTING

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6. VISITING THE SITE

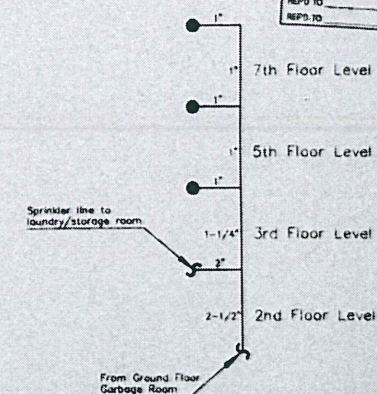
BEFORE SUBMITTING THE TENDER PRICE FOR THIS WORK THE CONTRACTOR SHALL VISIT THE SITE IN ORDER TO BECOME COMPLETELY FAMILIAR WITH ALL CONDITIONS AND TO THE EXTENT OF THE DETAILS OF THE WORK, WHICH ARE TO BE MET, FOR COMPLETING THE PROJECT AS SPECIFIED.

7. CLEAN UP

REMOVE ALL WASTE MATERIALS AND CLEAN UP DAILY TO THE SATISFACTION OF THE BUILDING SUPERINTENDENT.

SPRINKLER NOTES:

1. TYPES OF PIPE HANGERS SHALL BE AS PER N.F.P.A. 13, SECTION 3-15.
2. SPRINKLER HEADS SHALL HAVE AN ORIFICE SIZE OF 13.5mm WITH A TEMPERATURE RATING OF 57 TO 77°C (135 TO 170 °F).
3. ALL SPRINKLER HEADS, PIPING, AND VALVING INSTALLED AS PER N.F.P.A. 13.
4. PROVIDE WRITTEN VERIFICATION FROM A QUALIFIED CONTRACTOR THAT THE EXISTING STANDPIPE AND HOSE SYSTEM IS CAPABLE OF DELIVERING A MINIMUM FLOW RATE OF 285 L/MINUTE FOR AT LEAST 30 MINUTES AT A MINIMUM DISCHARGE PRESSURE OF 345kpa (50 PSI) AT THE TWO HIGHEST AND MOST REMOTE HOSE VALVE WITH NOT LESS THAN 132 L/MINUTE BEING SUPPLIED FROM EACH OF THE TWO OUTLETS SIMULTANEOUSLY.
5. IF BOOSTER SYSTEM FOR STANDPIPE AND SPRINKLER SYSTEM HAS TO BE UPGRADED, NEW PUMP SHALL BE UP-TESTED AND CAPABLE OF DELIVERING 1028 L/MIN. (270 USGPM) MINIMUM AT NECESSARY PRESSURE FOR STANDPIPE SYSTEM (See Note No. 4).
6. AFTER COMPLETION OF SYSTEM INSTALLATION ENGAGE SYSTEM SUPPLIER TO TEST THE SYSTEM AND EACH DEVICE AND PROVIDE A TEST REPORT.
7. PROVIDE A CERTIFICATE OF VERIFICATION AFTER COMPLETION OF WORK.
8. ASCERTAIN WATER PRESSURE PRIOR TO THE INSTALLATION OF THE SPRINKLER SYSTEM. IF DEFICIENCIES OCCUR NOTIFY DESIGN ENGINEER.

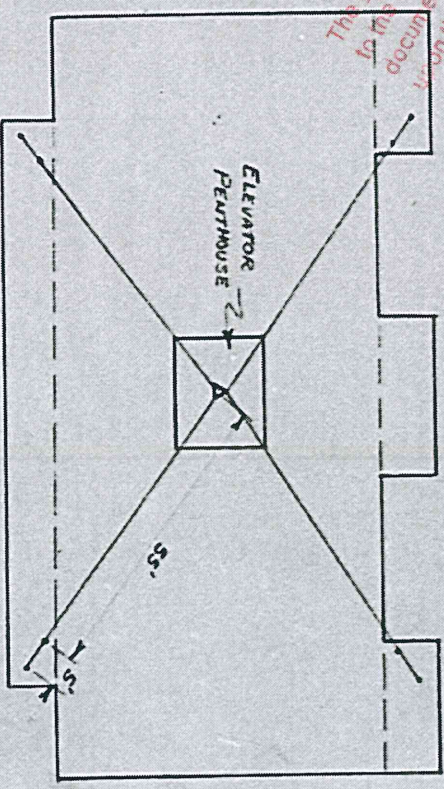


Refuse Chute Detail

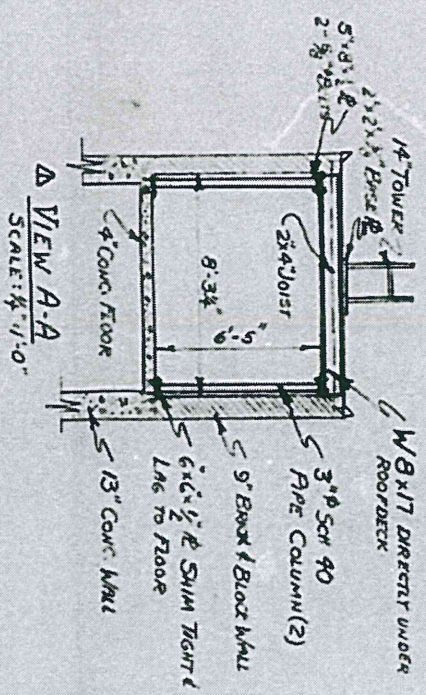
CITY OF HAMILTON	
DEPARTMENT OF BUILDINGS	
JUL 10 1996	
REC BY	DATE
REP'D TO	DATE
REP'D TO	DATE
REP'D TO	DATE

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PLAN
SCALE: 1" = 20'-0"



VIEW A-A
SCALE: 1/4" = 1'-0"

NOTES:

DESIGNED TO CSA STANDARD S37-1976, "ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES".
LOADING: HALF WIND LOAD (22.5 psf) AND 1" RADIAL ICE.
MAX UPLIFT FORCE AT GUY ANCHORS = 4125 lbs. AT 54°.

MATERIAL: JOHNSON 14" TOWER SECTIONS, 1 1/2" Ø TUBING, 14 GAUGE, AISI C1015, MIN YIELD STRENGTH 50,000 psi.

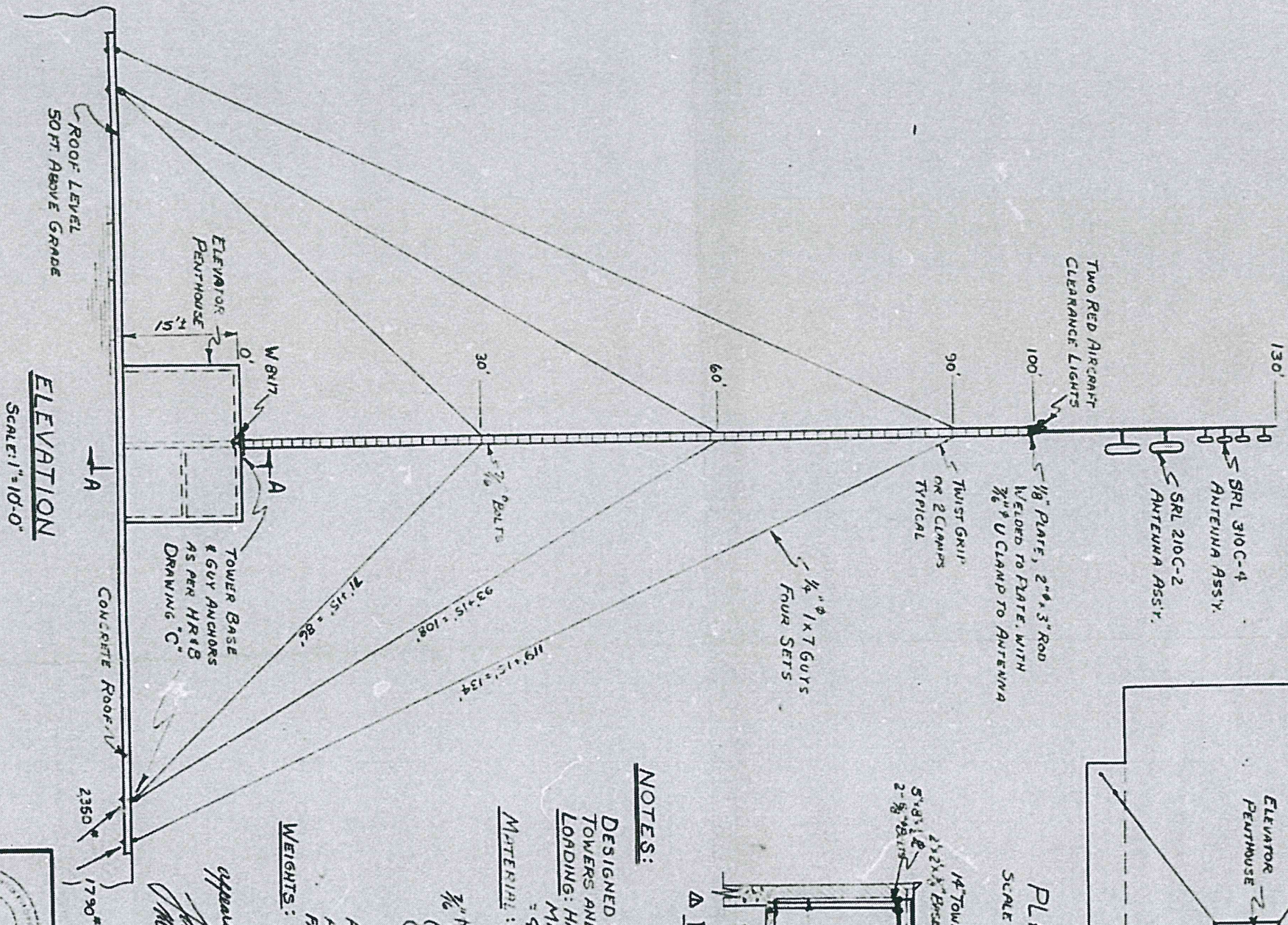
1 1/2" LEG BOLTS: A325, MIN. SHEAR 22,000 psi. (THREADS EXCLUDED FROM SHEAR PLANE)
GUYS: 1/4" x 1/2" GRADE 180, 6450 lb. BREAKING STRENGTH, GALVANIZED.

INITIAL CABLE TENSION: 400 lb.

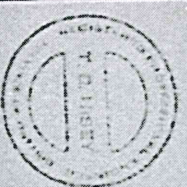
ALL COMPONENTS TO BE HOT DIPPED GALVANIZED TO CSA STANDARD G164 AFTER FABRICATION.

WEIGHTS: TOWER & GUYS: 1100 lb.
1" RADIAL ICE: 4300 lb.
TOTAL: 5400 lb.

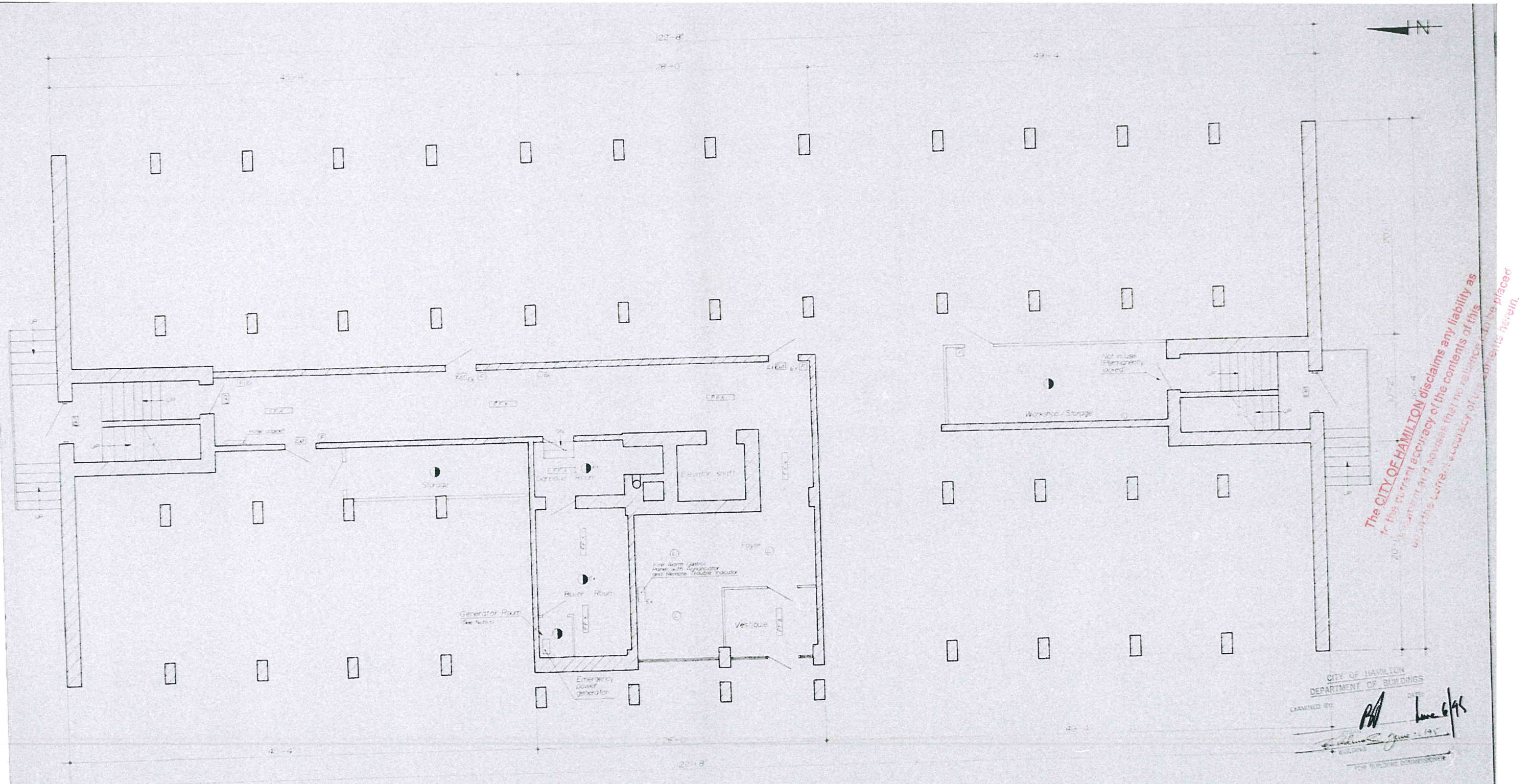
appears satisfactory
M. M. M. 1/83



ELEVATION
SCALE: 1" = 10'-0"



21 SUMMIT AVE
HAMILTON RECEIVING
& BROADCASTING LTD.
100FT COMMUNICATIONS TOWER
21 SUMMIT STREET
HAMILTON, ONTARIO.
Dec 9, 1982
Scale: As Noted
Rev A
109



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CITY OF HAMILTON
DEPARTMENT OF BUILDINGS
EXAMINED BY: *PAH* DATE: *June 6/95*
James S. Jones
BUILDING COMMISSIONER

Ground Floor Plan

NOTE:
ALL WORK IS SUBJECT TO FURTHER REVIEW BY AN ENGINEER PURSUANT TO SUB SECTION 2.3 OF THE ONTARIO BUILDING CODE

IT IS THE OWNER'S SOLE RESPONSIBILITY TO ENSURE THE WORK COMPLIES WITH THE FIRE PREVENTION INSPECTION REPORT MADE UNDER THE FIRE RETROFIT SECTION OF THE FIRE CODE.

CITY OF HAMILTON
DEPARTMENT OF BUILDINGS
JULY 5, 1995
REC'D BY: _____ DATE: _____
REF'D TO: _____ DATE: _____
REC'D BY: _____ DATE: _____
REF'D TO: _____ DATE: _____

FIRE PREVENTION BUREAU
MAY 30 1995
Y. Smith
HAMILTON FIRE DEPARTMENT



Fire Alarm and Emergency Lighting			
SCALE: 1/4" = 1'-0"	APPROVED BY: <i>K.E.H.</i>	DRAWN BY: <i>J.J.</i>	
DATE: JAN 28 95	REVIEWED:	REVISION:	
21 Summit Avenue			
FRONTIER ENGINEERING (905) 38-8555 FE-10-34.1			

ELECTRICAL SPECIFICATION

FIRE ALARM SYSTEM RETROFIT

1. GENERAL REQUIREMENTS

1. SCOPE.

Furnish all labour, materials and equipment to obtain and pay for all necessary Permits to provide a new Fire Alarm System and replace any parts of the existing system which connect into the new system.

2. CODE REQUIREMENTS.

The entire installation and equipment is to comply with applicable rules of:

- Ontario Electrical Safety Code
- Ontario Building Code
- Standard of Installation of Fire Alarm Systems, CAN/ULC-S524-M86
- Standard of Verification of Fire Alarm Systems, CAN/ULC-S537-M86

3. LIABILITY INSURANCE.

Maintain Insurance to fully protect Owner and Contractor from any damages or injury claims.

4. GUARANTEE.

Before Final payment is made, this Contractor is to guarantee all materials, labour, workmanship and the proper operation of the Fire Alarm system for a period of one (1) year from the date of acceptance by Owner.

5. CUTTING, PATCHING AND PAINTING.

Before cutting or drilling in walls, ceilings or floor ascertain that the integrity of the building structure will not be sacrificed due to work. After completion of the work, patch and paint to the satisfaction of the Owners. Pay for this work under this contract.

6. SERVICE INTERRUPTIONS.

Any required service interruptions to the HYDRO for the FIRE ALARM system must be requested and obtained from the Owner or Building Superintendent prior to the interruption. The interruptions must be as short as possible and must not extend into the evening.

7. VISITING THE SITE.

Before submitting the Tender Price for this work the Contractor shall visit the site in order to become completely familiar with all conditions and the extent of the details of the work, which are to be met, for completing the project as specified.

8. CLEANING UP.

Remove all waste materials and clean up daily to the satisfaction of the Building Superintendent.

2. FIRE ALARM SYSTEM

1. Replace the existing fire alarm panel, zone annunciator and fire bells with new equipment as shown on the plans (where applicable).

2. Provide a new microprocessor based, single stage, multi-zoned, closed circuit, general alarm fire alarm system complying with the above listed Standards Codes and the local Fire Department requirements. For equipment catalogue numbers refer to the Legend on these drawings.

3. WIRING.

Replace the existing multi conductor telephone type cables with ET 4 - 1050 type multi conductor cables in existing and new metal enclosed raceways to meet the Ontario Electrical Safety Code.

4. TESTING AND VERIFICATION.

After the Fire Alarm installation is complete, the Electrical Contractor is to engage at his own expense, a qualified representative of the Manufacturer to check the connections and operation of all Fire Alarm devices, and to ensure that the entire system complies with the latest code edition.

Following completion of the inspection the Electrical Contractor must have the Fire Alarm Manufacturer provide a typed Test Report and a Certificate of Verification.

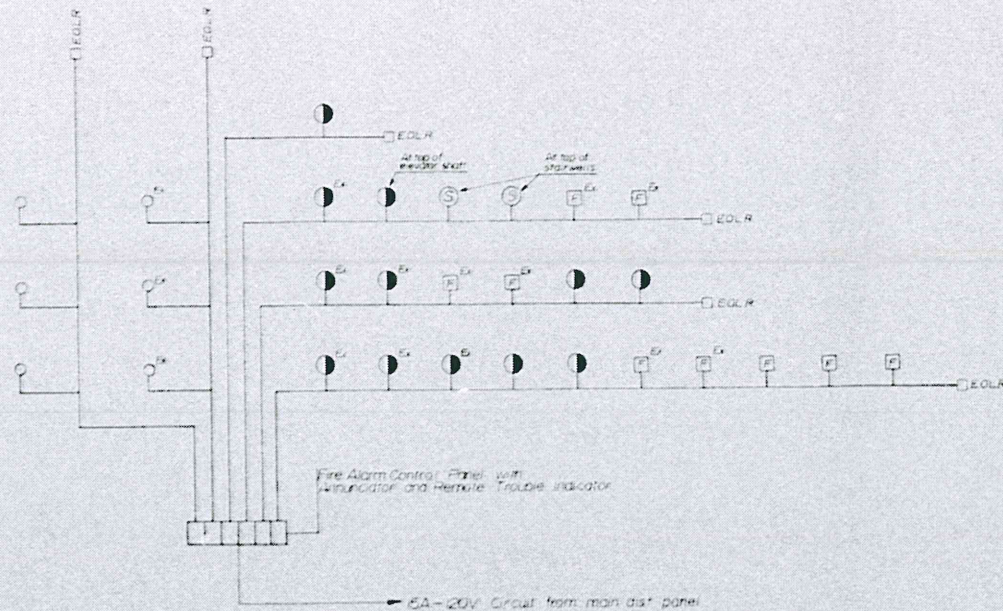
NOTES:

- 1) NEW AND EXISTING DETECTORS SHOWN IN THIS BUILDING ARE TO BE COMPLETELY WIRED UNDER THIS CONTRACT.
- 2) REMOVE EXISTING OBSOLETE FIRE ALARM PANEL.
- 3) FOR QUANTITIES AND LOCATIONS OF DEVICES, SEE FLOOR PLANS.
- 4) ALL NEW WIRING TO BE COPPER WITH R5 INSULATION RUN IN EMT.
- 5) IN CORRIDORS, WIRE FIRE BELLS TO TWO SIGNAL CIRCUITS ALTERNATELY.
- 6) INSTALL FIRE ALARM SYSTEM TO COMPLY WITH LATEST ONTARIO BUILDING CODE REQUIREMENTS AND LOCAL FIRE PREVENTION DEPARTMENT.
- 7) AFTER COMPLETION OF SYSTEM INSTALLATION ENGAGE SYSTEM SUPPLIER TO TEST THE SYSTEM AND EACH DEVICE AND PROVIDE A TEST REPORT.
- 8) PROVIDE A CERTIFICATE OF VERIFICATION AFTER COMPLETION OF WORK.
- 9) EMERGENCY POWER GENERATOR (GASOLINE POWERED) TO BE INSTALL IN GENERATOR ROOM (PART OF EXISTING BOILER ROOM).
A) PROVIDE 1 HR. SEPARATION STEEL STUD WALL FOR GENERATOR ROOM WITH 45 MIN. FIRE DOOR.
B) PROVIDE PROPER INTAKE AND EXHAUST SYSTEM FOR GENERATOR AND PROPER VENTILATION FOR GENERATOR ROOM.
- 10) EMERGENCY LIGHTING TO BE A 30 MIN (MINIMUM) DURATION.
- 11) PROVIDE ILLUMINATION OF EMERGENCY LIGHTING AT LEAST 10 LUX AT FLOOR OR TREAD LEVEL, OR 1 WATT/SQ. METRE OF FLOOR SPACE.

FIRE ALARM LEGEND	
SYMBOL	DESCRIPTION
①	HEAT DETECTOR, FIXED TEMP. #254C - (190 DEG. F.) 6-28V DC
②	IONIZATION TYPE SMOKE DETECTOR. # 6249C 16-28V DC
③	SELF-POWERED SMOKE DETECTORS.
④	MANUAL PULL STATION. # 270-SP0-120 24 V DC
⑤	FIRE BELL. #1, VIBRATING # 4300-BAWC 20-24V DC
⑥	FLUORESCENT FIXTURE
⑦	LIGHTING OUTLET
⑧	DENOTES EXISTING ITEM TO REMAIN, REWIRE AS PER ZONE SCHEDULE.

* CATALOGUE NUMBERS ARE BY EDWARDS. AN APPROVED EQUAL: SIMPLEX

FIRE ALARM SYSTEM ZONING SCHEDULE				
ALARM ZONE #	ITEM MONITORED	LOCATION	PROTECTED AREA SYSTEM	NOTES
1	Detectors and pull stations.	Ground Floor	Ground Floor, Boiler Room, Generator Room	
2	Detectors and pull stations.	Second Floor	Second Floor, Laundry Room	
3 to 6	Detector and pull stations	Typical Floor	Typical Floor 3rd to 6th	1 Zone per Floor
7	Detectors and pull stations	7th Floor	7th Floor, Elevator shaft, North and South Stairwell	
8	Detector	Elevator Room	Elevator Room (roof top)	

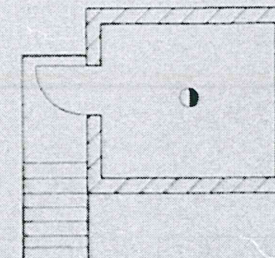


Elevator Room

Typical Floor (3-7)

Second Floor

Ground Floor



Elevator Room
N.T.S.

DEPARTMENT OF BUILDINGS

APPROVED BY: DATE:

SIGNED: *[Signature]*

FOR BUILDING COMMISSIONER

CITY OF HAMILTON
DEPARTMENT OF BUILDINGS
JUN 5 1985
RECEIVED
RECEIVED
RECEIVED

IT IS THE OWNER'S SOLE RESPONSIBILITY TO ENSURE THE WORK COMPLIES WITH THE FIRE PREVENTION INSPECTION REPORT MADE UNDER THE FIRE RETROFIT SECTION OF THE FIRE CODE.



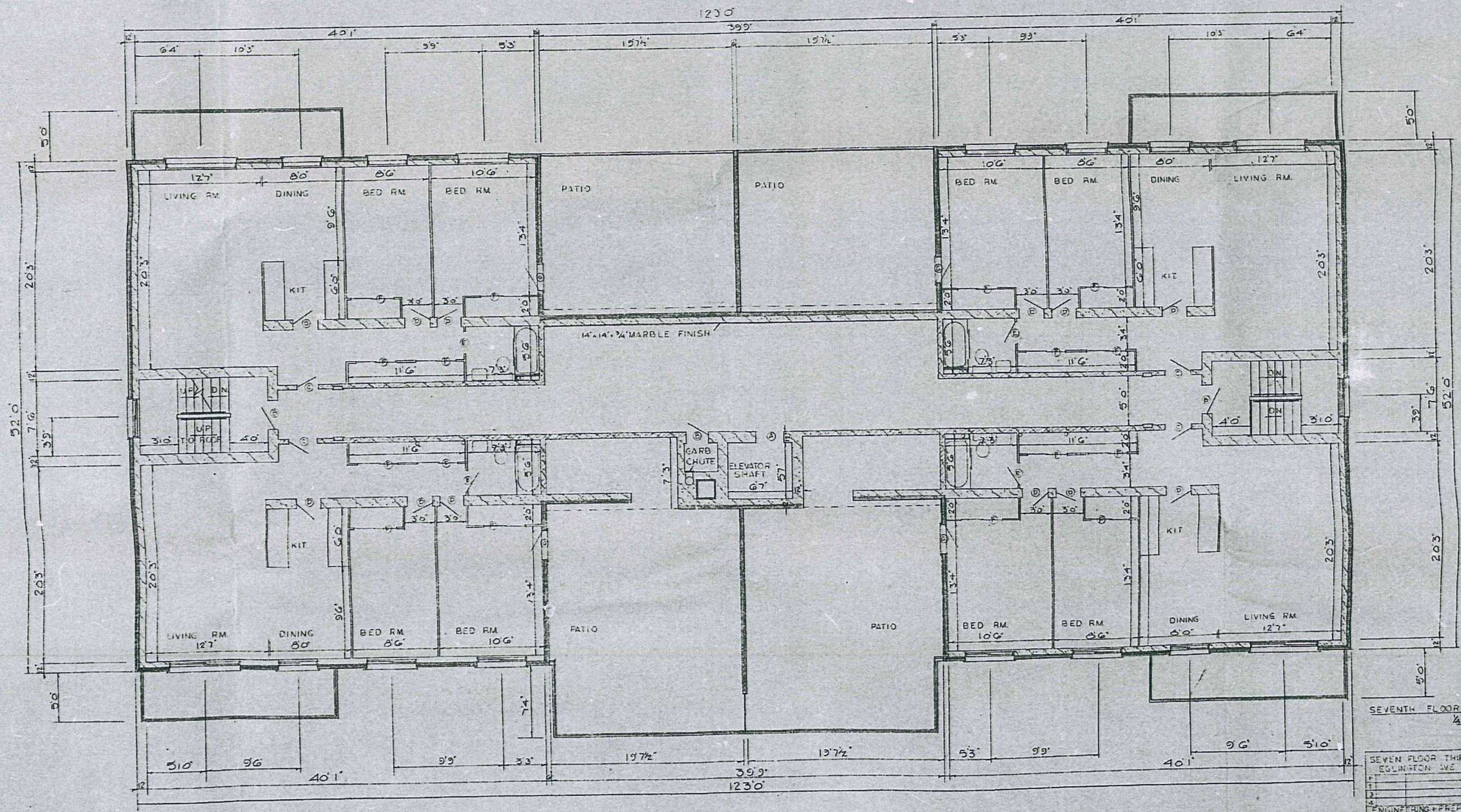
Fire Alarm and Emergency Lighting

SCALE AS SHOWN: APPROVED BY: J.L.H. DRAWN BY: J.L.H.

DATE: 17-2-85 REVIEWED:

21 Summit Avenue

FRONTIER ENGINEERING (905) 318-8866 FE-96-541-4

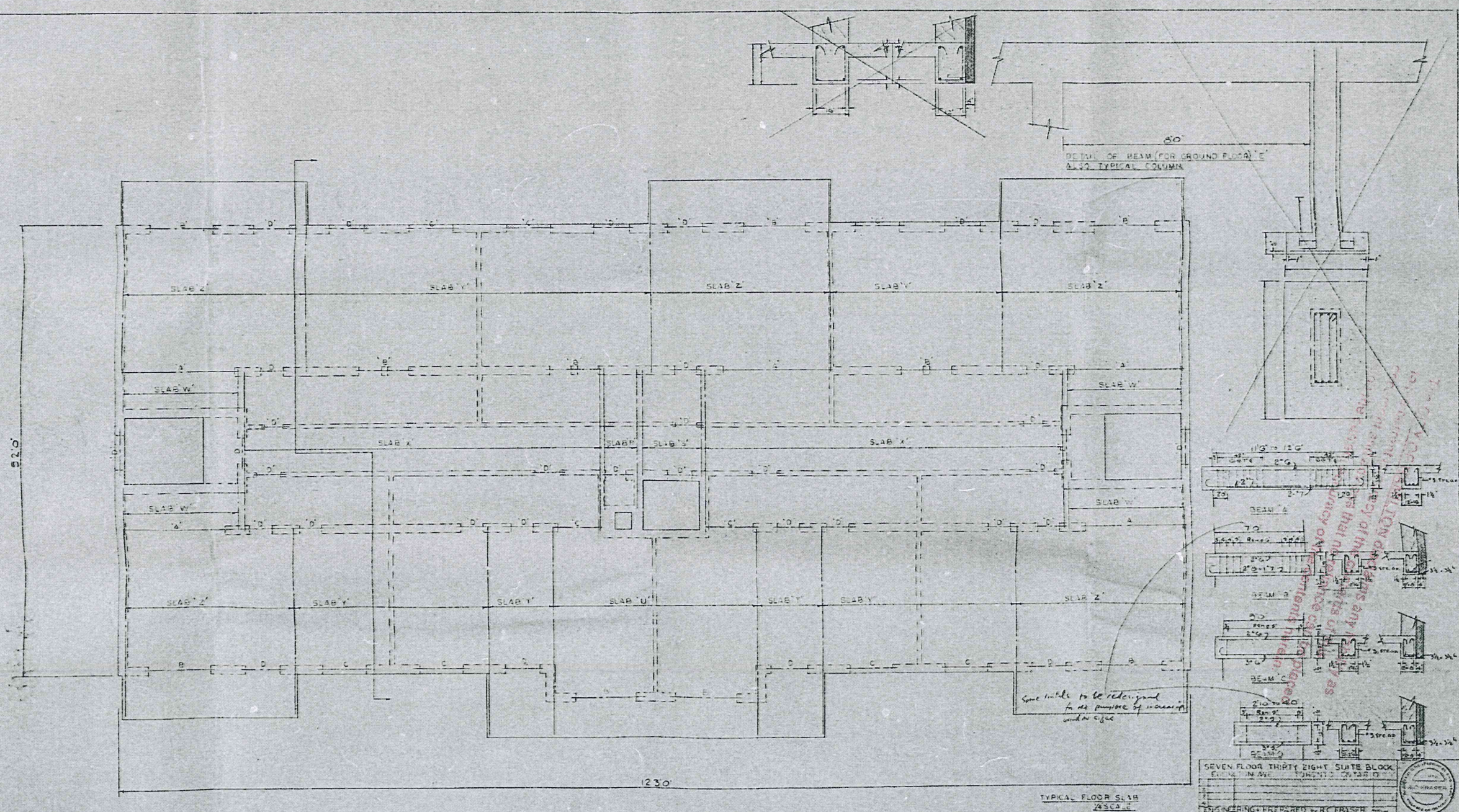


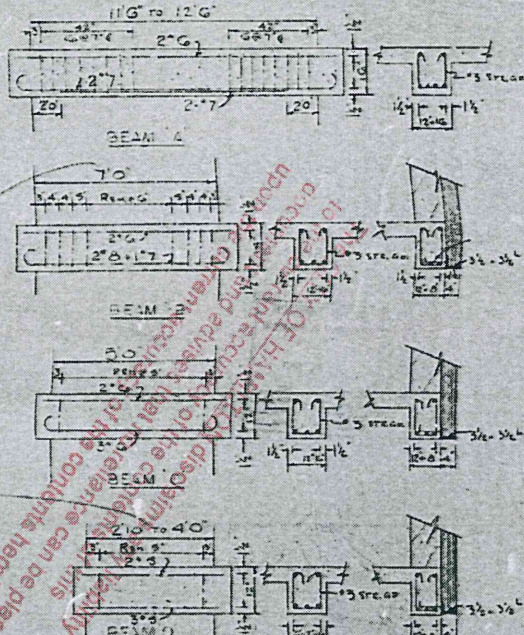
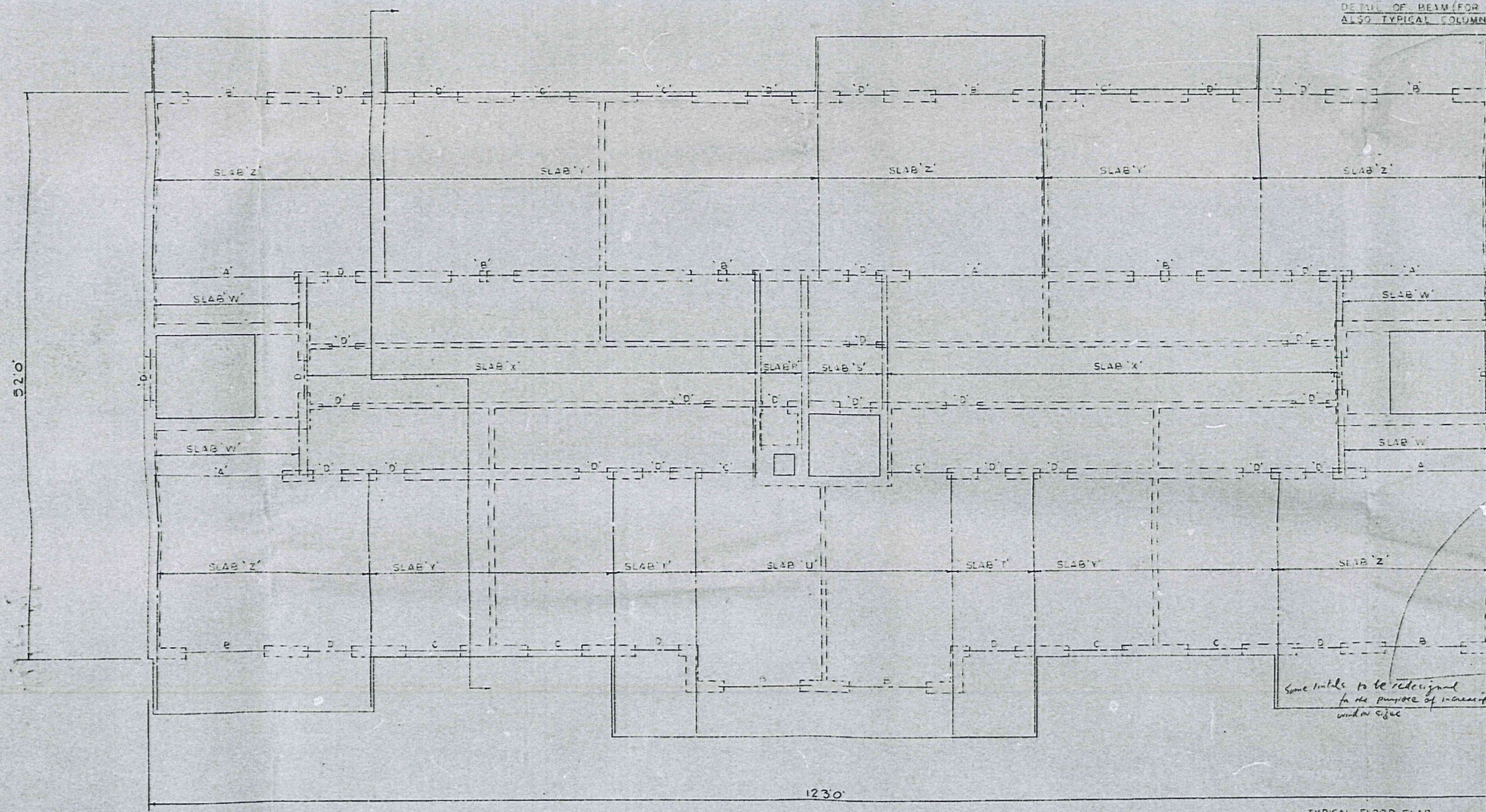
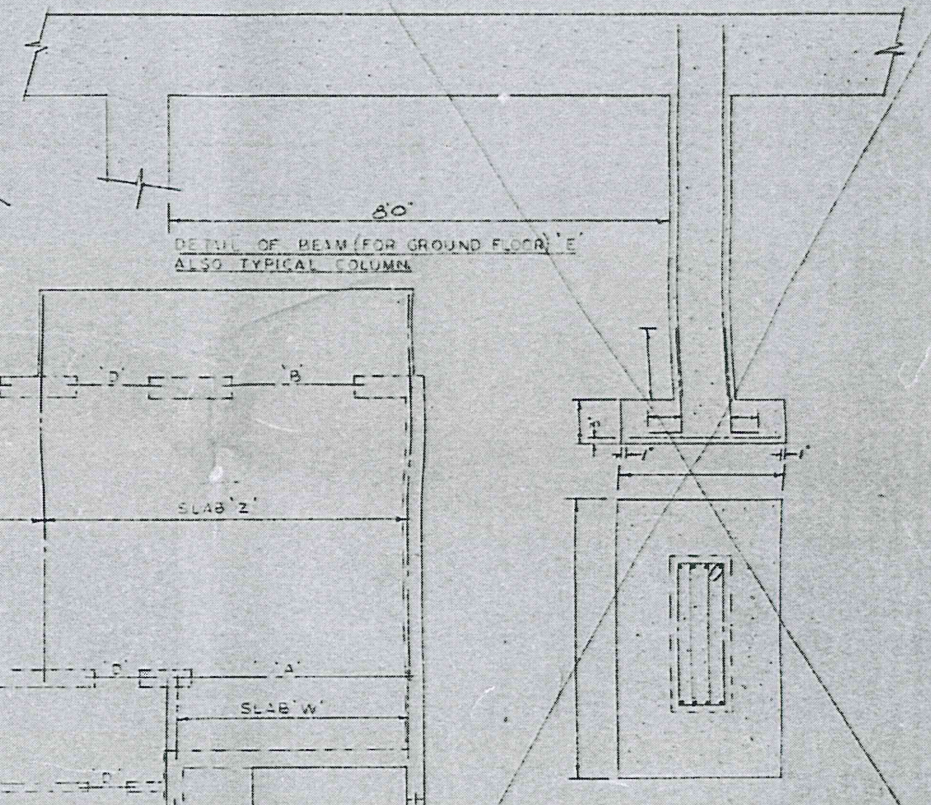
The CITY OF HAMILTON disclaims any liability as to the current accuracy of the contents of this document and advises that no reliance can be placed upon the current accuracy of the contents herein.

SEVENTH FLOOR PLAN
1/4" SCALE

SEVEN FLOOR THIRTY EIGHT SUITE BLOCK
EGLINTON AVE TORONTO, ONTARIO

ENGINEERING PREPARED BY: C. FRASER
SCALE 1/4" = 1'-0" PAGE 5 OF 5



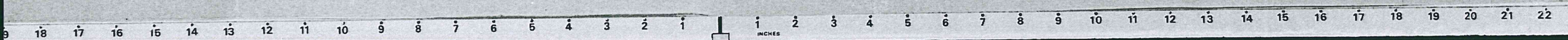


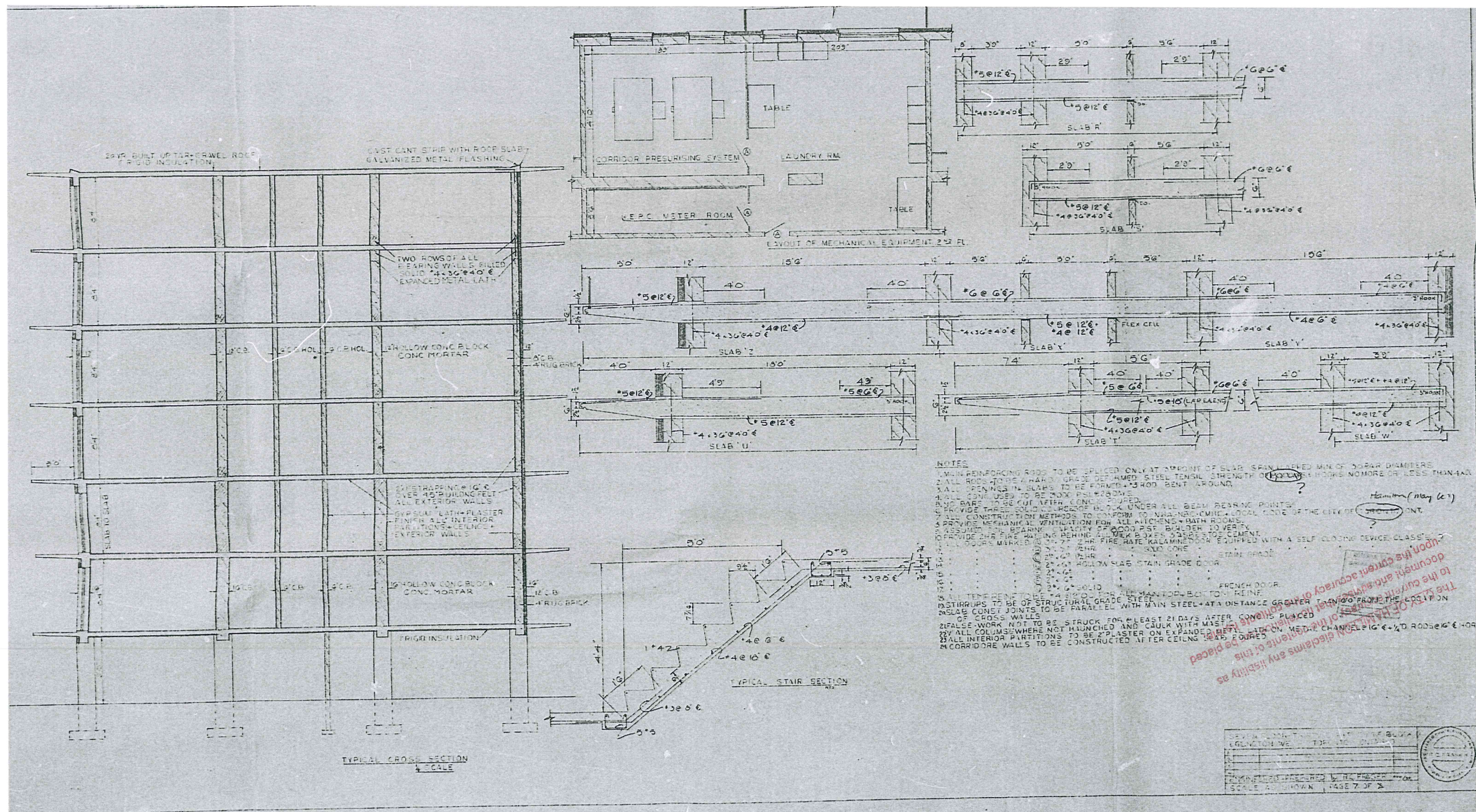
Some hotels to be redesigned
for the purpose of increasing
window size

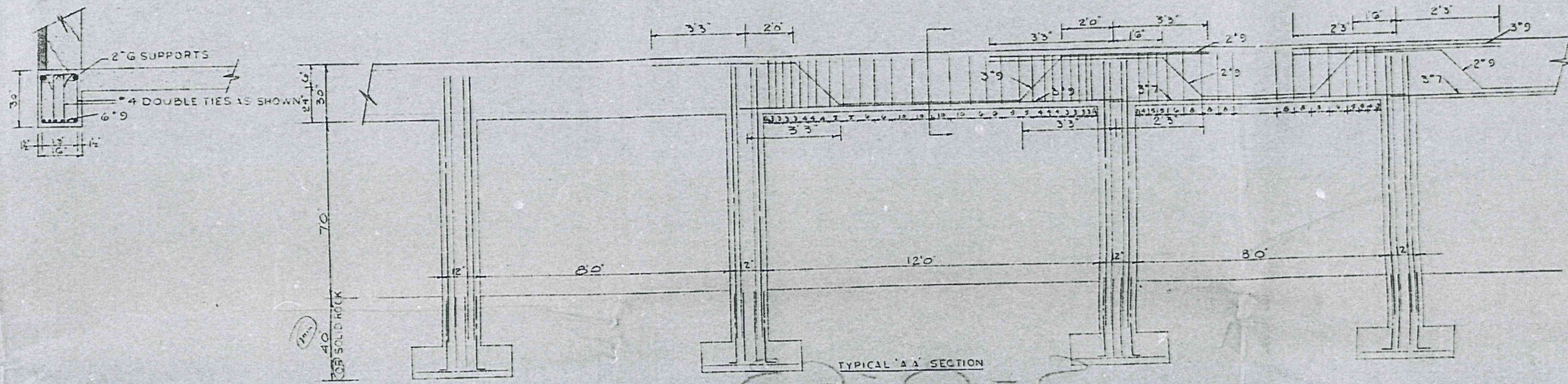
TYPICAL FLOOR SLAB
1/4" SCALE

SEVEN FLOOR THIRTY EIGHT SUITE BLOCK
EAST 10TH AVE. TORONTO ONTARIO

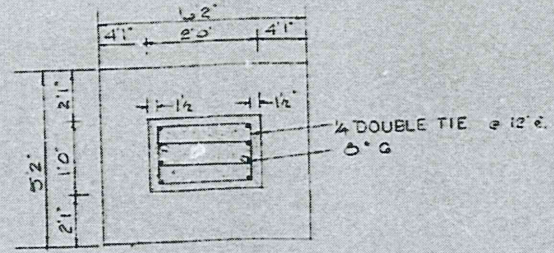
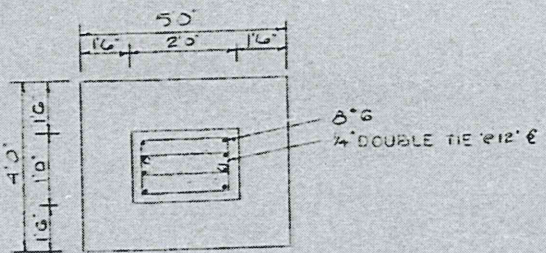
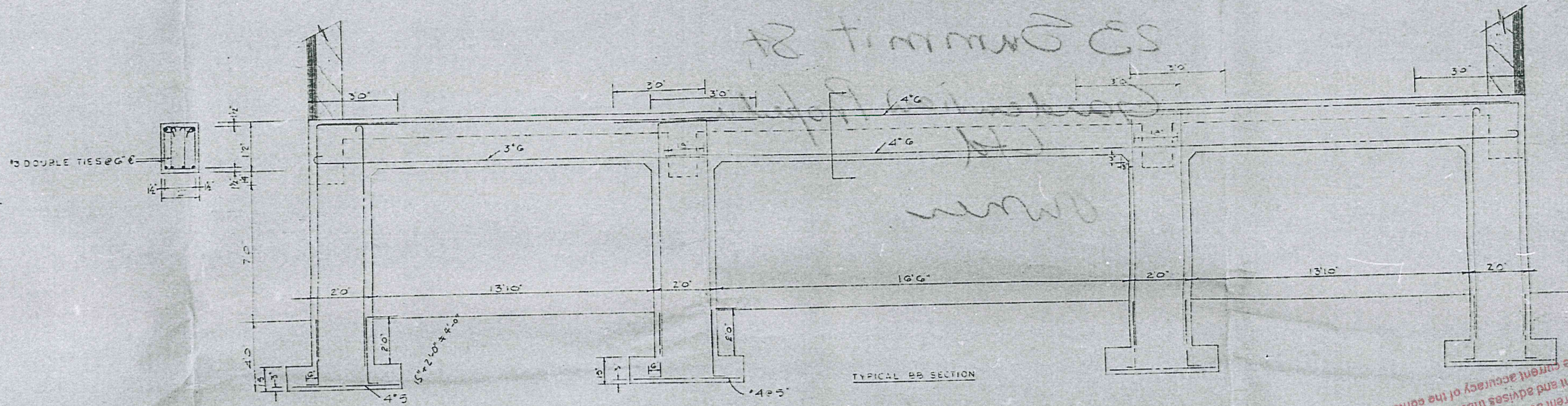
ENGINEERING + PREPARED BY R.C. FRASER
SCALE AS SHOWN PAGE 6 OF 7





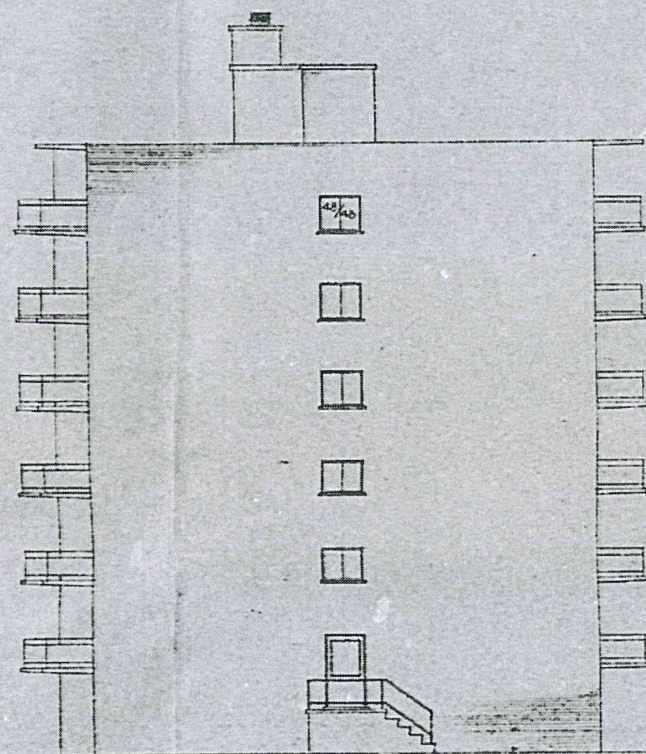


Handwritten: 18 timbers
12'0" x 12'0"

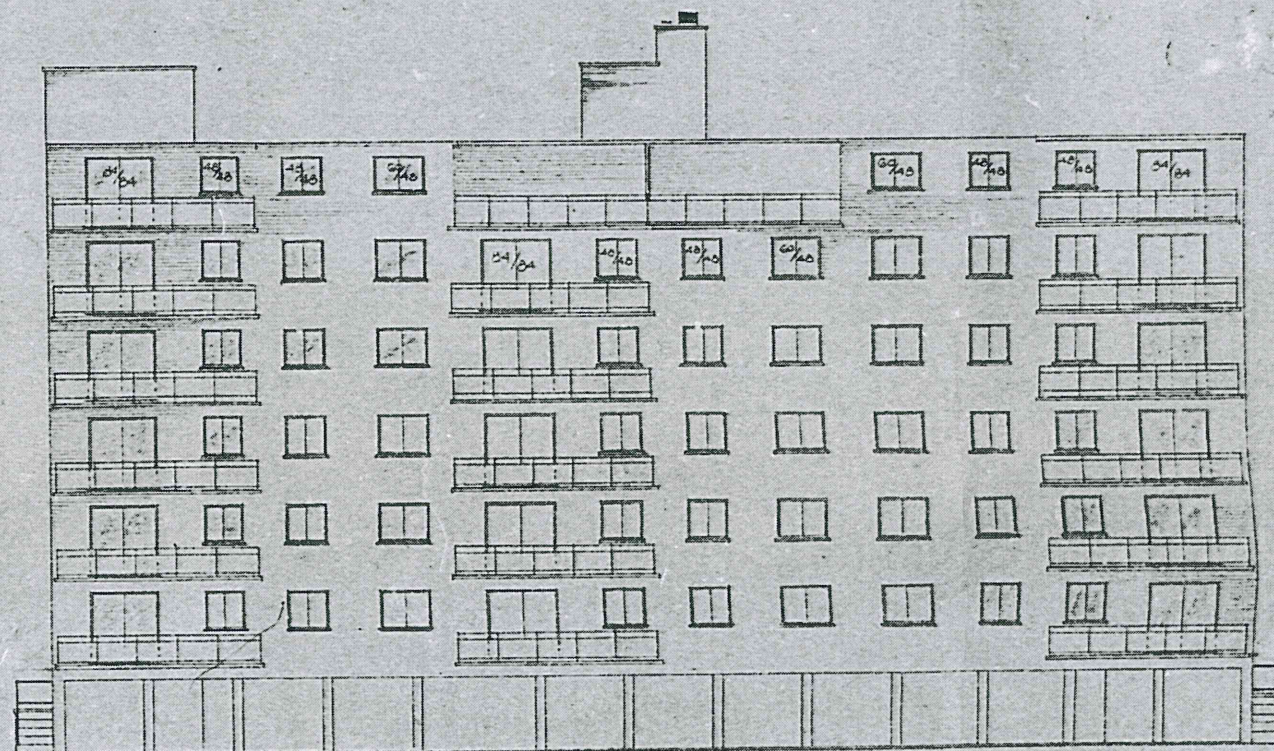


Red stamp: The City of Hamilton disclaims any liability as to the current accuracy of the contents of this document and advises that no reliance can be placed upon the current accuracy of the contents herein.



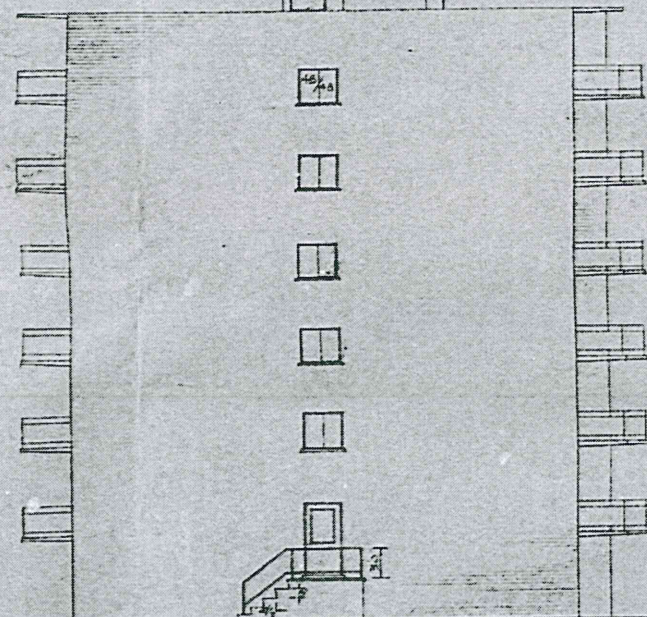


RIGHT SIDE ELEVATION
1/8" SCALE

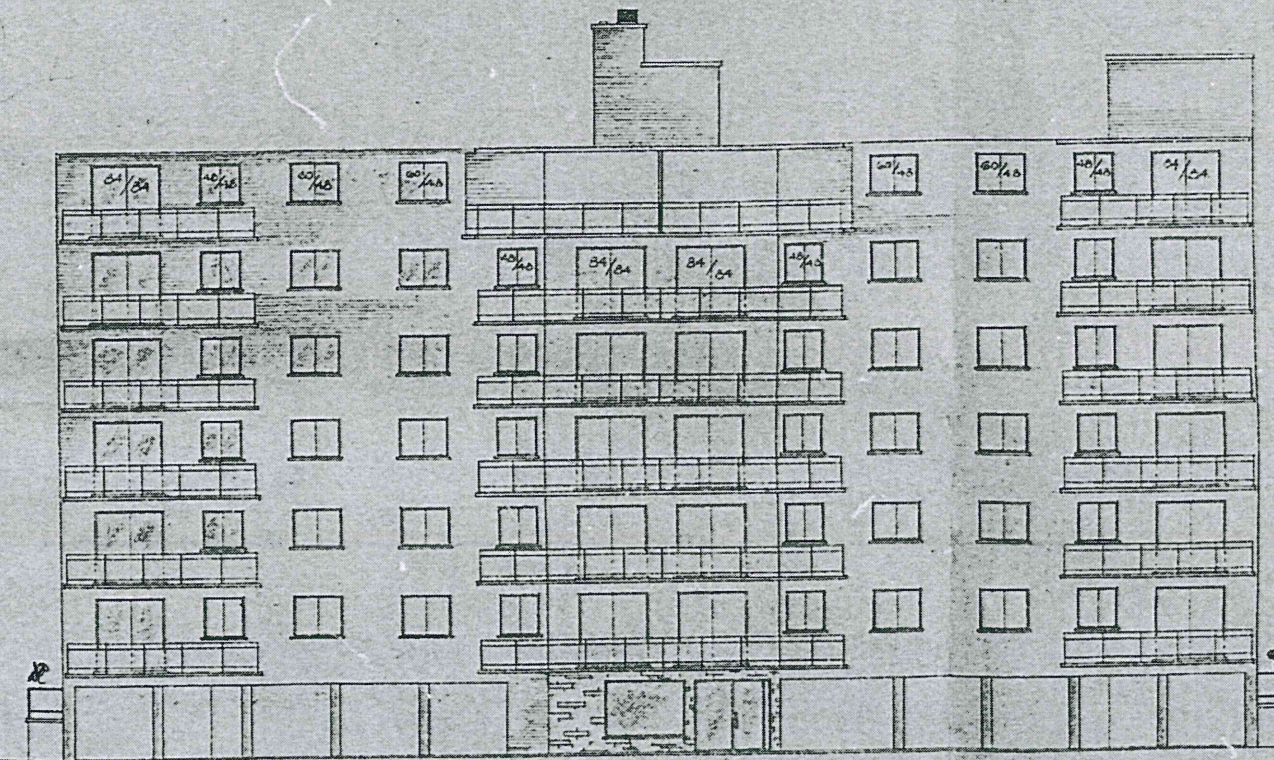


REAR ELEVATION
1/8" SCALE

WIRE BASKET OVER 12" x 12" VIT. FLUE
SINGLE D GLASS COVER OVER CHUTE
ELEVATOR SHAFT HEIGHT
TO MFG. SPEC.
3' x 7' DOOR



LEFT SIDE ELEVATION

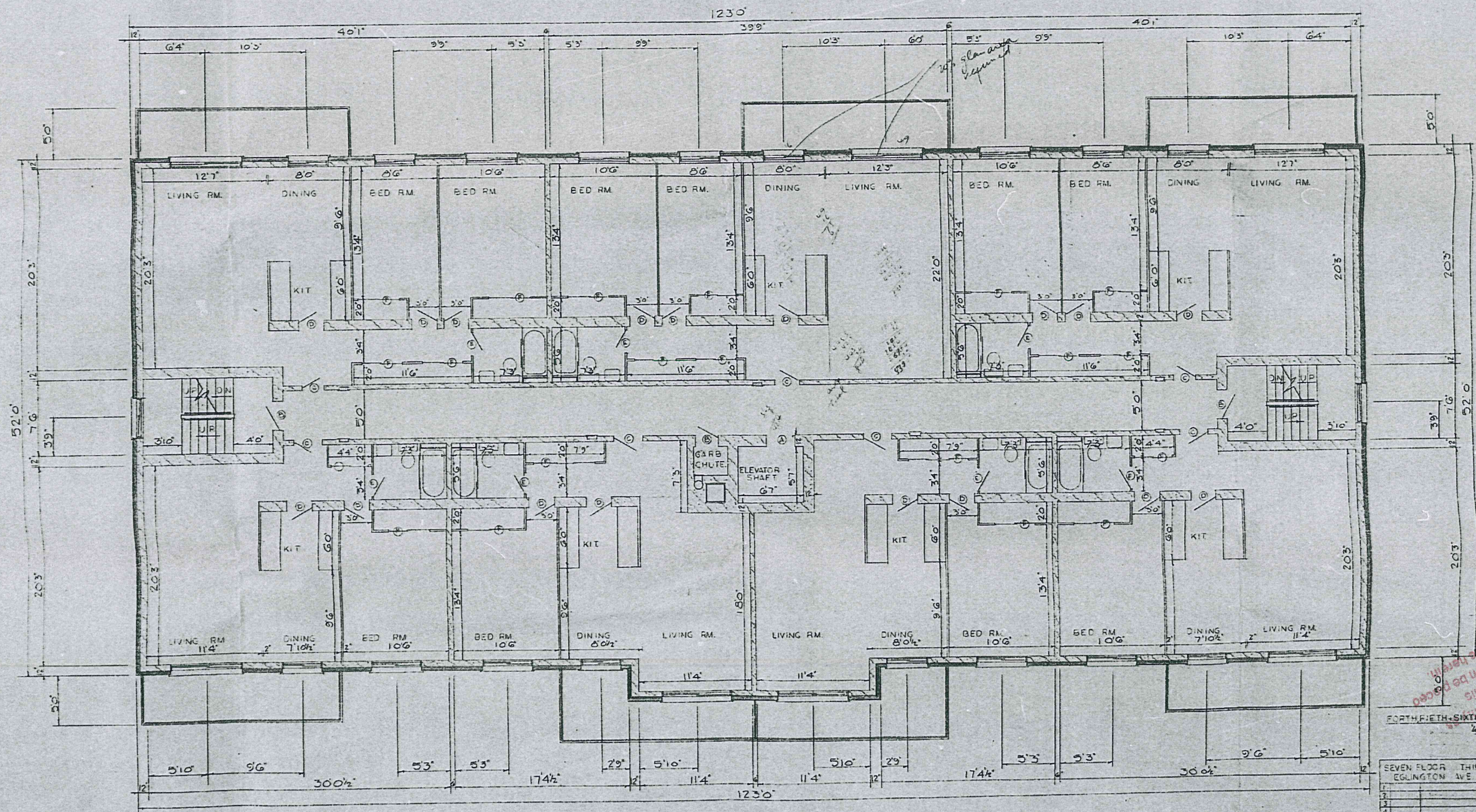


FRONT ELEVATION

THE CITY OF TORONTO
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upon the current accuracy of the contents herein.

SEVEN FLOOR-THIRTY EIGHT SUITE BLOCK
EGLINGTON AVE. TORONTO ONTARIO
ENGINEERING + PREPARED BY R.C. FRASER
SCALE 1/8" = 1'-0" PAGE 1 OF 3



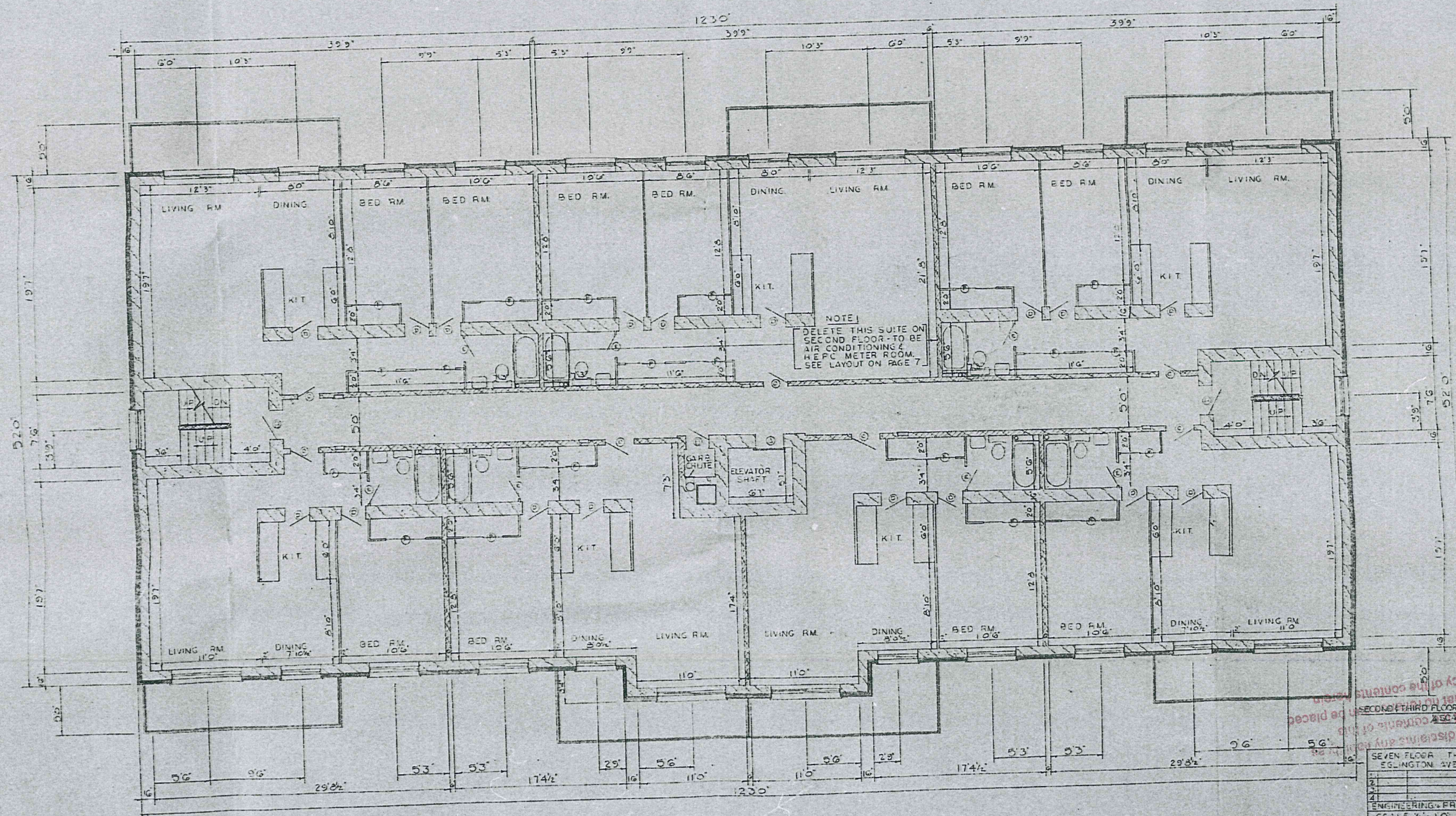


FORTH-FIFTH-SIXTH FLOOR PLAN
1/4" SCALE

SEVEN FLOOR THIRTY EIGHT SUITE BLOCK
EGGINGTON AVE TORONTO, ONTARIO.
ENGINEERING PREPARED BY R.C. FRASER
SCALE 1/4" = 1'-0" PAGE 4 OF 2



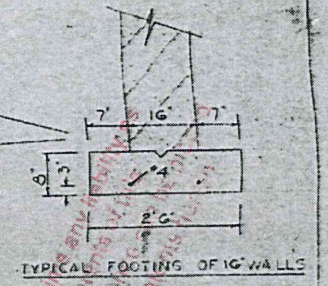
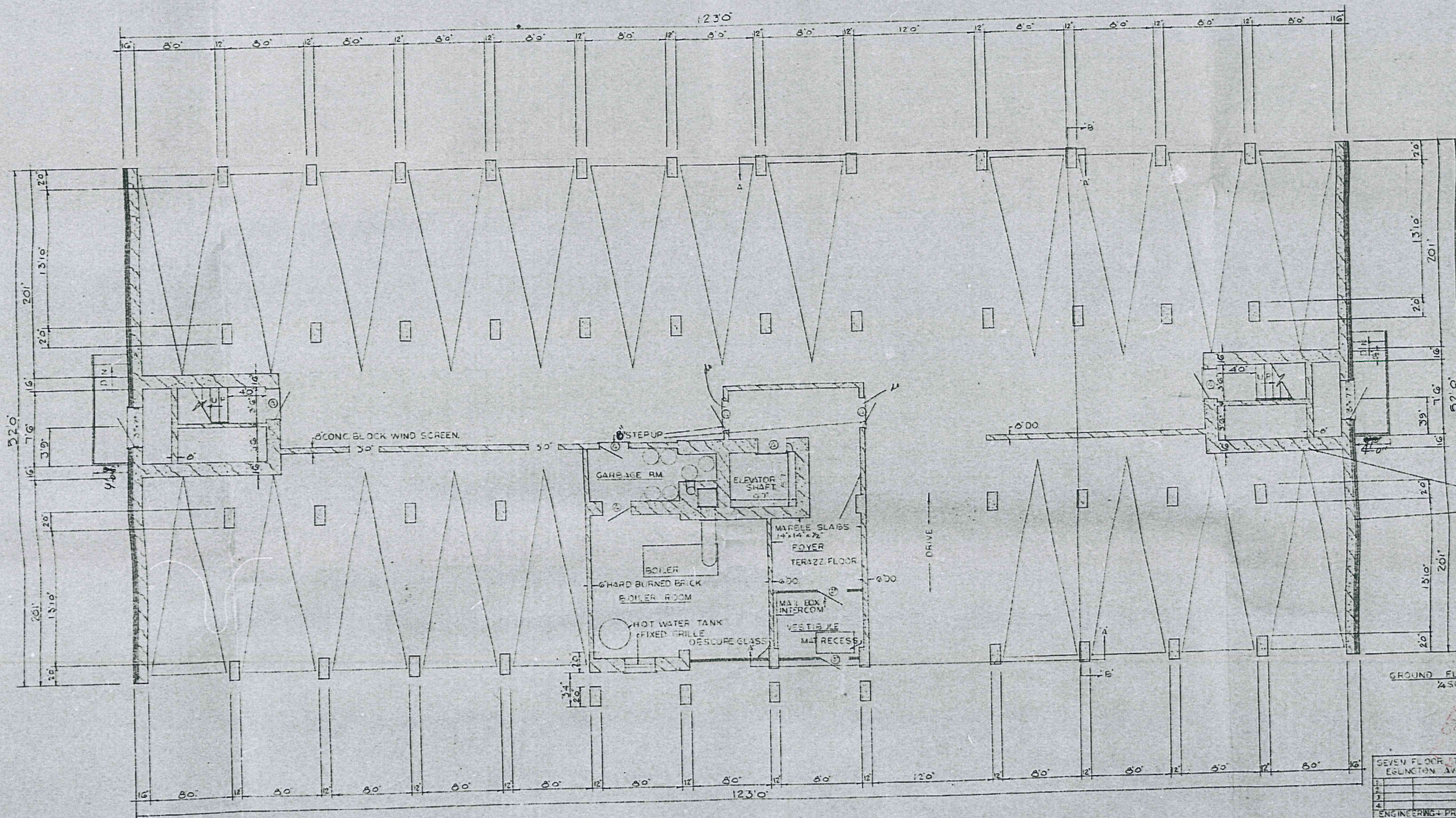
the City of Hamilton disclaims any liability for the current and accuracy of the contents of this document and advises that no reliance can be placed upon the current accuracy of the contents herein.



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SEVEN FLOOR THIRTY EIGHT SUITE BLOCK
 EGLINGTON AVE TORONTO ONTARIO
 ENGINEERING & PREPARED BY H.C. FRASER
 SCALE 1/4" = 1' 0" PAGE 3 OF 3



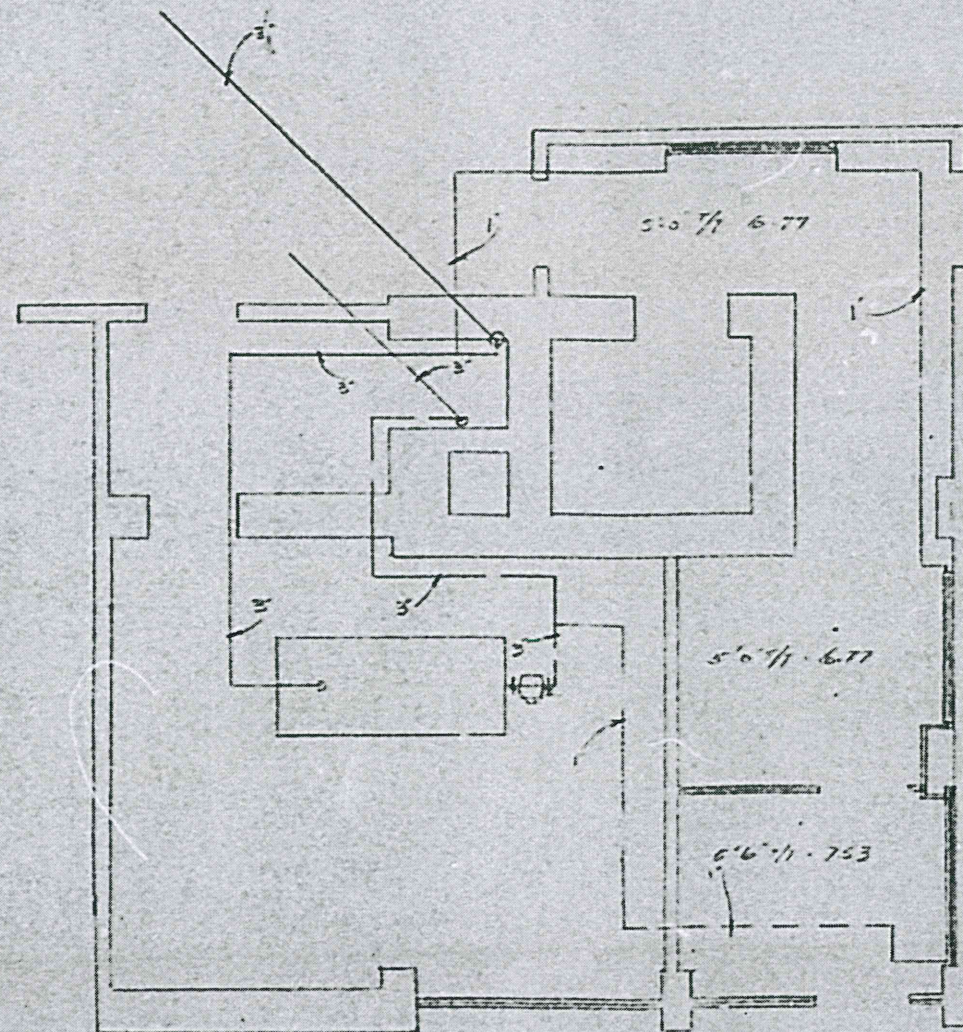


GROUND FLOOR PLAN
1/4" SCALE

SEVEN FLOOR, THIRTY EIGHT SUITE BLOCK,
EGGINGTON AVE., TORONTO, ONTARIO.

ENGINEERING+ PREPARED BY R.C. FRASER
SCALE 1/4" = 1'-0" PAGE 2 OF 3





NOTES
 HOT WATER BOILER TO HAVE A NET
 RATING OF 5185 SQ FT EDR (GREEN FIRING -)
 20' x 60' AIR CUSHION TANK WITH GATE VALVE
 1/2" DRAIN & 1/2" AIR VENT

DOUG SMITH'S 38 SUITE APT BLDG
EY

EMCO LTD. - HAMILTON, ONT.

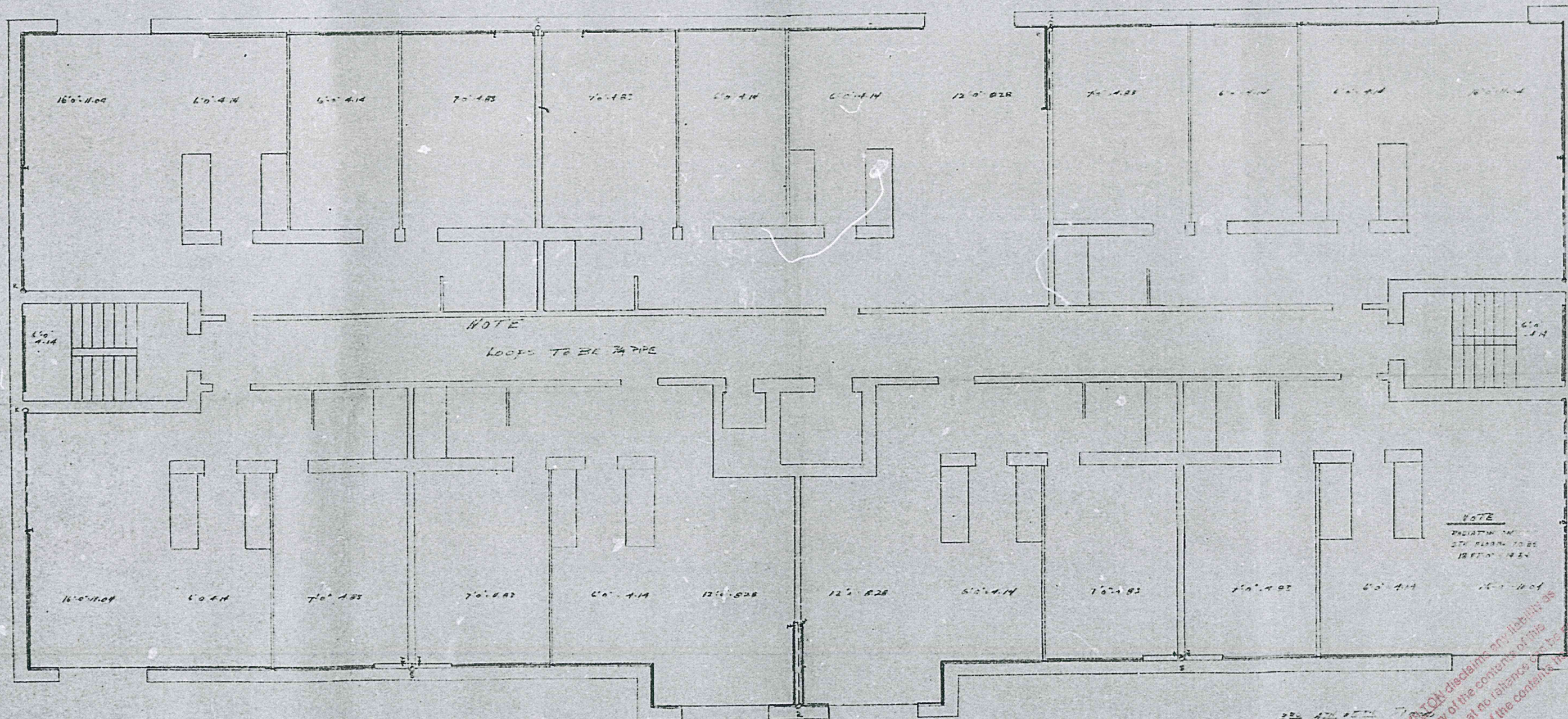
SCALE 1/4" = 1'0" SEE PG 4W JOB # 6304-10

BOILER ROOM PIPING LAYOUT

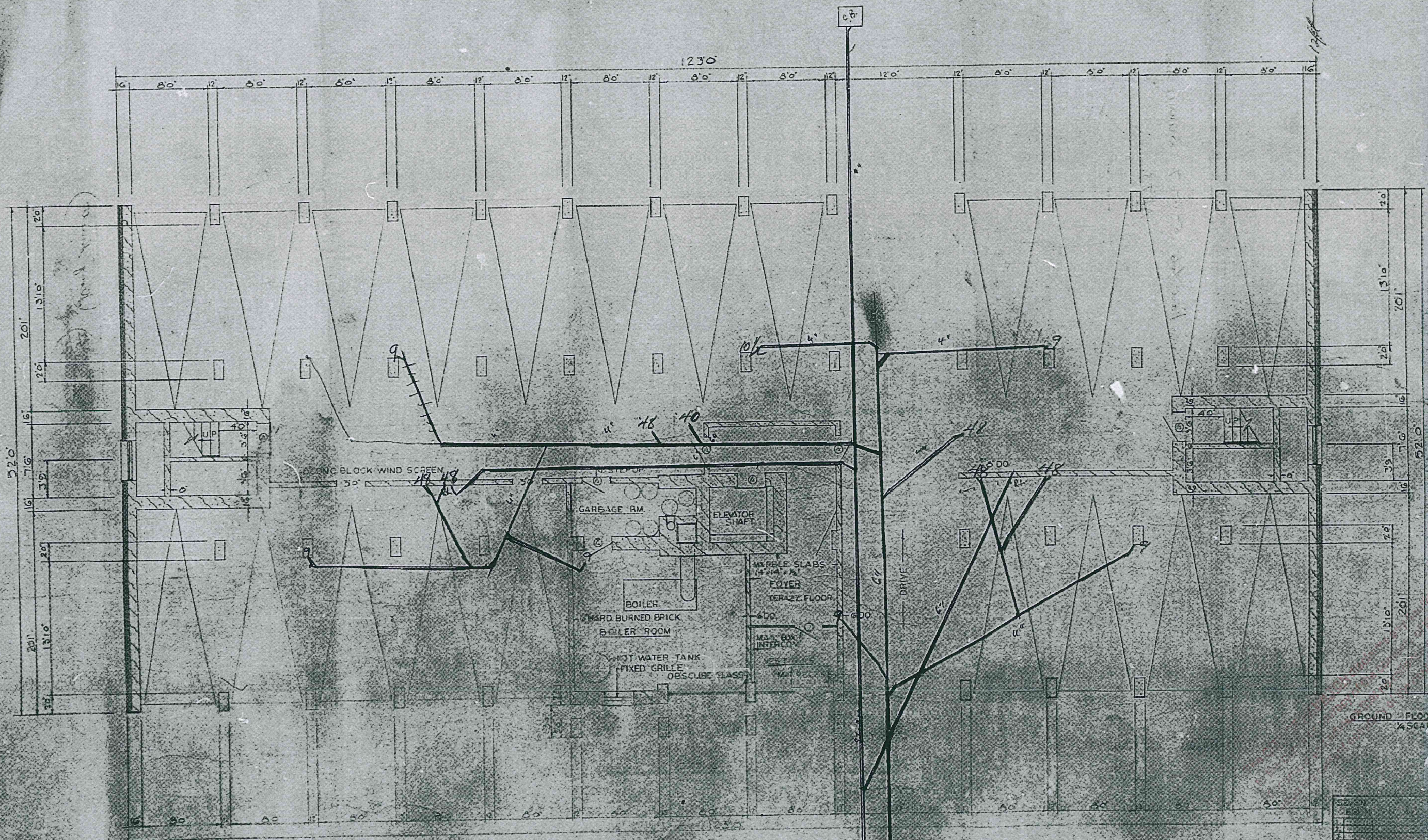
THE CITY OF SUMMIT HAS REVIEWED AND APPROVED THIS
 PLAN FOR CONFORMANCE WITH THE REQUIREMENTS OF THE
 ZONING BY-LAW AND THE BUILDING BY-LAW OF THE CITY OF
 SUMMIT. THE DURHAM REGIONAL OFFICE OF THE BUILDING DEPARTMENT

23 SUMMIT AVENUE

SHEET #1 OF 5

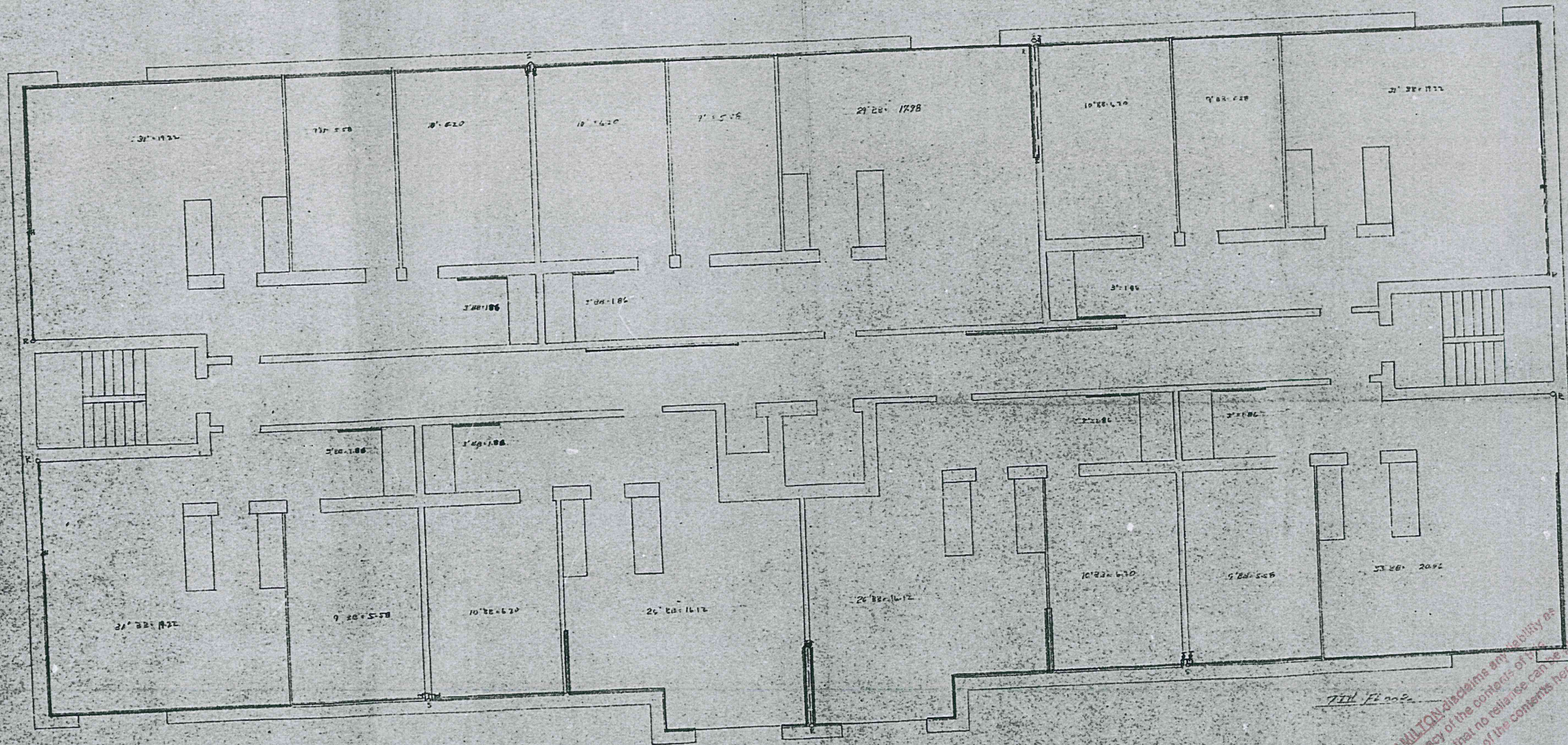


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 on the current accuracy of the contents hereon.



GROUND FLOOR PLAN
1/4" SCALE

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267	267	3/1/41	267
268	268	4/1/41	268
269	269	5/1/41	269
270	270	6/1/41	270
271	271	7/1/41	271
272	272	8/1/41	272
273	273	9/1/41	273
274	274	10/1/41	274
275	275	11/1/41	275
276	276	12/1/41	276
277	277	1/1/42	277
278	278	2/1/42	278
279	279	3/1/42	279
280	280	4/1/42	280
281	281	5/1/42	281
282	282	6/1/42	282
283	283	7/1/42	283
284	284	8/1/42	284
285	285	9/1/42	285
286	286	10/1/42	286
287	287	11/1/42	287
288	288	12/1/42	288
289	289	1/1/43	289
290	290	2/1/43	290
291	291	3/1/43	291
292	292	4/1/43	292
293	293	5/1/43	293
294	294	6/1/43	294
295	295	7/1/43	295
296	296	8/1/43	296
297	297	9/1/43	297
298	298	10/1/43	298
299	299	11/1/43	299
300	300	12/1/43	300



THE CITY OF HAMILTON disclaims any liability as to the current accuracy of the contents of this document and advises that no reliance can be placed upon the current accuracy of the contents herein.



Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

**PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.**

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

**CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO**

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

Gardenvue Properties Ltd. c/o

1. Name of Owner Rosemary Smith Telephone No. _____

FAX NO. _____ E-mail address. _____

2. Address _____

Postal Code _____

3. Name of Agent A. J. Clarke and Associates Ltd. Telephone No. _____

FAX NO. _____ E-mail address. _____

4. Address _____

Postal Code _____

Note: Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Royal Bank of Canada Postal Code M5J 2J5

Postal Code _____

6. Nature and extent of relief applied for:

See attached cover letter.

7. Why it is not possible to comply with the provisions of the By-law?

See attached cover letter.

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

21 Summit Avenue

Lots 114, 115, 116, & 117 on Registered Plan 388, in the City of Hamilton

9. PREVIOUS USE OF PROPERTY

Residential X Industrial Commercial

Agricultural Vacant

Other

- 9.1 If Industrial or Commercial, specify use

- 9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No X Unknown

- 9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No X Unknown

- 9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No X Unknown

- 9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No X Unknown

- 9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No X Unknown

- 9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No X Unknown

- 9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No X Unknown

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes _____ No X Unknown _____

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes _____ No X Unknown _____

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Property owners information

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes _____ No _____

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property for the reason of its approval to this Application.

November 12, 2020

Date

Signature Property Owner

Rosemary Smith

Print Name of Owner

10. Dimensions of lands affected:

Frontage 42.64 metres

Depth 45.7 metres

Area 1948 sq. m.

Width of street 15.24 metres

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: Seven storey multiple dwelling containing 41 dwelling units. 38 legal dwelling units, 3 dwelling units recognized as illegal. 32 Parking spaces are located at grade.

Proposed: No new construction is proposed.

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: Front Yard: 13.65m; Rear Yard 14.75m; North Side Yard 2.59m; South Side Yard 2.56m

Proposed: No new construction is proposed.

13. Date of acquisition of subject lands:

1960's

14. Date of construction of all buildings and structures on subject lands:

1960's

15. Existing uses of the subject property: Seven Storey Multiple Dwelling containing a total of 41 dwelling units

16. Existing uses of abutting properties: Place of Worship; Residential Multiple Dwellings

17. Length of time the existing uses of the subject property have continued:

Since construction

18. Municipal services available: (check the appropriate space or spaces)

Water X

Connected X

Sanitary Sewer X

Connected X

Storm Sewers X

19. Present Official Plan/Secondary Plan provisions applying to the land:

Neighbourhoods, Schedule E-1 Urban Hamilton Official Plan

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

"E" Multiple Dwellings, Lodges, Clubs etc. District, City of Hamilton Zoning By-law No. 6593

21. Has the owner previously applied for relief in respect of the subject property?

Yes

No

If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps



A. J. Clarke and Associates Ltd.
SURVEYORS • PLANNERS • ENGINEERS

November 25, 2020

City of Hamilton
Committee of Adjustment
71 Main Street West, 5th Floor
Hamilton, ON L8P 4Y5

Attn: Ms. Jamila Sheffield
Secretary Treasurer, Committee of Adjustment

Re: 21 Summit Avenue – Minor Variance Application Submission

Dear Ms. Sheffield:

A.J Clarke and Associates Ltd. has been retained by the owners of 21 Summit Avenue for the purposes of submitting the enclosed Minor Variance Application. Below is a summary of the materials submitted to your attention:

- One (1) copy of the required filled and signed Minor Variance Application Form;
- One (1) cheque in the amount of \$3,302.00 representing the required application fee;
- One (1) digital copy of the Plan of Survey, prepared by A.J. Clarke and Associates Ltd., dated July 20, 2020;
- One (1) digital copy containing the set of as built drawings, dated January 1997;
- One (1) digital copy of a Parking Study, prepared by Paradigm Transportation Solutions Ltd.

The subject lands currently contain an existing seven (7) storey multiple dwelling which was constructed in the 1960's. The existing building was approved for a total of 38 units at the time of construction. However, the building currently contains a total of 41 units. As such, the purpose of this application is to legalize the three (3) additional dwelling units that were not recognized through the original approval process.

The subject lands are zoned "E" Multiple Dwellings, Lodges, Clubs, Etc., which permits multiple dwellings – among other uses. Accordingly, the existing multiple dwelling and all 41 units are permitted as-of-right under the Zoning By-law. However, it is understood that in order to formally legalize the additional three units, it must be demonstrated that sufficient parking is available to service the units.

As per Section 18A – Table 1(g) of the Zoning By-law No. 6593, a minimum of 1.25 spaces per unit is required. The site has an existing parking supply of 32 spaces, which is legal non-conforming in relation to the 38 legally recognized units. A total of 3.75 spaces are required per the minimum parking requirement under Section 18A of the Zoning By-law. As no additional spaces are available for the



benefit of the three additional units, a minor variance to reduce the minimum required on-site parking for the subject lands is required.

Therefore, A.J Clarke and Associates Ltd. Is requesting the following variance:

1. A minimum parking rate of 0.77 parking spaces per unit shall be required for multiple dwellings, whereas Zoning By-law No. 6593 requires that a multiple dwelling provide a minimum parking rate of 1.25 parking spaces for a multiple dwelling.

Minor Variance Application

This minor variance application is made under the authority of Section 45(1) of the Planning Act. Accordingly, a minor variance must meet the requisite four tests as described in Section 45 (1) of the Act. The tests and professional opinion are outlined below:

1. Does the proposed variance maintain the intent and purpose of the Urban Hamilton Official Plan.

The subject lands are located within a dense urban neighbourhood, with nearby amenities and services such as parks, a hospital and the nearby Concession Street shopping district. The overall intent of the Urban Hamilton Official Plan is to plan for complete neighbourhoods that are less reliant on motor vehicles for transportation and to reduce parking rates for neighbourhoods where amenities already exist. In this instance, the subject lands have access to a variety of services to meet the daily needs of residents, reducing the need for a motor vehicle in this area of the city. The subject lands has access to transit and other alternative modes of transportation such as walking and cycling. The proposed reduction in parking maintains the purpose and intent of the Urban Hamilton Official Plan.

2. Does the proposed variance maintain the intent and purpose of the City of Hamilton Zoning By-law No. 6593.

The intent of the Zoning By-law is to provide for an adequate number of parking spaces to support the demand that the use is generating. As discussed above, the subject lands are situated in an area of the City which has access to multiple amenities for the daily needs of residents without the need to use a motor vehicle. The subject lands has always operated with 32 parking spaces and the number of spaces is appropriate to accommodate the existing demand that the existing multiple dwelling generates. In addition, a parking study has been prepared by Paradigm Inc., for the subject lands which suggests that between 12 and 32 parking spaces are appropriate to accommodate on-site parking for the multiple dwelling. The site has access to HSR transit routes that give access to Hamilton Downtown and other areas of the City. Based on the foregoing, the proposed variance maintains the intent and purpose of the Zoning By-law No. 6593.

3. Is the proposed variance appropriate for the development of the subject lands?

The proposed variance represents an existing condition affecting the subject property. No new development is proposed and the existing parking lot containing 32 parking spaces is appropriate to



A. J. Clarke and Associates Ltd.

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accommodate the parking demand generated by the proposed development. Additional space to accommodate for additional parking is available on the subject lands as at the time of construction the need for more than 32 spaces for the proposed development was appropriate. The reduction in parking rate is similar to that of the surrounding area, which contain many multiple dwellings having a reduced parking rate. The reduction can be supported due to the number of amenities within walking distance of the property. Based on the foregoing the variance is appropriate for the development of the subject lands.

4. Is the proposed variance minor in nature?

The proposed variance is intended to recognize an existing condition on the subject property. The subject lands have been operating with 32 parking spaces since construction. Accordingly, there are no perceived impacts that stem from the minor variance as it recognizes an existing condition on the subject property. There are various amenities available to offset the need for parking, such as public transit and the proximity to the amenities located along Concession Street. Based on the foregoing, the variance is minor in nature.

Should the application be approved, the client will move forward to legalize the existing three units through the building permit process.

I trust that you will find the enclosed satisfactory for your purposes. Please confirm receipt of this submission and we look forward to be scheduled for the next available hearing date. If you have any questions or require additional information, please do not hesitate to contact this office.

Yours truly,

Miles Weekes, MCIP, RPP
A. J. Clarke and Associates Ltd.

Encl.

cc: Gardenview Properties Ltd. c/o Rosemary Smith (via email)