

NOTICE OF PUBLIC HEARING

Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: SC/A-20:282

APPLICANTS: Kathleen Keebler & Michael Kirk, owners

SUBJECT PROPERTY: Municipal address **325 Dewitt Rd., Stoney Creek**

ZONING BY-LAW: Zoning By-law 05-200, as Amended

ZONING: "M3" (Prestige Business Park) district

PROPOSAL: To permit the reconstruction a legally established non-conforming Single Detached Dwelling notwithstanding that the volume of the new building is greater than that of the existing Single Detached Dwelling.

NOTES:

i. The Hamilton Zoning By-law 05-200 permits the reconstruction/rebuild of a building containing a legally established non-conforming use to a safe condition provided that the new building maintains the same height, area, volume and lot coverage of the existing structure. The volume of the building is being increased by way of increasing the height of the basement floor level and through the expansion of the basement level by excavating below the front entryway and below rear portion of the building.

This application will be heard by the Committee as shown below:

DATE: Thursday, February 4th, 2021
TIME: 2:30 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

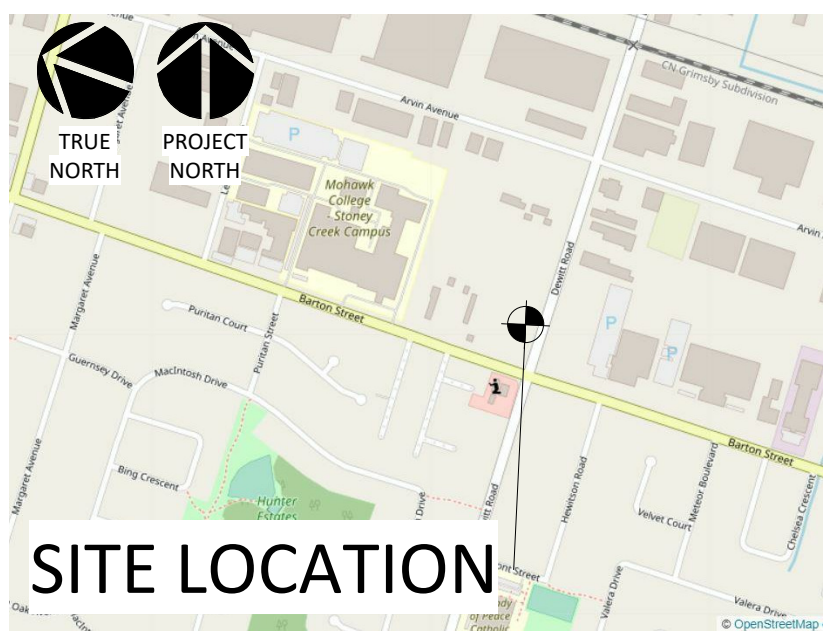
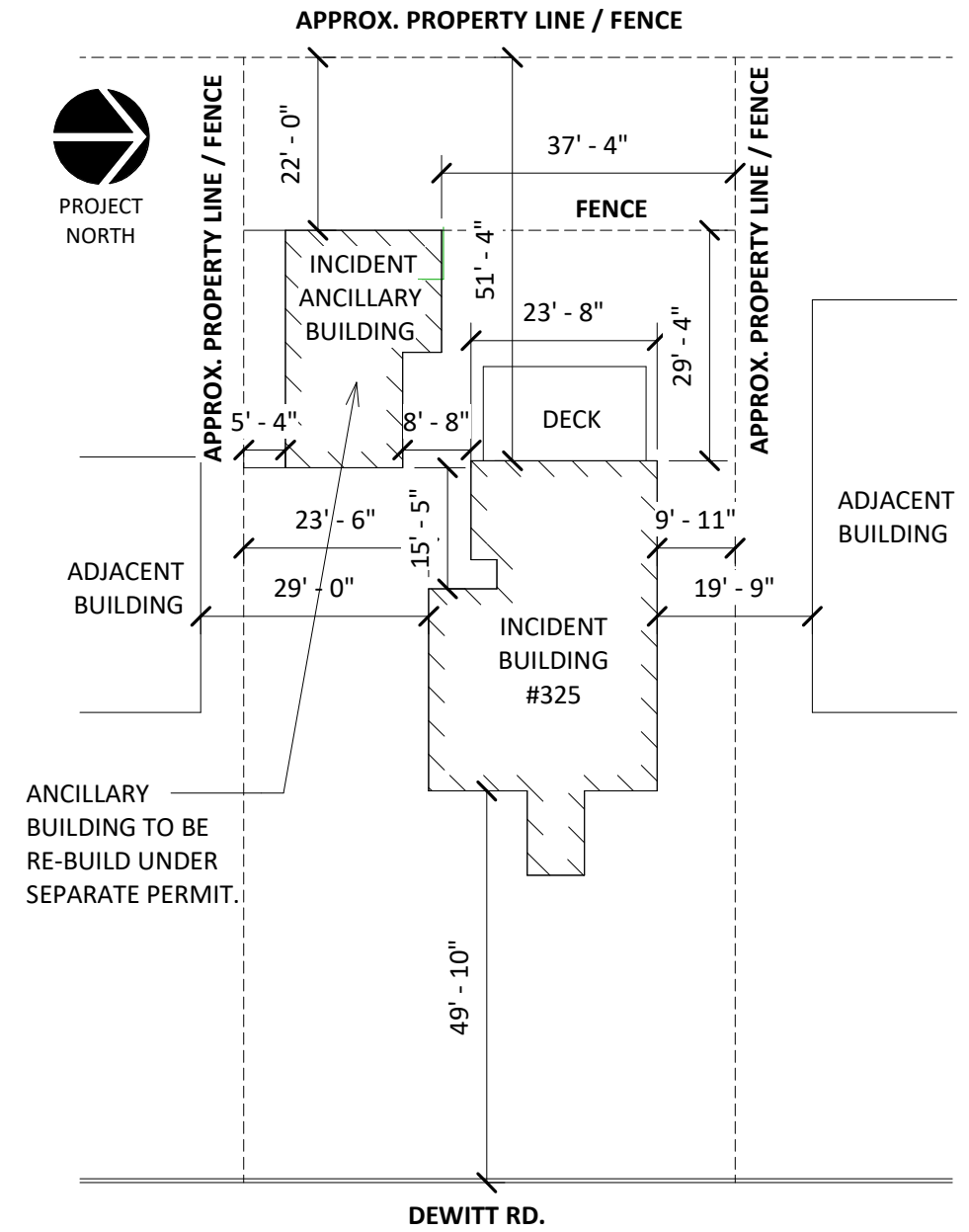
DATED: January 19th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

FIRE DAMAGE - NEW CONSTRUCTION

325 DEWITT ROAD, STONEY CREEK, ON



SHEET LIST		
SEQUENCE	SHEET TITLE	SHEET NAME
0.01	SP0.01	TITLE SHEET
0.02	A0.02	GENERAL NOTES
1.11A	A1.01	EXISTING PLANS
1.11B	A1.02	EXISTING PLANS
1.12A	A1.03	EXISTING PLANS
1.12B	A1.04	EXISTING PLANS
1.13A	A1.05	EXISTING PLANS
1.13B	A1.06	EXISTING PLANS
1.14	A1.07	EXISTING PLANS
1.15	A1.08	EXISTING PLANS
1.21	A2.01	EXISTING ELEVATIONS
1.22	A2.02	EXISTING ELEVATIONS
1.23	A2.03	EXISTING ELEVATIONS
1.31	S5.01	EXISTING SCHEDULES
2.01	A4.01	SCOPE OF DEMOLITION
2.11	A4.02	DEMOLITION PLANS
2.12	A4.03	DEMOLITION PLANS
3.01	A3.01	SCOPE OF RESTORATION
3.11A	A3.02	NEW CONSTRUCTION PLANS
3.11B	A3.03	NEW CONSTRUCTION PLANS
3.11S	A3.04	NEW CONSTRUCTION PLANS
3.12A	A3.05	NEW CONSTRUCTION PLANS
3.12B	A3.06	NEW CONSTRUCTION PLANS
3.12S	A3.07	NEW CONSTRUCTION PLANS
3.13A	A3.08	NEW CONSTRUCTION PLANS
3.13B	A3.09	NEW CONSTRUCTION PLANS
3.13S	A3.10	NEW CONSTRUCTION PLANS
3.14A	A3.11	NEW CONSTRUCTION PLANS
3.14S	A3.12	NEW CONSTRUCTION PLANS
3.21	A2.04	NEW CONSTRUCTION ELEVATIONS
3.22	A2.05	NEW CONSTRUCTION ELEVATIONS
3.31	S5.02	NEW CONSTRUCTION SCHEDULES
3.32	S5.03	NEW CONSTRUCTION SCHEDULES
3.41	A3.13	NEW CONSTRUCTION DETAILS
3.42	A3.14	NEW CONSTRUCTION DETAILS
3.43	A3.15	NEW CONSTRUCTION DETAILS
4.00	A5.03	LIFE SAFETY PLANS
6.01	A0.03	GENERAL NOTES
6.02	A0.04	GENERAL NOTES
6.03	A0.05	GENERAL NOTES
6.04	A0.06	GENERAL NOTES
6.05	A0.07	GENERAL NOTES
6.06	A0.08	GENERAL NOTES

INTENTIONAL BLANK SPACE
PER HAMILTON BUILDING

1 SITE PLAN
1 : 290

2 LOCATION MAP
NTS



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-LATEST APPROVED DRAWINGS GOVERN CONSTRUCTION.
-DO NOT SCALE DRAWINGS.



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ADDRESS 325 DEWITT ROAD, STONEY CREEK, ON.	FILE 2002-1001-MD
CLIENT DESJARDINS GENERAL INSURANCE GROUP	SEQUENCE 0.01
TITLE TITLE SHEET	SHEET SP0.01

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GENERAL NOTES

PRIOR TO THE COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL READ AND BECOME FAMILIAR WITH THE BUILDING PERMIT RESTORATION DOCUMENTATION, INCLUSIVE OF ANY DRAWINGS AND REPORTS. ANY DEVIATION FROM THE BUILDING PERMIT RESTORATION DOCUMENTS MUST BE FIRST APPROVED, IN WRITING, BY ELEMENT FORENSIC ENGINEERING.

BASED ON A REVIEW OF THE BUILDING AREA, HEIGHT AND USE, IT IS ASSUMED THE BUILDING WAS ORIGINALLY CONSTRUCTED UNDER PART 9 OF THE OBC. RESTORATION WORK WILL BE COMPLETED UNDER PART 11. THE RESTORATION WILL NOT INCREASE THE SIZE, HEIGHT OR VOLUME OF THE BUILDING NOR WILL IT CHANGE THE USE.

CONTRACTOR IS RESPONSIBLE TO DESIGN AND INSTALL CONSTRUCTION SHORING, AS NECESSARY, TO SUPPORT TO THE BUILDING DURING THE RESTORATION.

IN CONFORMANCE WITH PART 11 OF THE OBC, SECTION 11.3, WHERE THE EXISTING WALLS, FLOOR OR ROOF ASSEMBLIES ARE NOT SUBSTANTIALLY REMOVED, THE NEW ELEMENTS SHALL MEET OR EXCEED THE ORIGINAL PERFORMANCE LEVEL. WHERE THE EXISTING WALL, FLOORS OR ROOF ASSEMBLIES ARE SUBSTANTIALLY REMOVED, THE REPLACEMENT WALLS, FLOORS OR ROOF ASSEMBLIES, THE NEW STRUCTURAL AND FIRE-RESISTANCE ELEMENTS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE REQUIREMENTS OF PART 9, THE REMAINDER OF THE NEW ELEMENT SHALL MEET OR EXCEED THE ORIGINAL PERFORMANCE LEVEL.

ALL WORK SHALL BE COMPLETED BY A COMPETENT WORKER WHO IS QUALIFIED BECAUSE OF KNOWLEDGE, TRAINING AND EXPERIENCE TO PERFORM THE WORK, AND IS FAMILIAR WITH THE ONTARIO BUILDING CODE, MUNICIPAL BY-LAWS AND WITH THE PROVISIONS OF ALL GOVERNING REGULATIONS AND STANDARDS THAT APPLY TO THE WORK. ELEMENT FORENSIC ENGINEERING IS NOT RESPONSIBLE FOR THE CONTRACTOR, SUPPLIERS OR SUBTRADES, INCLUDING BUT NOT LIMITED TO NEGLIGENCE AND ERRORS.

ALL WORK SHALL BE IN CONFORMANCE WITH THE OBC AND APPLICABLE CSA STANDARDS. WHERE THE DRAWINGS DEViate FROM THE OBC AND APPLICABLE STANDARDS, THE MORE STRINGENT SHALL GOVERN. SPECIFIED PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

ANY AMBIGUITY OR CONFLICT IN THE DRAWINGS SHALL BE IMMEDIATELY REPORTED TO ELEMENT FORENSIC ENGINEERING FOR DIRECTION.

ALL PROPRIETARY COMPONENTS SHALL BE INSTALLED IN CONFORMANCE WITH THE MANUFACTURER'S SPECIFICATION.

SUBMIT ALL SHOP DRAWINGS FOR SHORING AND EXTERNALLY ENGINEERED AND PROPRIETARY COMPONENTS TO ELEMENT FORENSIC ENGINEERING FOR COMMENT PRIOR TO FABRICATION.

ALL CONSTRUCTION RELATED ACTIVITIES AND ACCESS TO THE SITE SHALL BE COMPLETED IN CONFORMANCE WITH THE OHSA.



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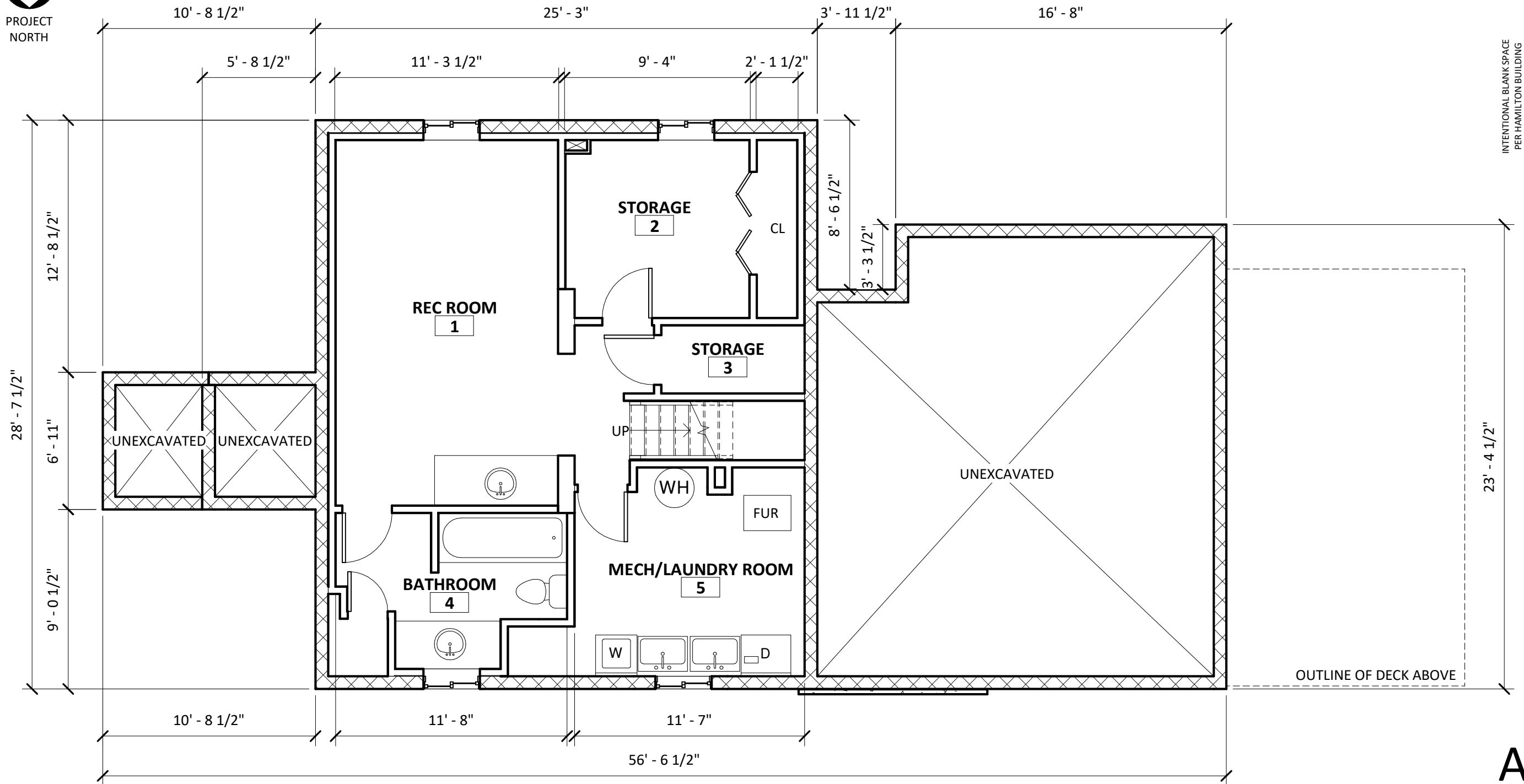
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CLIENT DESJARDINS GENERAL INSURANCE GROUP	SEQUENCE 0.02
TITLE GENERAL NOTES	SHEET A0.02



PROJECT
NORTH



AS-BUILTS

1

EXISTING PLAN BASEMENT
3/16" = 1'-0"



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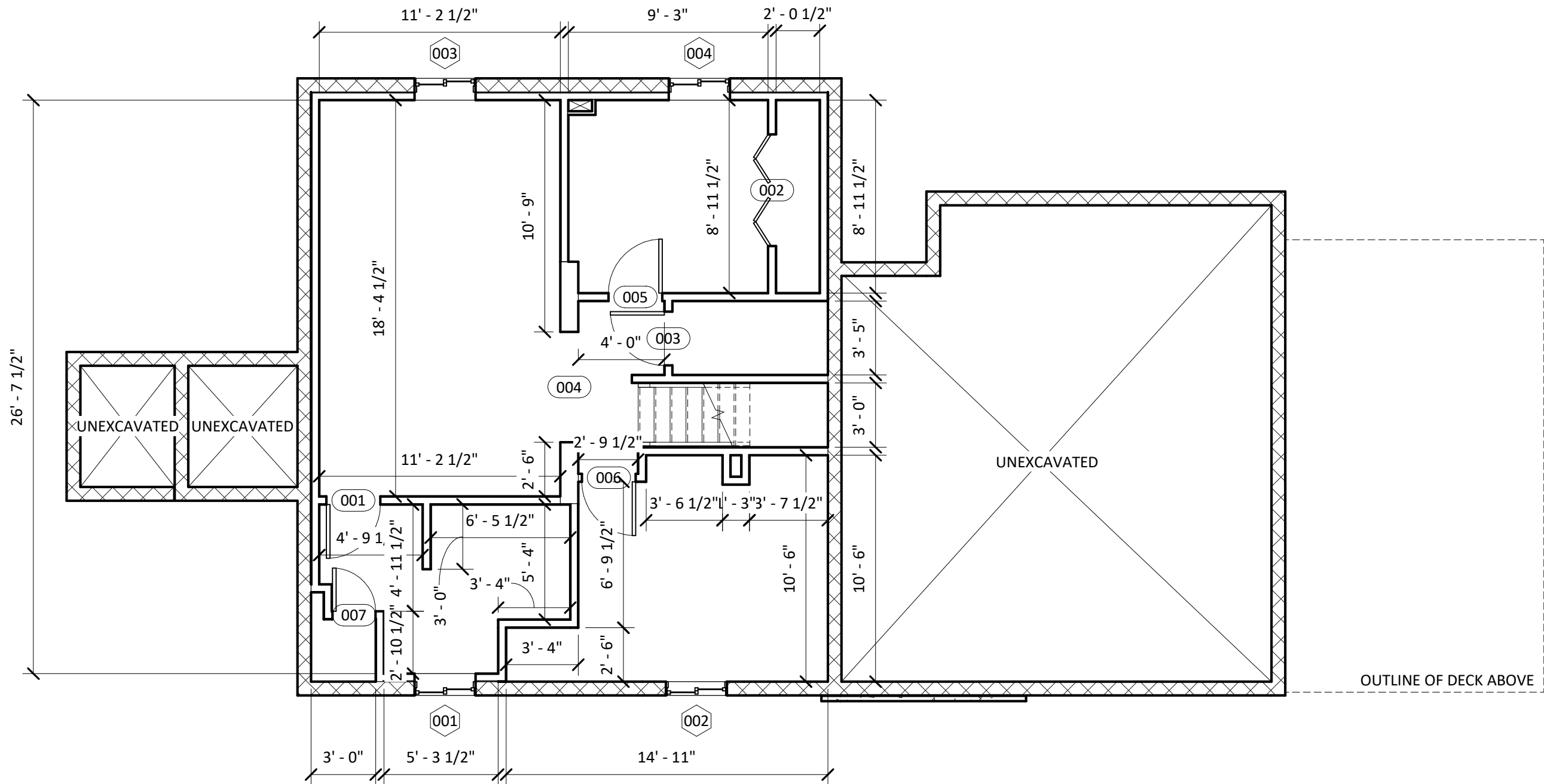
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TITLE EXISTING PLANS	SHEET A1.01



AS-BUILTS

1

EXISTING PLAN BASEMENT DIM.
3/16" = 1'-0"



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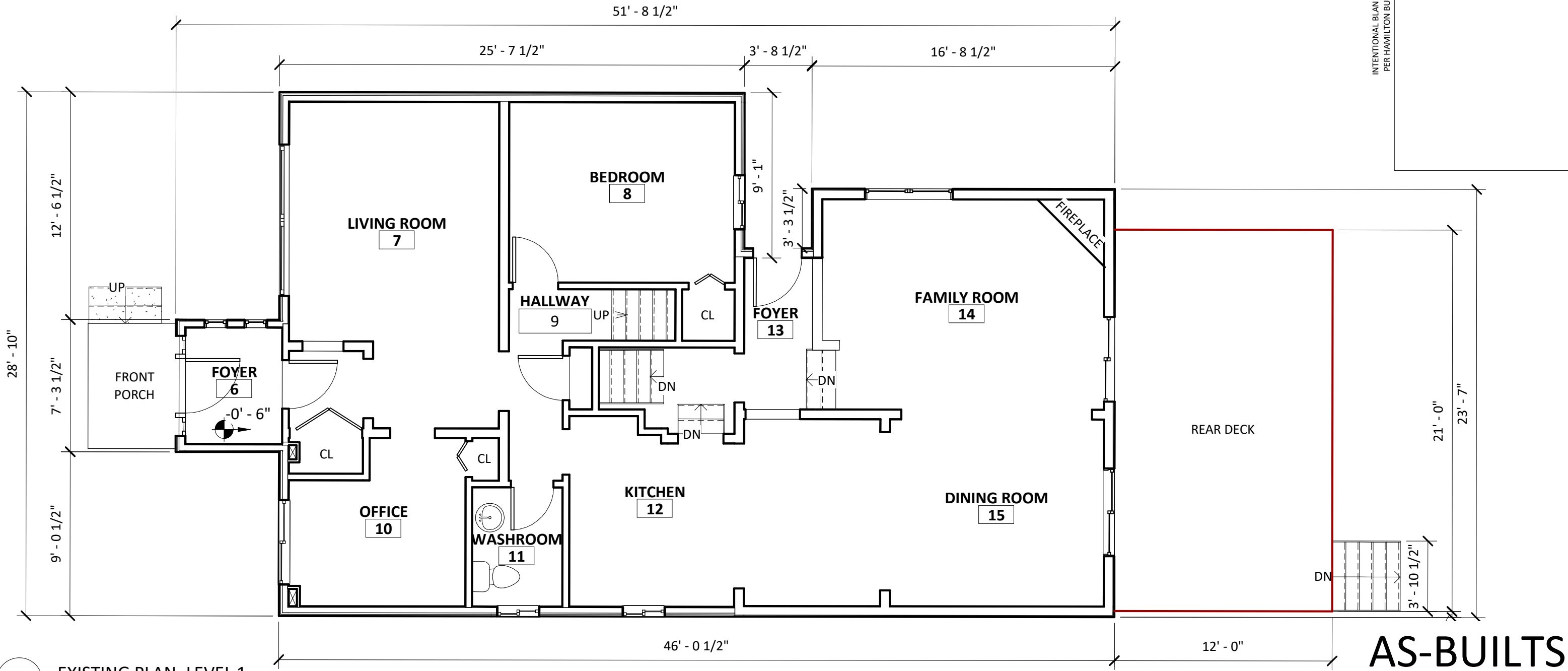
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TITLE EXISTING PLANS	SHEET A1.02



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1

EXISTING PLAN LEVEL 1
3/16" = 1'-0"



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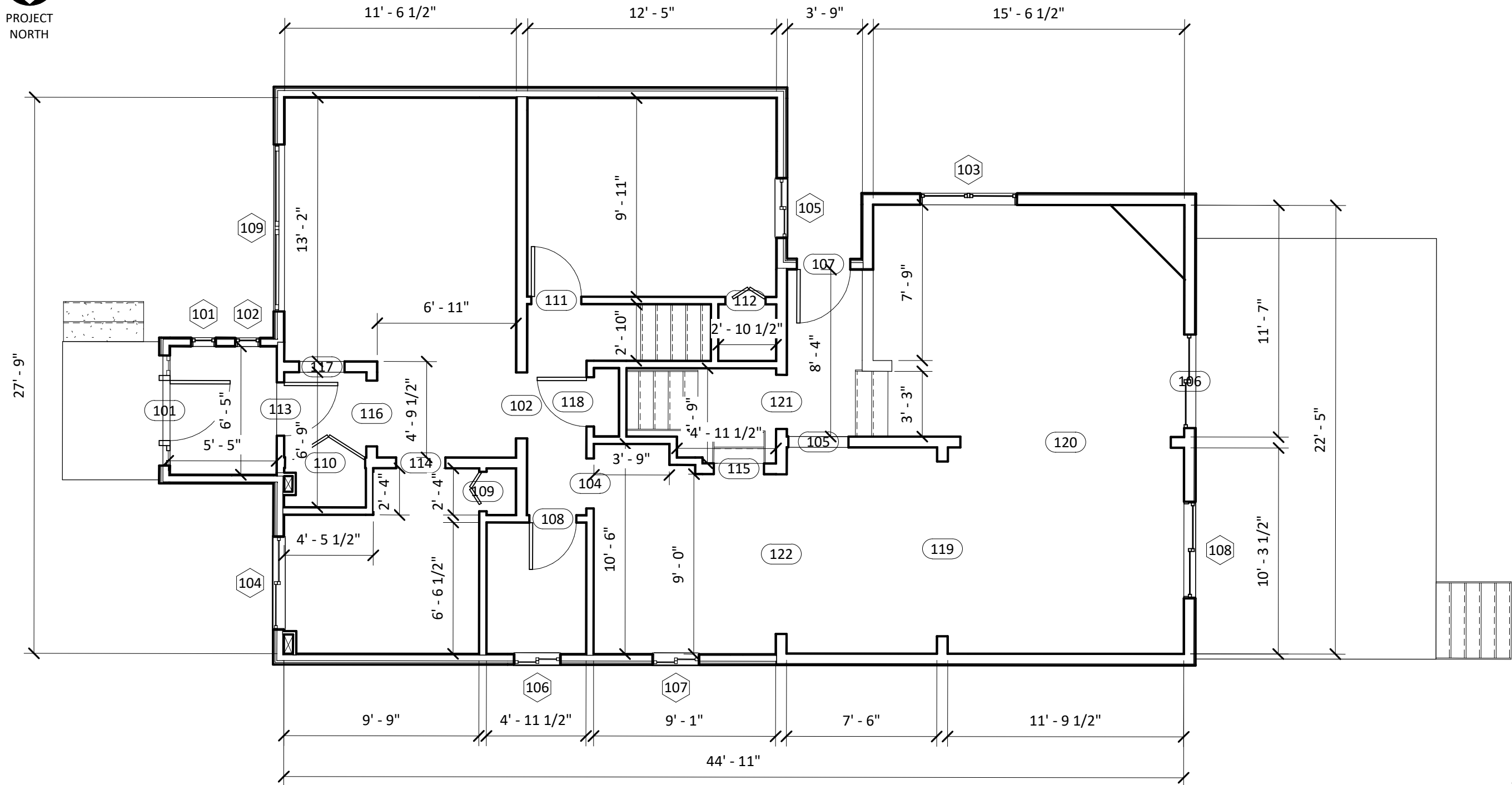
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PROJECT
NORTH



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AS-BUILTS

1

EXISTING PLAN LEVEL 1 DIM.
3/16" = 1'-0"



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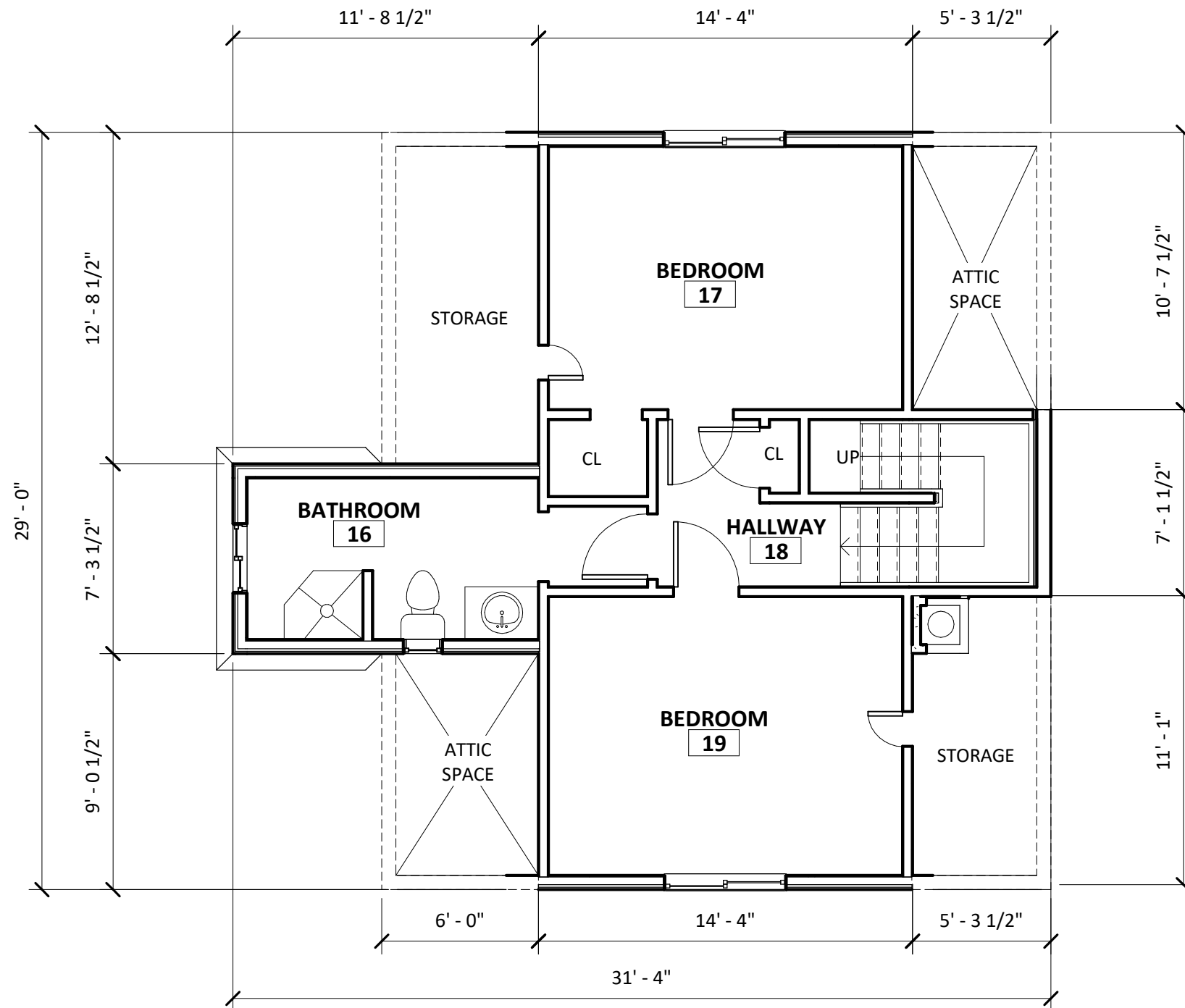
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AS-BUILTS

1

EXISTING PLAN LEVEL 2
3/16" = 1'-0"



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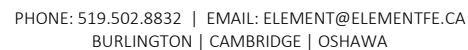
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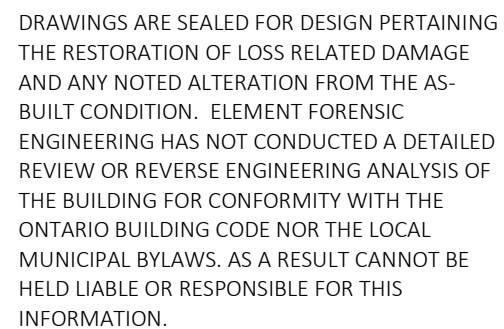


AS-BUILTS

EXISTING PLAN LEVEL 2 DIM.
3/16" = 1'-0"



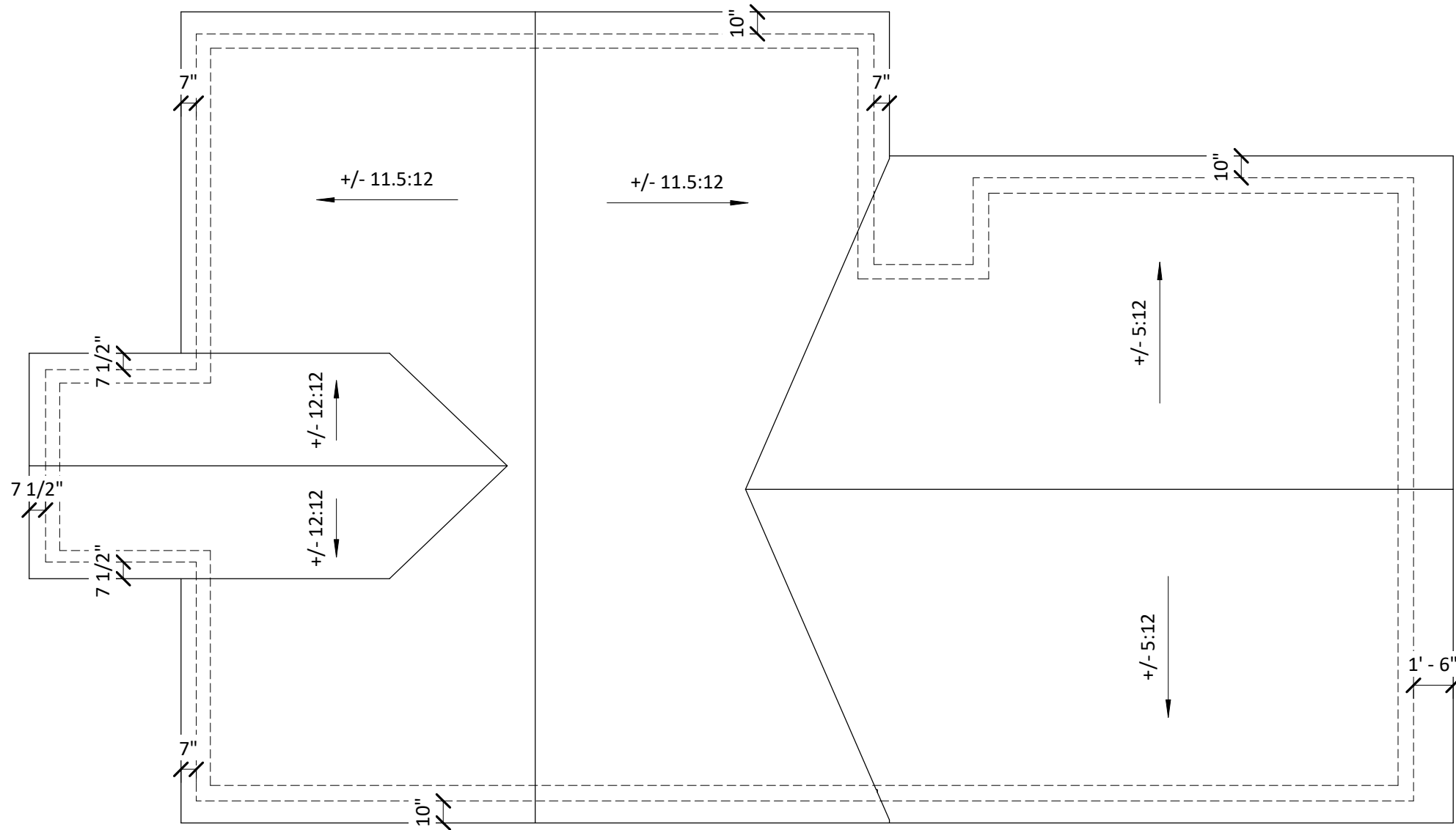
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SHEET

A1.06



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AS-BUILTS

1

EXISTING PLAN_ROOF
3/16" = 1'-0"



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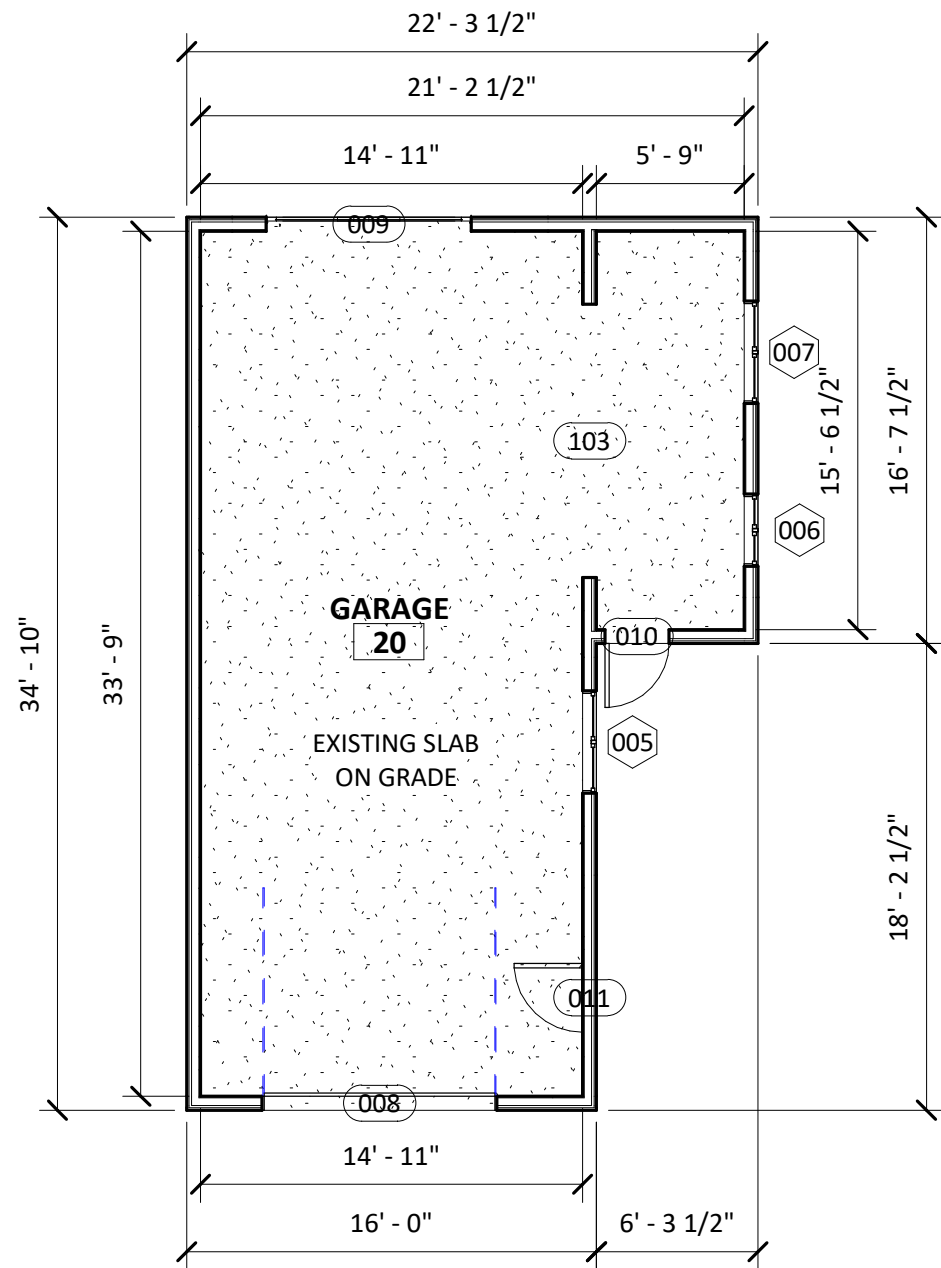
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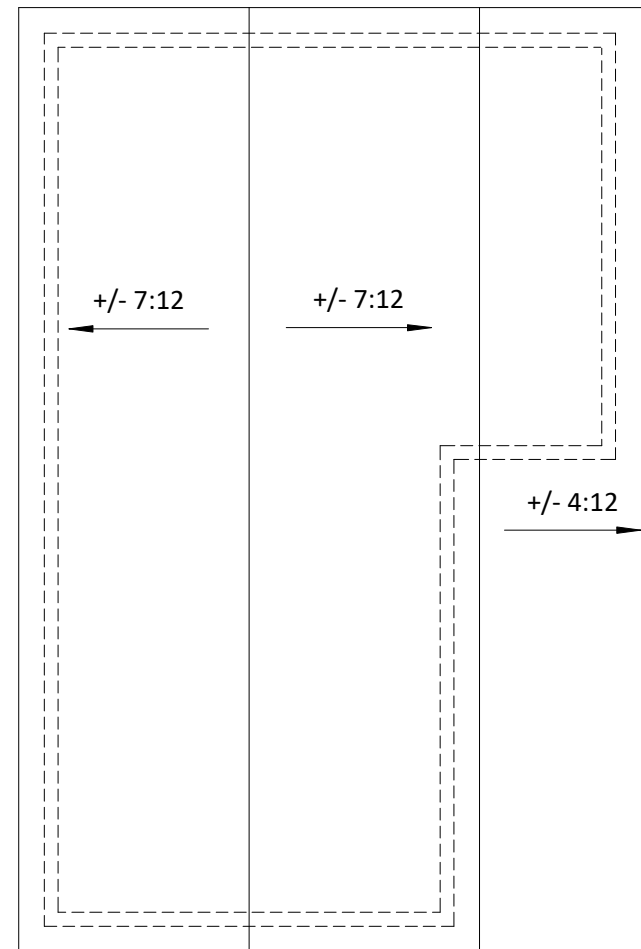
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TITLE EXISTING PLANS	SHEET A1.07



1 EXISTING PLAN_GARAGE SOG
1 : 90



2 EXISTING PLAN_GARAGE ROOF
1 : 90

INTENTIONAL BLANK SPACE
PER HAMILTON BUILDING

AS-BUILTS



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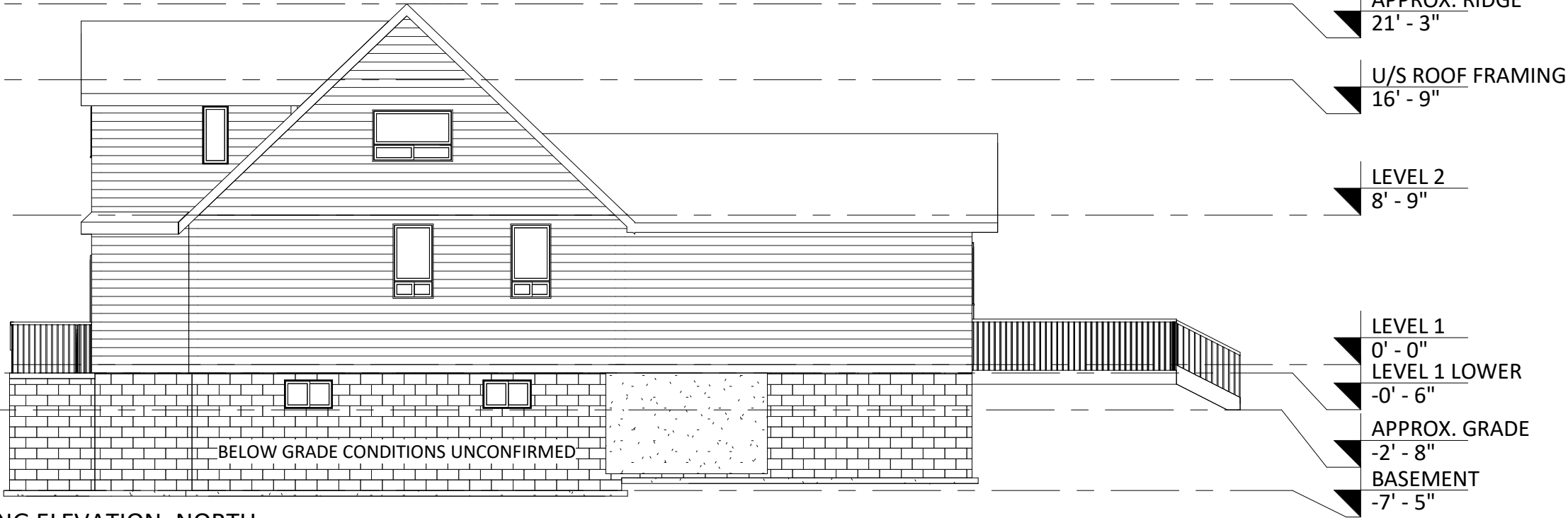
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CLIENT DESJARDINS GENERAL INSURANCE GROUP	SEQUENCE 1.15
TITLE EXISTING PLANS	SHEET A1.08

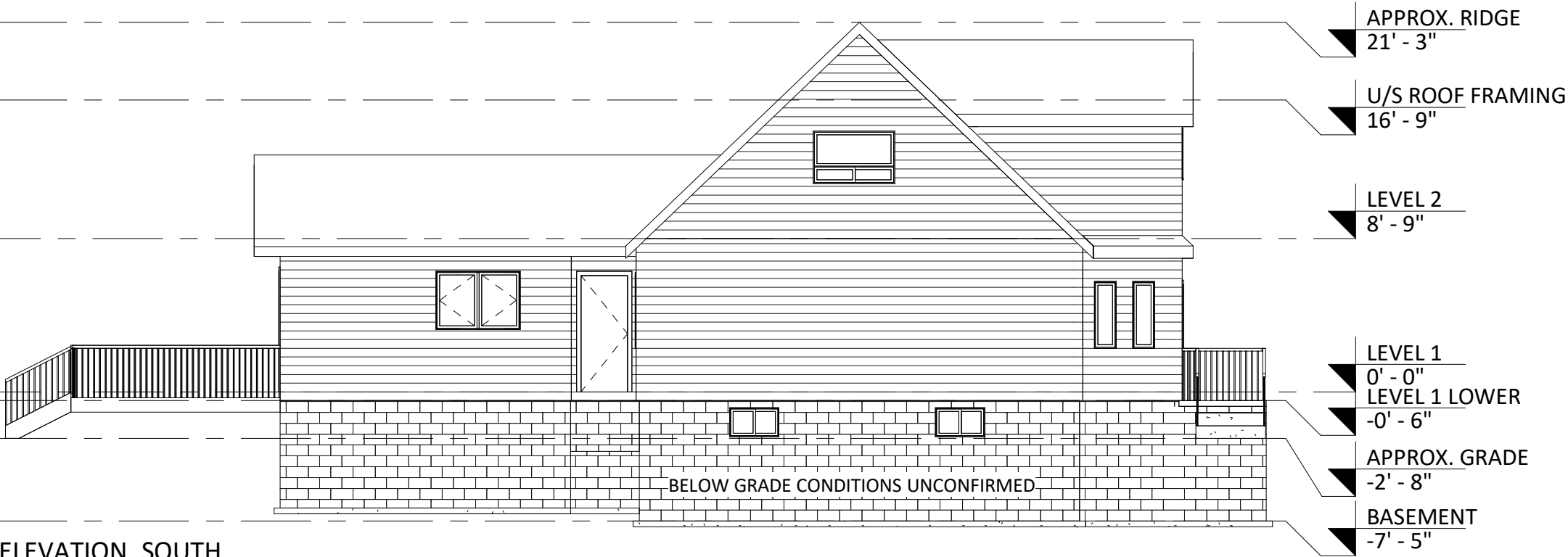
1

EXISTING BUILDING ELEVATION_NORTH
1/8" = 1'-0"



2

EXISTING BUILDING ELEVATION_SOUTH
1/8" = 1'-0"



AS-BUILTS



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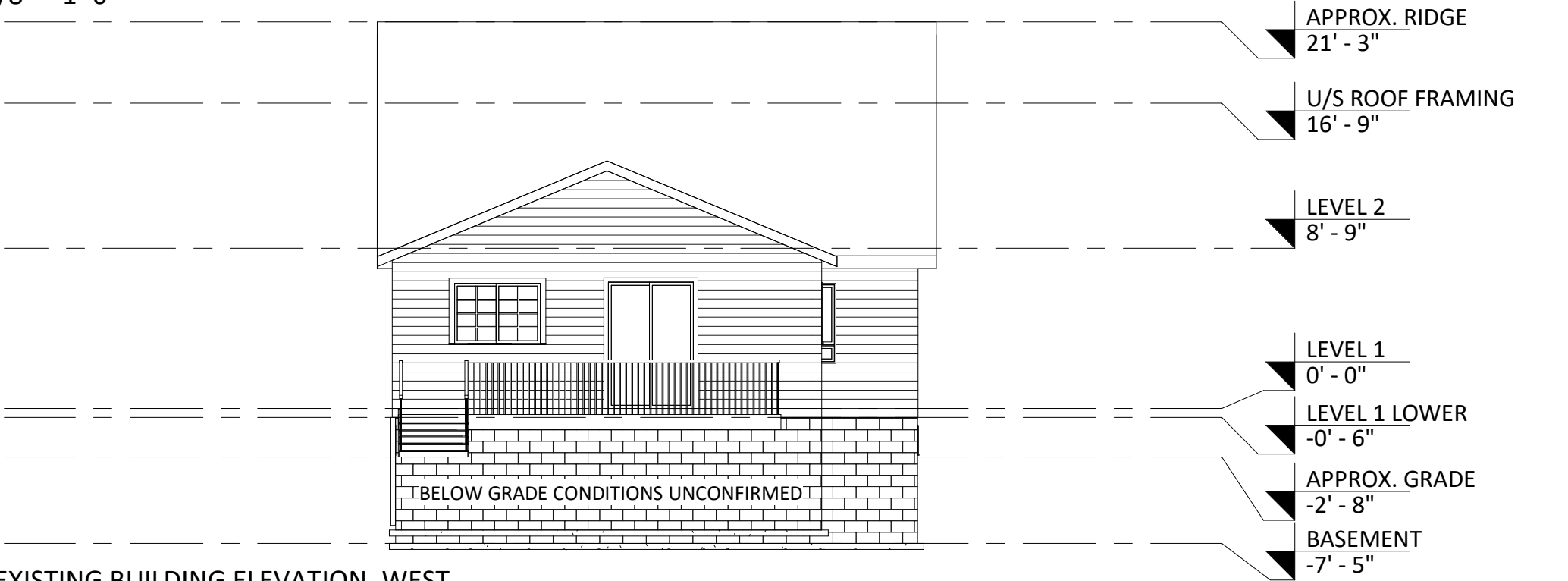
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CLIENT DESJARDINS GENERAL INSURANCE GROUP	SEQUENCE 1.21
TITLE EXISTING ELEVATIONS	SHEET A2.01



1

EXISTING BUILDING ELEVATION EAST
1/8" = 1'-0"



2

EXISTING BUILDING ELEVATION WEST
1/8" = 1'-0"

AS-BUILTS



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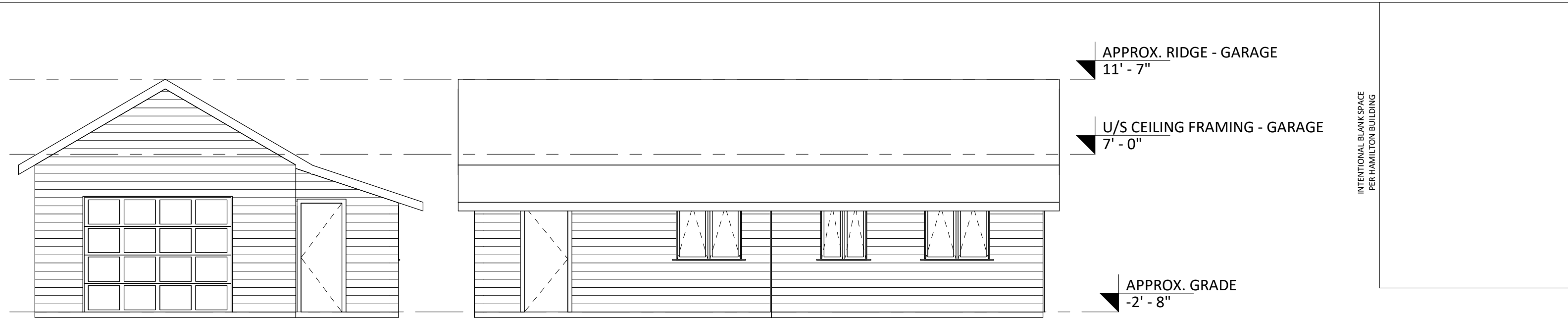
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TITLE EXISTING ELEVATIONS	SHEET A2.02

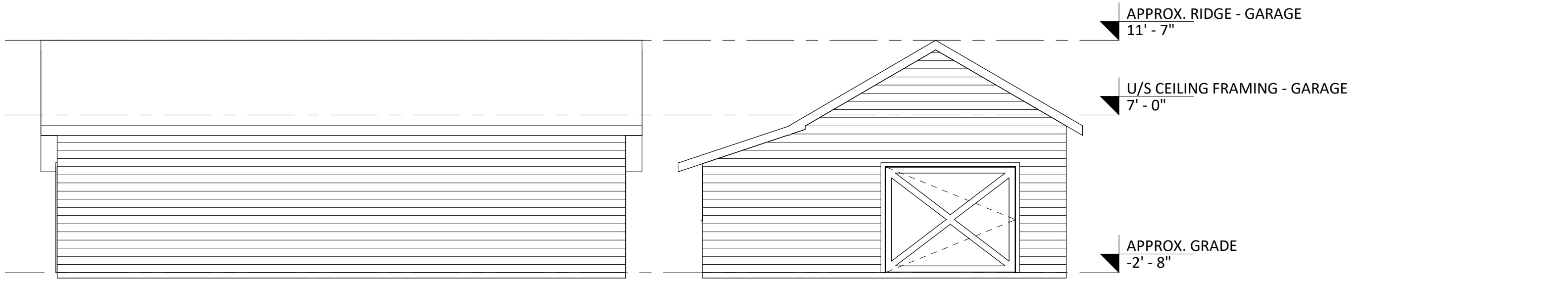


BELOW GRADE CONDITIONS UNCONFIRMED

1 EXISTING GARAGE ELEVATION_EAST
1 : 70

BELOW GRADE CONDITIONS UNCONFIRMED

2 EXISTING GARAGE ELEVATION_NORTH
1 : 70



BELOW GRADE CONDITIONS UNCONFIRMED

3 EXISTING GARAGE ELEVATION_SOUTH
1 : 70

BELOW GRADE CONDITIONS UNCONFIRMED

4 EXISTING GARAGE ELEVATION_WEST
1 : 70

AS-BUILTS

ELEMENT

FORENSIC ENGINEERING

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LICENSED PROFESSIONAL ENGINEER

J.G.MARTIN
100168670

JUNE 25/20

PROVINCE OF ONTARIO

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ADDRESS
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CLIENT
DESJARDINS GENERAL INSURANCE GROUP

TITLE
EXISTING ELEVATIONS

FILE
2002-1001-MD

SEQUENCE
1.23

SHEET
A2.03

EXISTING DOOR SCHEDULE				
DOOR NUMBER	WIDTH	HEIGHT	SILL HEIGHT	LEVEL
001	2' - 6"	6' - 6"	0' - 0"	BASEMENT
002	5' - 2"	7' - 0"	0' - 0"	BASEMENT
003	2' - 6"	6' - 0"	0' - 0"	BASEMENT
004	5' - 1"	6' - 8"	0' - 0"	BASEMENT
005	2' - 6"	6' - 6"	0' - 0"	BASEMENT
006	2' - 6"	6' - 0"	0' - 0"	BASEMENT
007	2' - 0"	6' - 6"	0' - 0"	BASEMENT
008	9' - 0"	7' - 0"	0' - 0"	APPROX. GRADE
009	8' - 0"	6' - 6"	0' - 0"	APPROX. GRADE
010	2' - 6"	6' - 8"	0' - 0"	APPROX. GRADE
011	2' - 8"	6' - 6"	0' - 0"	APPROX. GRADE
101	3' - 0"	6' - 8"	0' - 0"	LEVEL 1 LOWER
102	3' - 3"	6' - 6"	0' - 0"	LEVEL 1
103	10' - 8"	6' - 8"	0' - 0"	LEVEL 1
104	2' - 6"	6' - 8"	0' - 0"	LEVEL 1
105	3' - 0"	3' - 6"	3' - 4 1/2"	LEVEL 1
106	4' - 8"	6' - 11"	0' - 0"	LEVEL 1
107	2' - 8"	6' - 8"	0' - 0"	LEVEL 1
108	2' - 4"	6' - 8"	0' - 0"	LEVEL 1
109	2' - 0"	6' - 8"	0' - 0"	LEVEL 1
110	4' - 0"	6' - 8"	0' - 0"	LEVEL 1
111	2' - 6"	6' - 8"	0' - 0"	LEVEL 1
112	2' - 0"	6' - 8"	0' - 0"	LEVEL 1
113	2' - 8"	6' - 8"	0' - 0"	LEVEL 1
114	2' - 6"	6' - 8"	0' - 0"	LEVEL 1
115	2' - 6"	6' - 6"	0' - 0"	LEVEL 1
116	3' - 3"	6' - 8"	0' - 0"	LEVEL 1
117	2' - 3"	3' - 1"	3' - 6 1/2"	LEVEL 1
118	2' - 5"	6' - 8"	0' - 0"	LEVEL 1
119	8' - 9"	6' - 10"	0' - 0"	LEVEL 1
120	10' - 6"	7' - 8"	0' - 0"	LEVEL 1
121	2' - 8"	6' - 10"	0' - 0"	LEVEL 1
122	8' - 0"	6' - 8"	0' - 0"	LEVEL 1
201	1' - 4"	4' - 3"	0' - 0"	LEVEL 2
202	1' - 4"	4' - 3"	0' - 0"	LEVEL 2
203	2' - 8"	6' - 8"	0' - 0"	LEVEL 2
204	2' - 6"	6' - 6"	0' - 0"	LEVEL 2
205	2' - 0"	6' - 0"	0' - 0"	LEVEL 2
206	2' - 4"	6' - 6"	0' - 0"	LEVEL 2
207	2' - 6"	6' - 6"	0' - 0"	LEVEL 2
208	2' - 6"	6' - 6"	0' - 0"	LEVEL 2

EXISTING WINDOW AND DOOR DIMENSIONS WERE
TAKEN FROM THE INSIDE FACE OF THE TRIM.
CONTRACTOR TO FIELD VERIFY WINDOW AND DOOR
SIZES DURING REMOVAL.

EXISTING WINDOW SCHEDULE				
WINDOW NUMBER	WIDTH	HEIGHT	SILL HEIGHT	LEVEL
001	2' - 10"	1' - 8"	4' - 10"	BASEMENT
002	2' - 10"	1' - 8"	4' - 10"	BASEMENT
003	2' - 10"	1' - 8"	4' - 10"	BASEMENT
004	2' - 10"	1' - 8"	4' - 10"	BASEMENT
005	4' - 0"	3' - 4"	3' - 2"	APPROX. GRADE
006	2' - 10"	3' - 4"	3' - 2"	APPROX. GRADE
007	4' - 0"	3' - 4"	3' - 2"	APPROX. GRADE
101	1' - 3"	3' - 10"	3' - 0"	LEVEL 1 LOWER
102	1' - 3"	3' - 10"	3' - 0"	LEVEL 1 LOWER
103	4' - 10"	3' - 4"	3' - 7"	LEVEL 1
104	4' - 8"	3' - 8"	3' - 3 1/2"	LEVEL 1
105	3' - 0"	4' - 4"	2' - 6"	LEVEL 1
106	2' - 4"	4' - 4"	3' - 11"	LEVEL 1
107	2' - 4"	4' - 4"	3' - 11"	LEVEL 1
108	4' - 10"	3' - 5"	3' - 6"	LEVEL 1
109	8' - 4"	4' - 3"	2' - 8"	LEVEL 1
201	4' - 8"	3' - 0"	3' - 2"	LEVEL 2
202	2' - 8"	3' - 0"	3' - 4 1/2"	LEVEL 2
203	1' - 6"	3' - 5"	3' - 0"	LEVEL 2
204	4' - 8"	3' - 0"	3' - 2"	LEVEL 2

EXISTING ROOM SCHEDULE			
ROOM NUMBER	NAME	LEVEL	AREA
1	REC ROOM	BASEMENT	206 SF
2	STORAGE	BASEMENT	81 SF
3	STORAGE	BASEMENT	25 SF
4	BATHROOM	BASEMENT	72 SF
5	MECH/LAUNDRY ROOM	BASEMENT	124 SF
6	FOYER	LEVEL 1	34 SF
7	LIVING ROOM	LEVEL 1	185 SF
8	BEDROOM	LEVEL 1	123 SF
9	HALLWAY	LEVEL 1	49 SF
10	OFFICE	LEVEL 1	75 SF
11	WASHROOM	LEVEL 1	33 SF
12	KITCHEN	LEVEL 1	88 SF
13	FOYER	LEVEL 1	32 SF
14	FAMILY ROOM	LEVEL 1	181 SF
15	DINING ROOM	LEVEL 1	121 SF
16	BATHROOM	LEVEL 2	30 SF
17	BEDROOM	LEVEL 2	135 SF
18	HALLWAY	LEVEL 2	85 SF
19	BEDROOM	LEVEL 2	144 SF
20	GARAGE	LEVEL 1	503 SF

INTENTIONAL BLANK SPACE
PER HAMILTON BUILDING



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CLIENT DESJARDINS GENERAL INSURANCE GROUP	SEQUENCE 1.31
TITLE EXISTING SCHEDULES	SHEET S5.01

DEMOLITION NOTES:

DEMOLISH THE BUILDING AND THE GARAGE COMPLETE, INCLUSIVE OF THE FOUNDATIONS, FOOTINGS AND SLABS ON GROUND.

CONTRACTOR TO PREPARE A DEMOLITION PROCEDURE / PROTOCOL AS AND WHEN DICTATED BY THE MUNICIPALITY AND AVAILBLE UPON REQUEST.

VERIFY DIMENSIONS, APPEARANCE AND LOCATION OF PRE-LOSS CONDITIONS PRIOR TO DEMOLITION.

EXERCISE CARE DURING DEMOLITION TO PROTECT ANY REMAINING AND ADJACENT BUILDINGS AND BUILDING COMPONENTS.

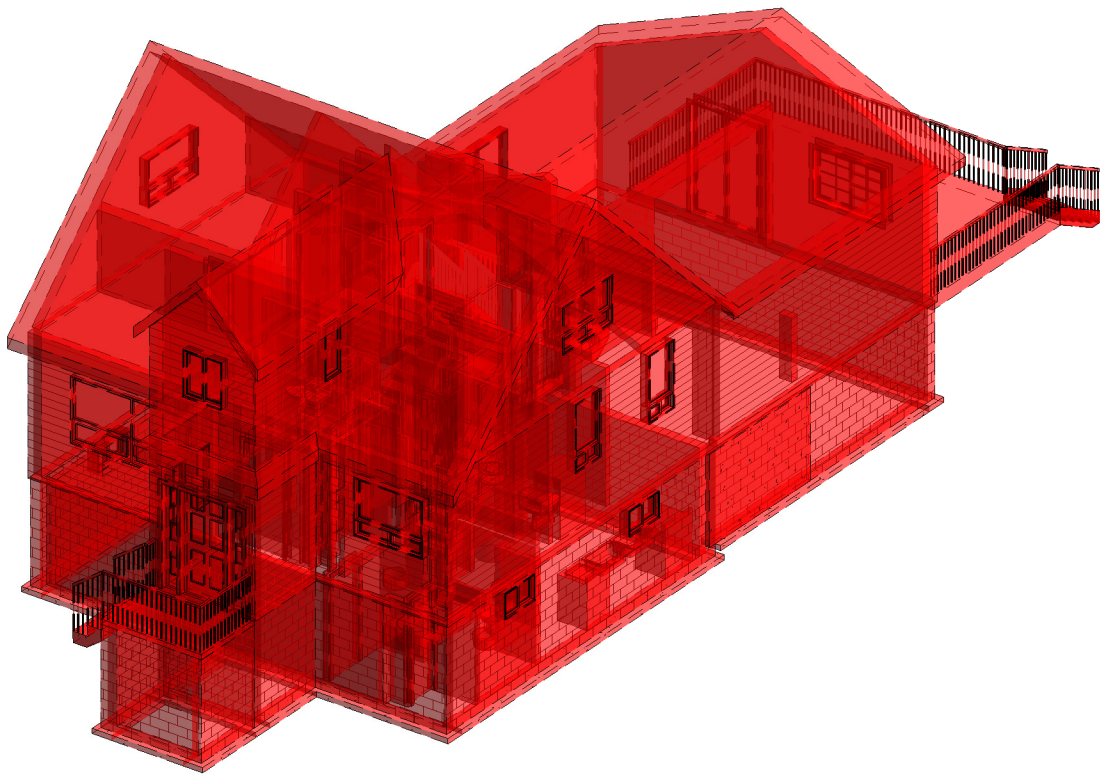
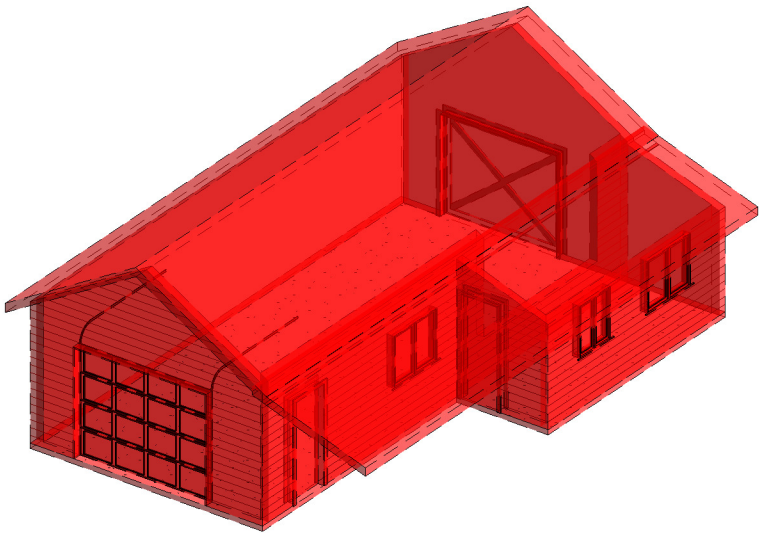
THE CONTRACTOR IS RESPONSIBLE FOR ANY REQUIRED DISCONNECT OF UTILITIES.

ALL GRADING BEYOND THE PERIMETER OF THE BUILDING SHALL BE MAINTAINED OR REINSTATED TO MATCH PRE-LOSS.

WITHIN THE AREA OF BACKFILL, THE TOPOGRAPHY SHALL MATCH EXISTING ALONG THE PERIMETER AND BE GRADED TO SHED SURFACE WATER (SLOPE = MIN 2%, MAX MATCH ADJACENT).

WE RECOMMEND THE DEMOLITION BE COMPLETED USING A COMBINED USE OF MAN LIFTS AND HEAVY EQUIPMENT. THE MAN LIFTS SHALL BE OF A TELESCOPIC CONFIGURATION WHEREBY THE BASE CAN BE POSITIONED A MINIMUM OF 15’ BEYOND THE FOOTPRINT OF THE BUILDING AND THE BASKET CAN BE POSITIONED OUTSIDE THE ZONE OF AN OUTWARD COLLAPSE.

REFER TO THE GENERAL NOTES FOR ADDITIONAL DEMOLITION NOTES.



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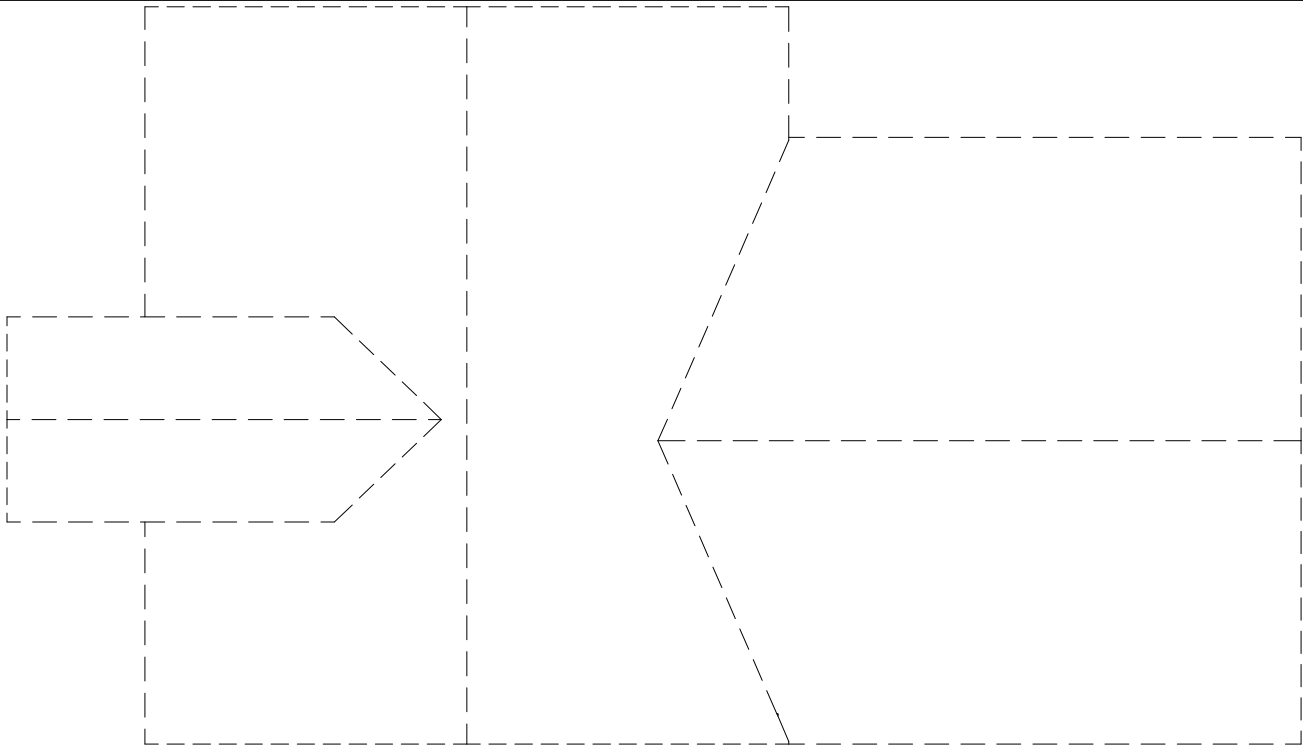
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CLIENT DESJARDINS GENERAL INSURANCE GROUP	SEQUENCE 2.01
TITLE SCOPE OF DEMOLITION	SHEET A4.01

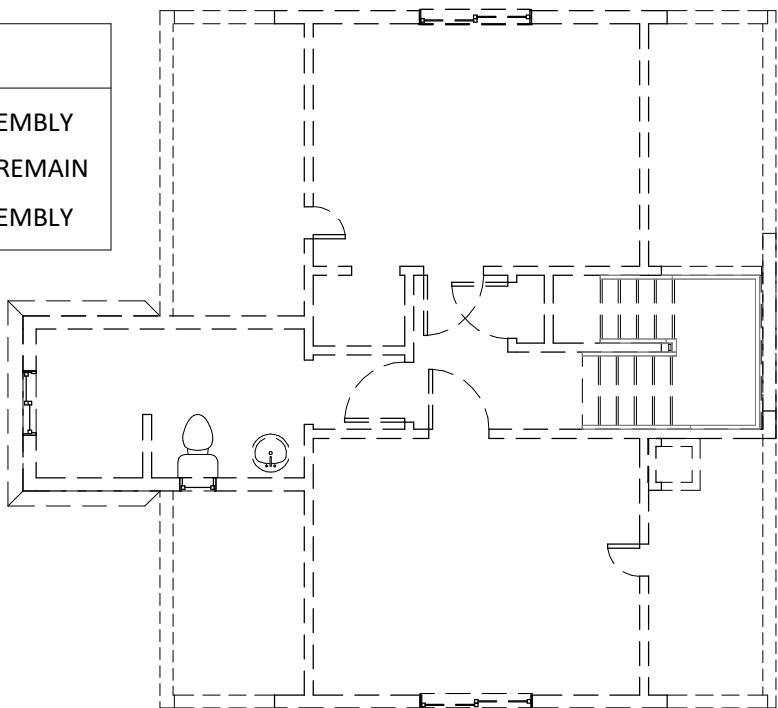


PROJECT
NORTH



LEGEND DEMOLITION

- REMOVE WALL ASSEMBLY
- EXISTING WALL TO REMAIN
- REMOVE ROOF ASSEMBLY



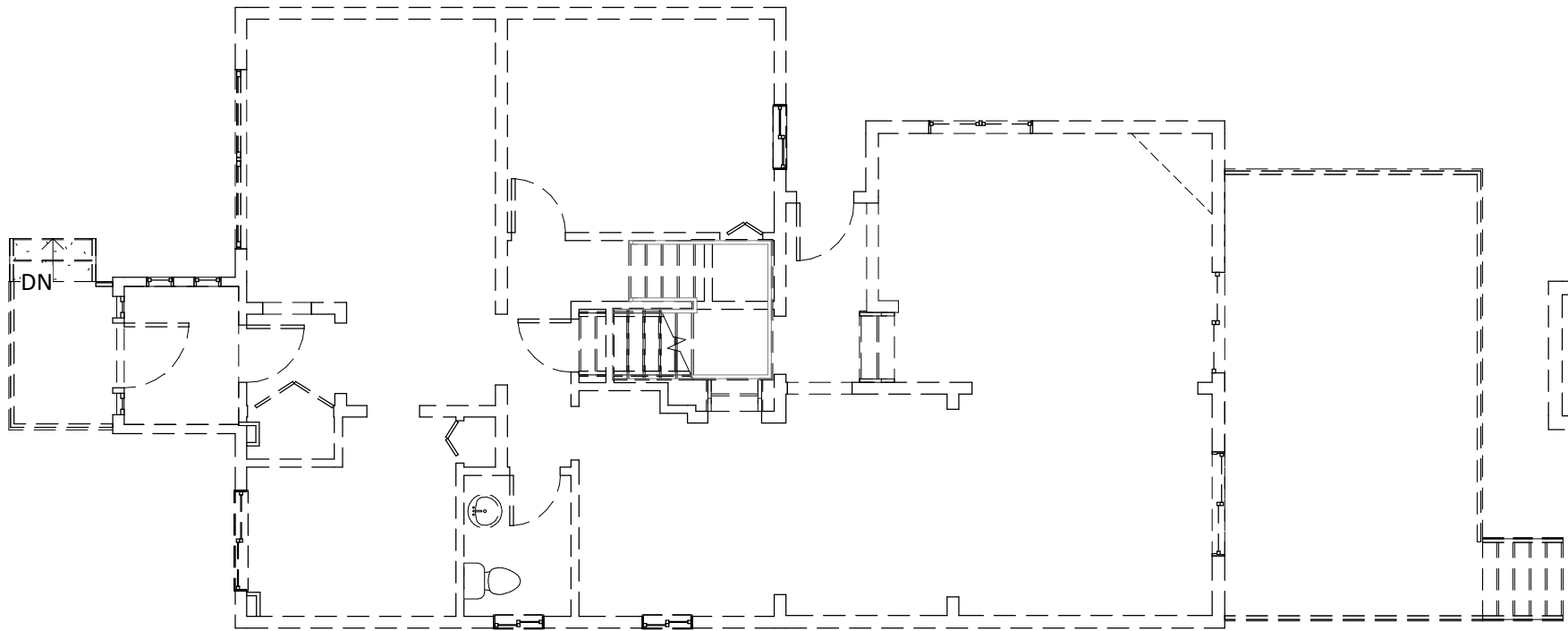
INTENTIONAL BLANK SPACE
PER HAMILTON BUILDING

1

DEMOLITION PLAN_ROOF
1/8" = 1'-0"

2

DEMOLITION PLAN LEVEL 2
1/8" = 1'-0"

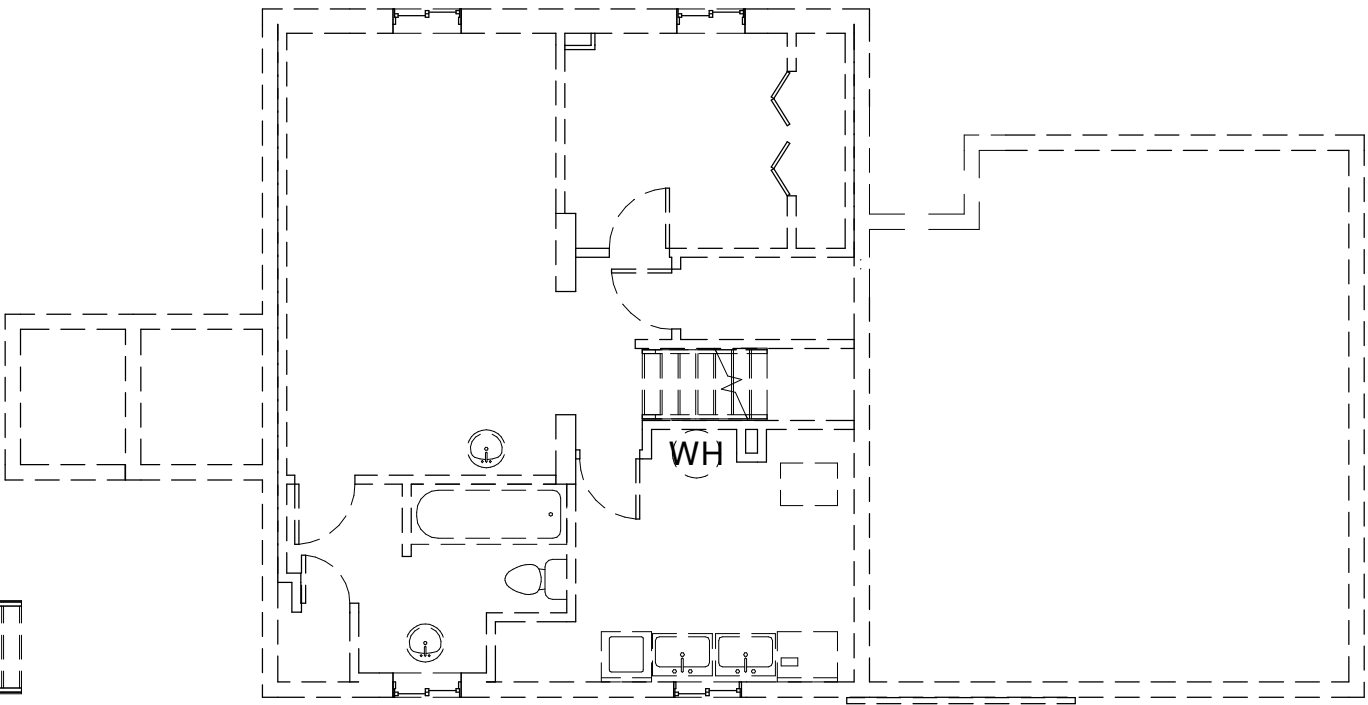


3

DEMOLITION PLAN_LEVEL 1
1/8" = 1'-0"

4

DEMOLITION PLAN_BASEMENT
1/8" = 1'-0"



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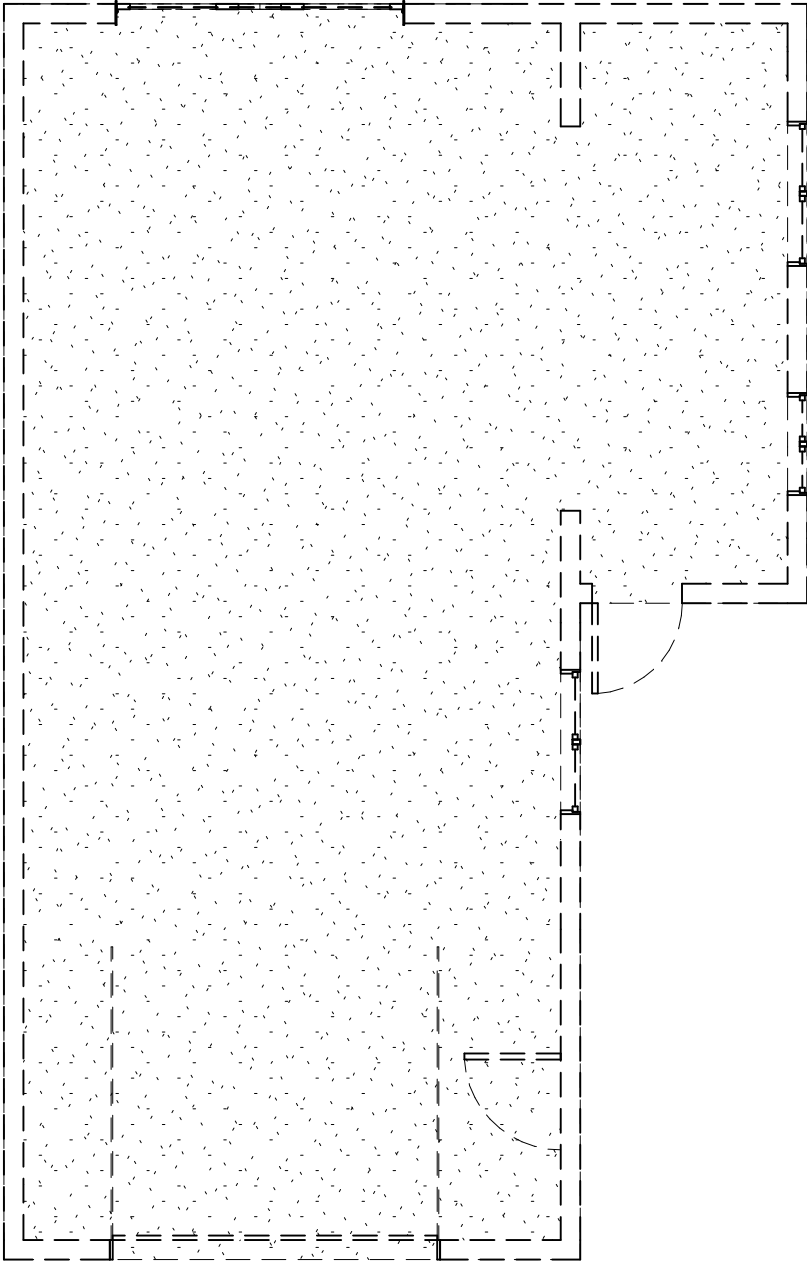
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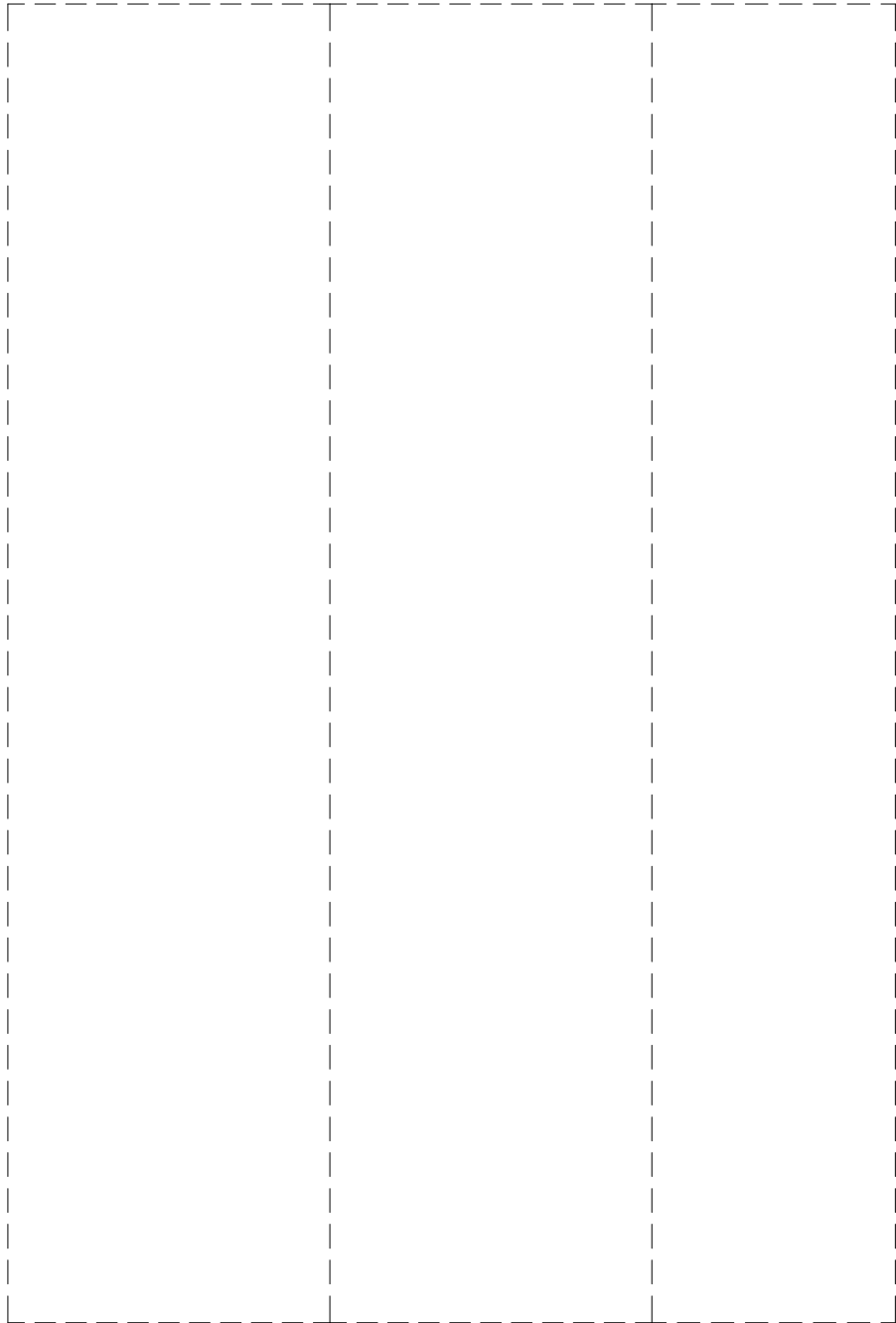
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TITLE DEMOLITION PLANS	SHEET A4.02



1

DEMOLITION PLAN_GARAGE SOG
3/16" = 1'-0"



2

DEMOLITION PLAN_GARAGE ROOF
3/16" = 1'-0"

INTENTIONAL BLANK SPACE
PER HAMILTON BUILDING

LEGEND_DEMOLITION

- REMOVE WALL ASSEMBLY
- ===== EXISTING WALL TO REMAIN
- REMOVE ROOF ASSEMBLY



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FILE
2002-1001-MD

CLIENT
DESJARDINS GENERAL INSURANCE GROUP

SEQUENCE
2.12

TITLE
DEMOLITION PLANS

SHEET
A4.03

SCOPE OF REPAIRS:

REPLACE THE SUPERSTRUCTURE, IN CONFORMANCE WITH THE BELOW DESCRIPTION AND NEW CONSTRUCTION DRAWINGS.

THE CONTRACTOR SHALL INSTALL BLOCKING FOR THE INSTALLATION OF (FUTURE) GRAB BARS IN THE MAIN BATHROOM. THE BLOCKING SHALL BE INSTALLED IN CONFORMANCE WITH SECTION 9.5.2.3 OF THE OBC.

INSTALL AN ATTIC HATCH TO MATCH PRE-LOSS SIZE, LOCATION AND CONFIGURATION.

NEW INSULATION SHALL MEET THE THERMAL PERFORMANCE OF MMAH SB-12 (RESIDENTIAL OCCUPANCY), COMPLIANCE PACKAGE A1 (TABLE 3.1.1.2.A).

ALL EXTERIOR ASSEMBLIES, SEPARATING CONDITIONED AND UNCONDITIONED SPACE, MUST INCLUDE A CONTINUOUS 6 MIL POLYETHYLENE VAPOUR DIFFUSION RETARDER AND AIR BARRIER INSTALLED ON THE CONDITIONED SIDE OF THE INSULATION.

REMOVE AND REPLACE THE DAMAGED DOORS AND WINDOWS.

REMOVE AND REPLACE THE DAMAGED EXTERIOR FINISHES, INCLUDING CLADDING, EAVES TROUGHS, DOWNSPOUTS, FLASHING, SOFFITS, FACIA, TRIM AND ROOF VENTS, AS REQUIRED, TO REINSTATE THE EXTERIOR OF THE BUILDING TO MATCH THE PRE-LOSS.

SECURE THE NEW SILL PLATE TO THE UNDERLYING WALL WITH NEW ANCHOR BOLTS. THE ANCHOR BOLTS SHALL BE SPACED AT A MAXIMUM 4’ ON CENTER. NEW ANCHOR BOLTS SHALL BE AND CAST IN PLACE WITH A MINIMUM 4” EMBEDMENT AND A 3” HOOK. CENTER THE ANCHORS, WIDTHWISE, ON THE SILL PLATE +/-1/2”. LOCATED END ANCHORS 4” FROM THE ENDS OF THE SILL PLATES. PROVIDE MINIMUM 3-3/4” CLEAR CONCRETE COVER.

LIFE SAFETY COMPONENTS SHALL BE INSTALLED IN CONFORMANCE WITH THE OBC.

THE NEW HANDRAILS AND GUARDS SHALL MEET THE REQUIREMENTS OF OBC PART 9, SECTION 9.8.7 AND 9.8.8.

CONTRACTOR SHALL COORDINATE STAIRS AND STAIR OPENING TO ENSURE CLEAR HEIGHT OVER STAIRS MEETS THE REQUIREMENTS OF OBC PART 9, SECTION 9.8.2.2.

SEE ADDITIONAL, LOCATION SPECIFIC, COMPONENTS OF THE SCOPE OF WORK ON THE NEW CONSTRUCTION PLANS.

SCOPE OF REPAIRS DECK:

REMOVE AND REPLACE THE DECK SUPERSTRUCTURE TO MATCH EXISTING GEOMETRY. SURFACE THE DECK WITH 2X6” DECK BOARDS, SPANNING PERPENDICULAR TO SUPPORTING DECK JOISTS

THE BASE OF THE PIERS SHALL BE SET AT AN ELEVATION BELOW THE DEPTH OF FROST PENETRATION AND A MINIMUM OF 4' - 0". PIERS TO EXTEND MINIMUM 6" ABOVE FINISH GRADE.

SECUREMENT OF STRUCTURAL MEMBERS TO BE CONDUCTED WITH SIMPSON STRONG TIE POST BASES AND POST CAPS. INSTALL 2X6" BRACING MEMBERS AT 45 DEGREES ON ALL VERTICAL POSTS GREATER THAN 24" ABOVE GRADE, BOTH SIDES (BOLTED).

SECURE THE NEW LEDGER BOARD TO THE FOUNDATION WITH ½” THRU BOLTS SPACED AT 16” OC W/ OVERSIZED WASHER (PL 4X4X1/4”), WASHER AND DOUBLE NUT AT BOTH ENDS, STAGGER THE HEIGHT OF THE BOLT, MIN LEDGER BOARD EDGE CLEARANCE OF 2” AT TOP AND 1” AT BOTTOM.

REMOVE AND REPLACE GUARDS. REPLACEMENT GUARDS AS DETAILED IN THE NEW CONSTRUCTION DETAILS ON SHEET 3.43. SHOULD AN ALTERNATE GUARD BE SELECTED, IT SHALL DESIGNED TO MEET THE REQUIREMENTS OF OBC PART 9, SECTION 9.8.8 AND PROVIDED TO OUR OFFICE FOR REVIEW, PRIOR TO FABRICATION.

STAIRS TO BE REMOVED AND REPLACED. REPLACEMENT STAIRS AS DETAILED IN THE NEW CONSTRUCTION DETAILS ON SHEET 3.43.

INTENTIONAL BLANK SPACE
PER HAMILTON BUILDING



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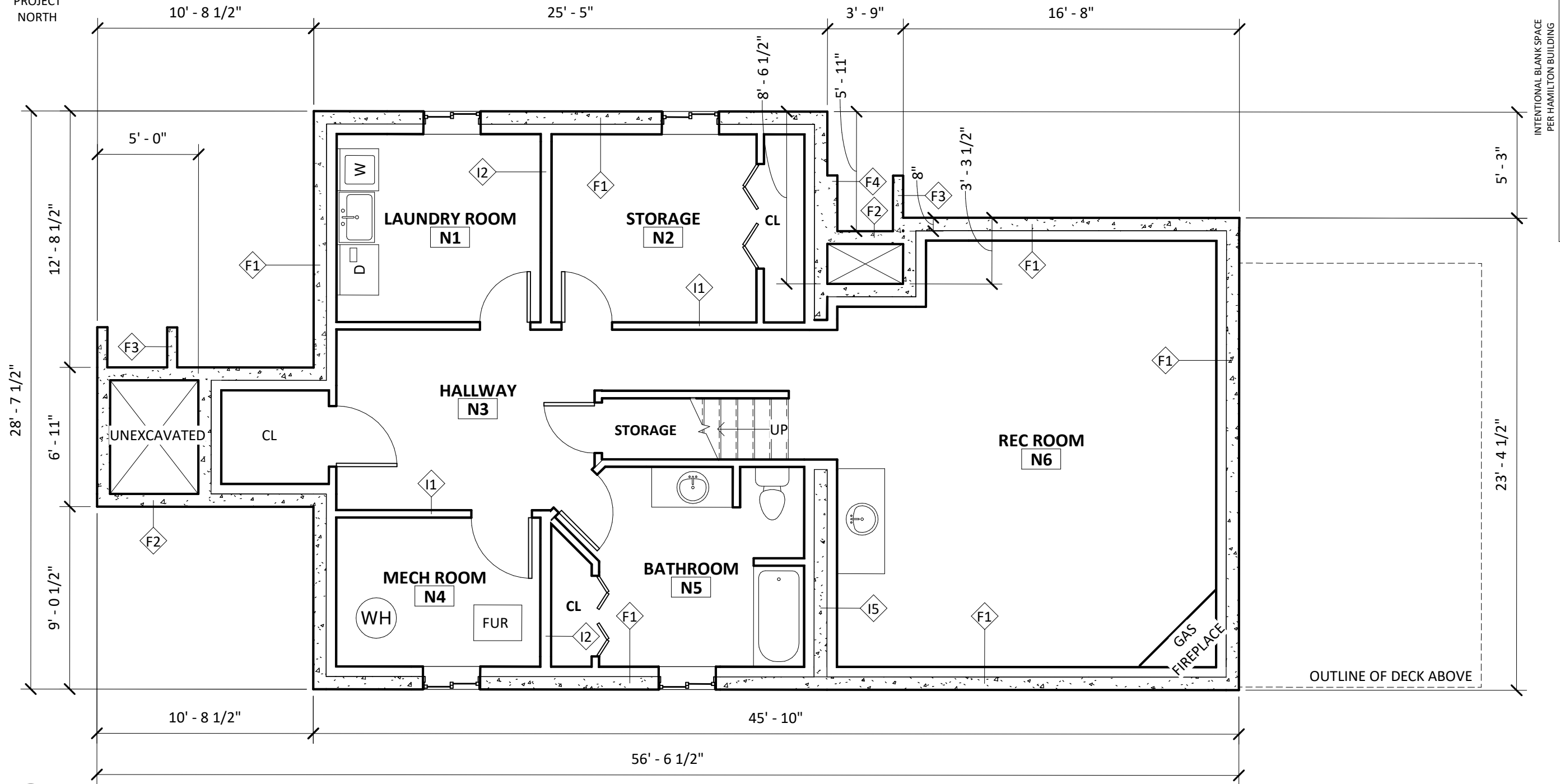
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CLIENT DESJARDINS GENERAL INSURANCE GROUP	SEQUENCE 3.01
TITLE SCOPE OF RESTORATION	SHEET A3.01



PROJECT
NORTH



1

NEW CONSTRUCTION PLAN BASEMENT
3/16" = 1'-0"



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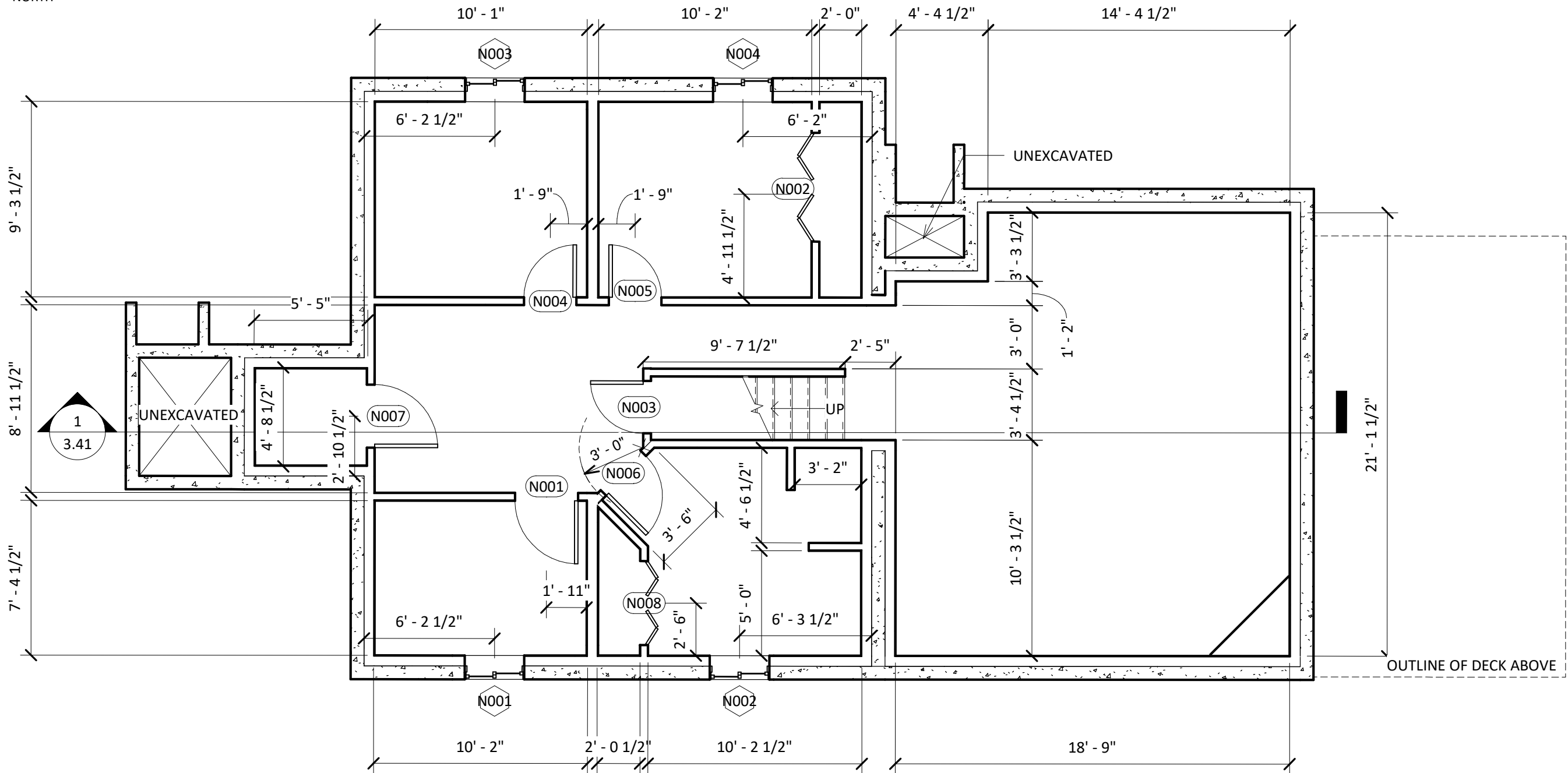
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TITLE NEW CONSTRUCTION PLANS	SHEET A3.02



PROJECT
NORTH



INTENTIONAL BLANK SPACE
PER HAMILTON BUILDING

1

NEW CONSTRUCTION PLAN BASEMENT_ARCH

3/16" = 1'-0"



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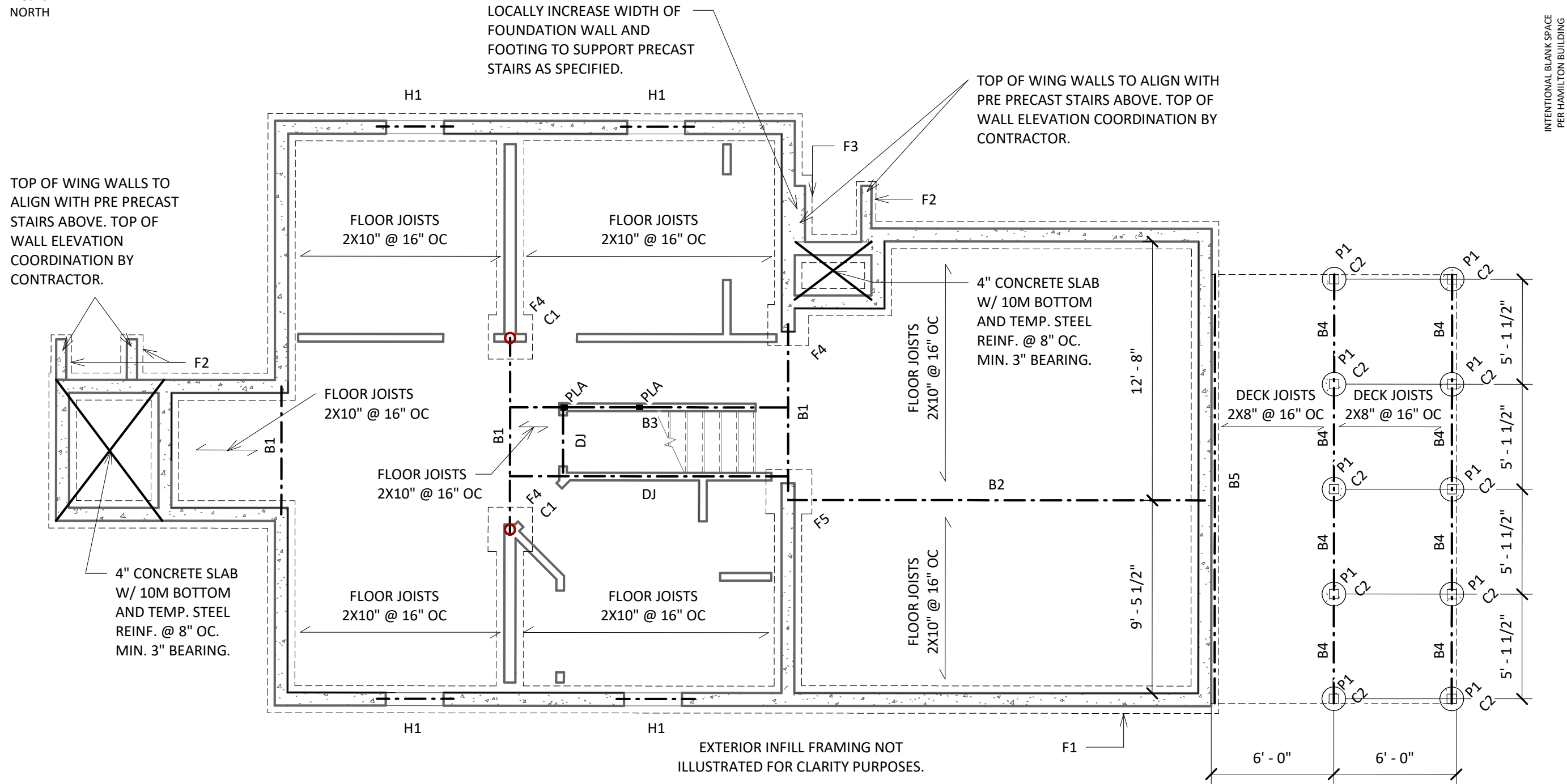
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PROJECT
NORTH



1

NEW CONSTRUCTION PLAN_BASEMENT_STR
3/16" = 1'-0"



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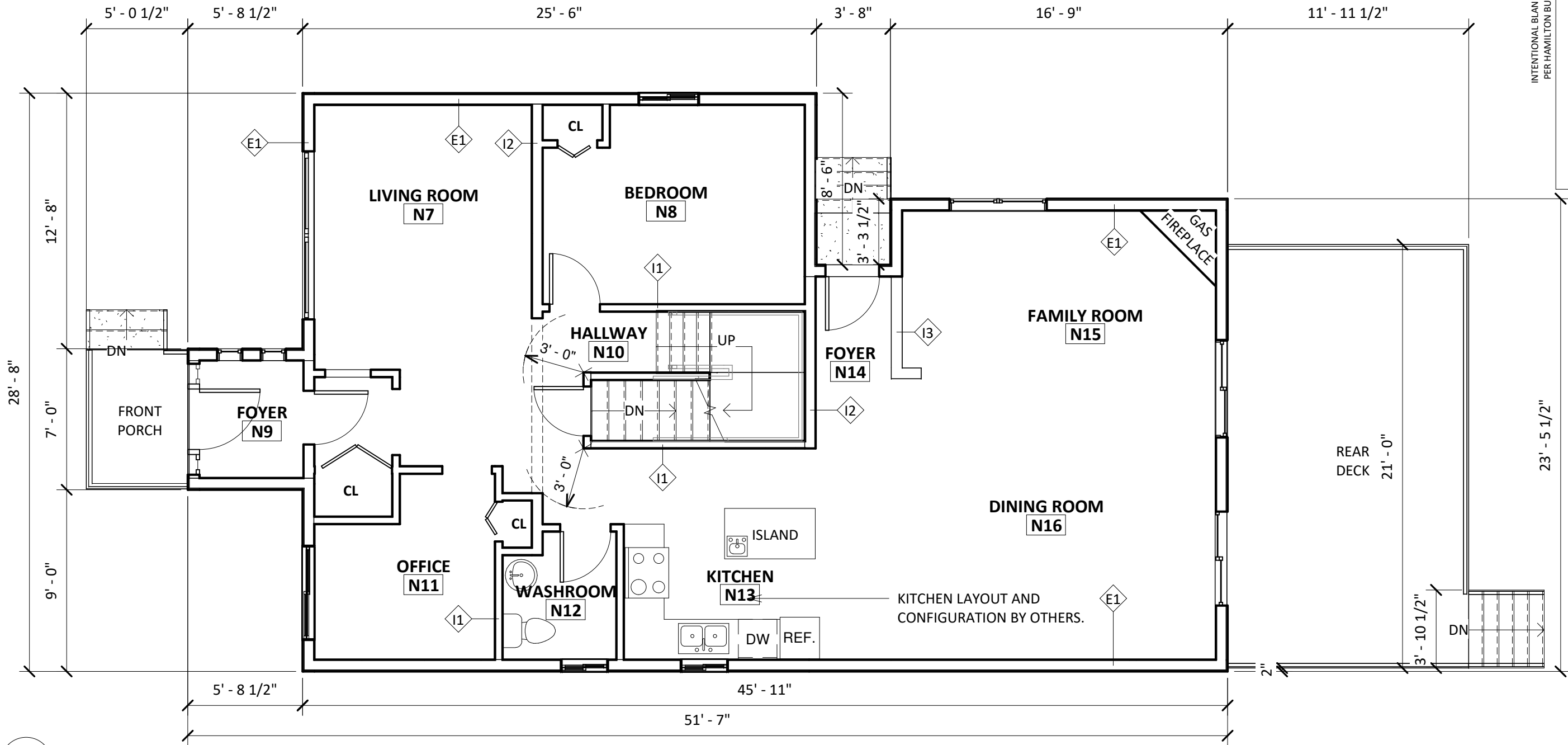
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INTENTIONAL BLANK SPACE
PER HAMILTON BUILDING

1

NEW CONSTRUCTION PLAN _LEVEL 1
3/16" = 1'-0"



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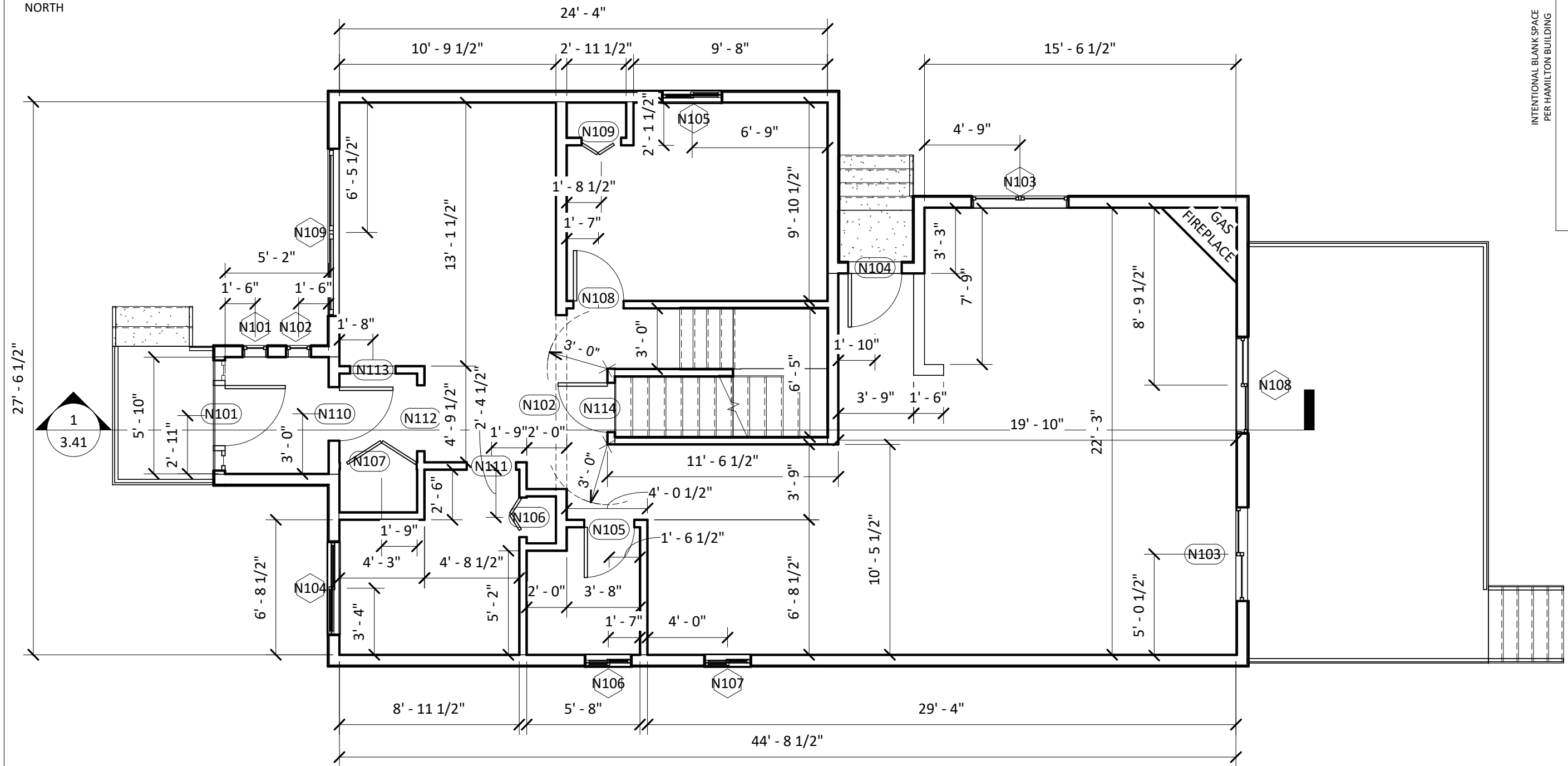
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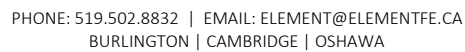
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TITLE NEW CONSTRUCTION PLANS	SHEET A3.05



INTENTIONAL BLANK SPACE PER HAMILTON BUILDING

1

NEW CONSTRUCTION PLAN _ LEVEL 1 _ ARCH
3/16" = 1'-0"



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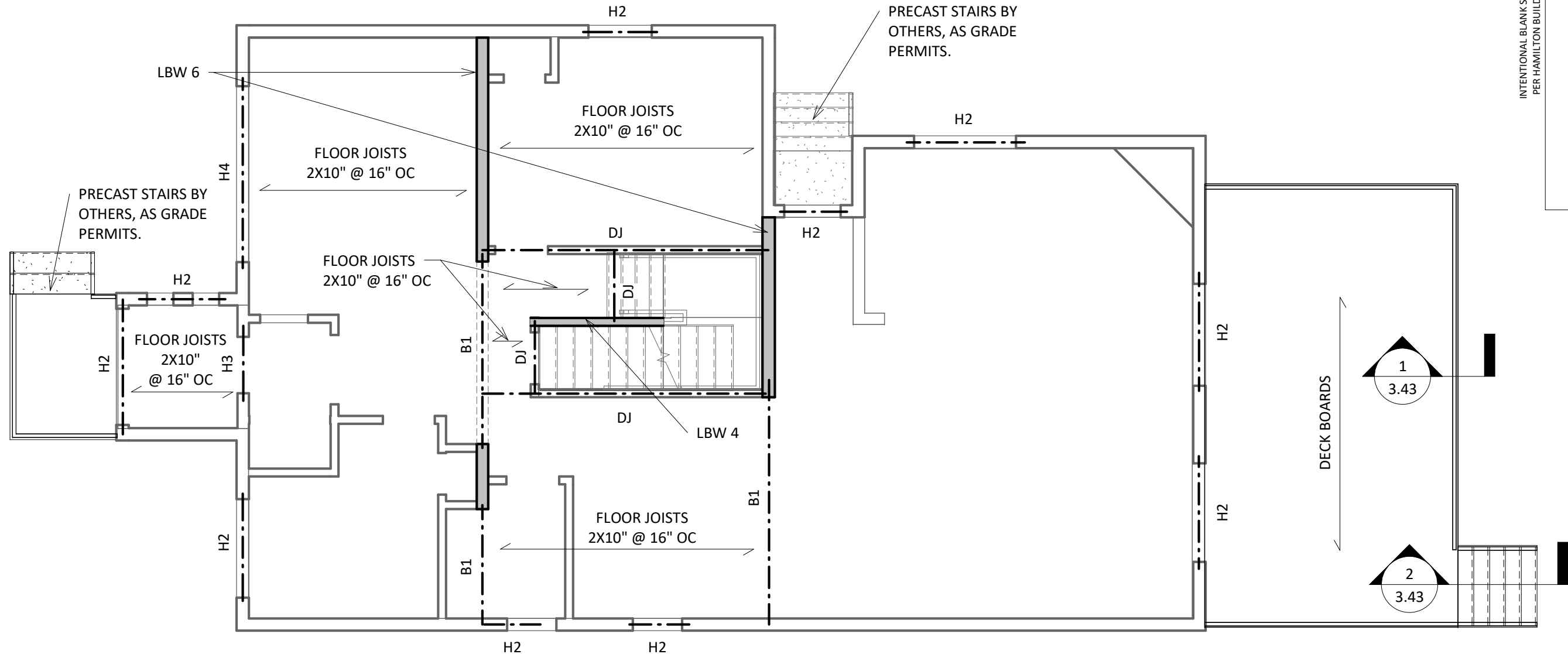
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TITLE
NEW CONSTRUCTION PLANS

SHEET

A3.06



INTENTIONAL BLANK SPACE
PER HAMILTON BUILDING

1

NEW CONSTRUCTION PLAN _LEVEL 1_STR
3/16" = 1'-0"



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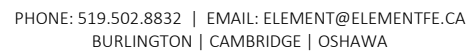
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NEW CONSTRUCTION PLAN LEVEL 2
3/16" = 1'-0"

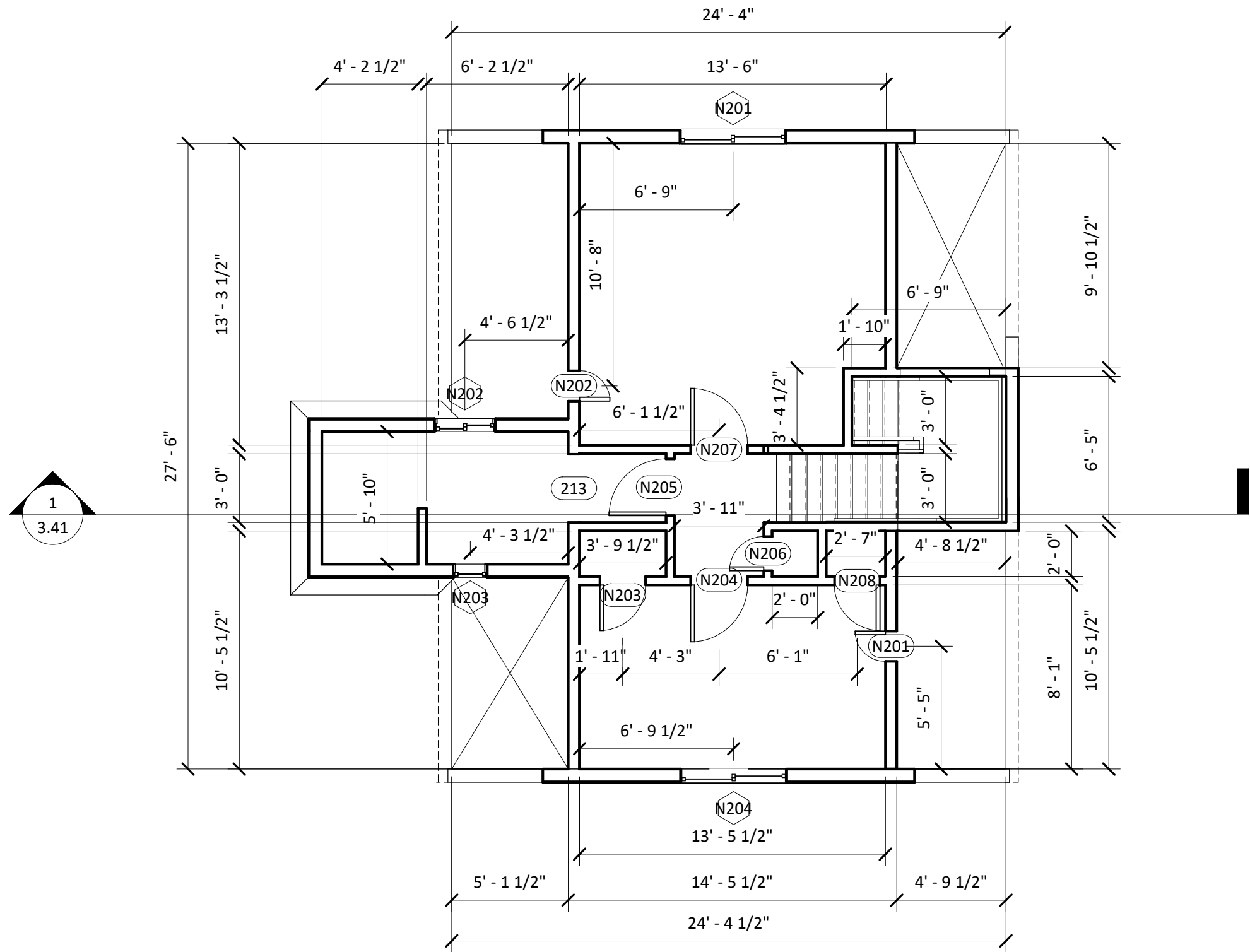


A circular professional engineer seal for the Province of Ontario. The outer ring contains the text "LICENSED PROFESSIONAL ENGINEER" at the top and "PROVINCE OF ONTARIO" at the bottom. The center of the seal features a signature, the name "J.G. MARTIN", the license number "100168670", and the expiration date "JUNE 25/20".

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SHEET

A3.08



INTENTIONAL BLANK SPACE
PER HAMILTON BUILDING

1

NEW CONSTRUCTION PLAN_LEVEL 2_ARCH
3/16" = 1'-0"



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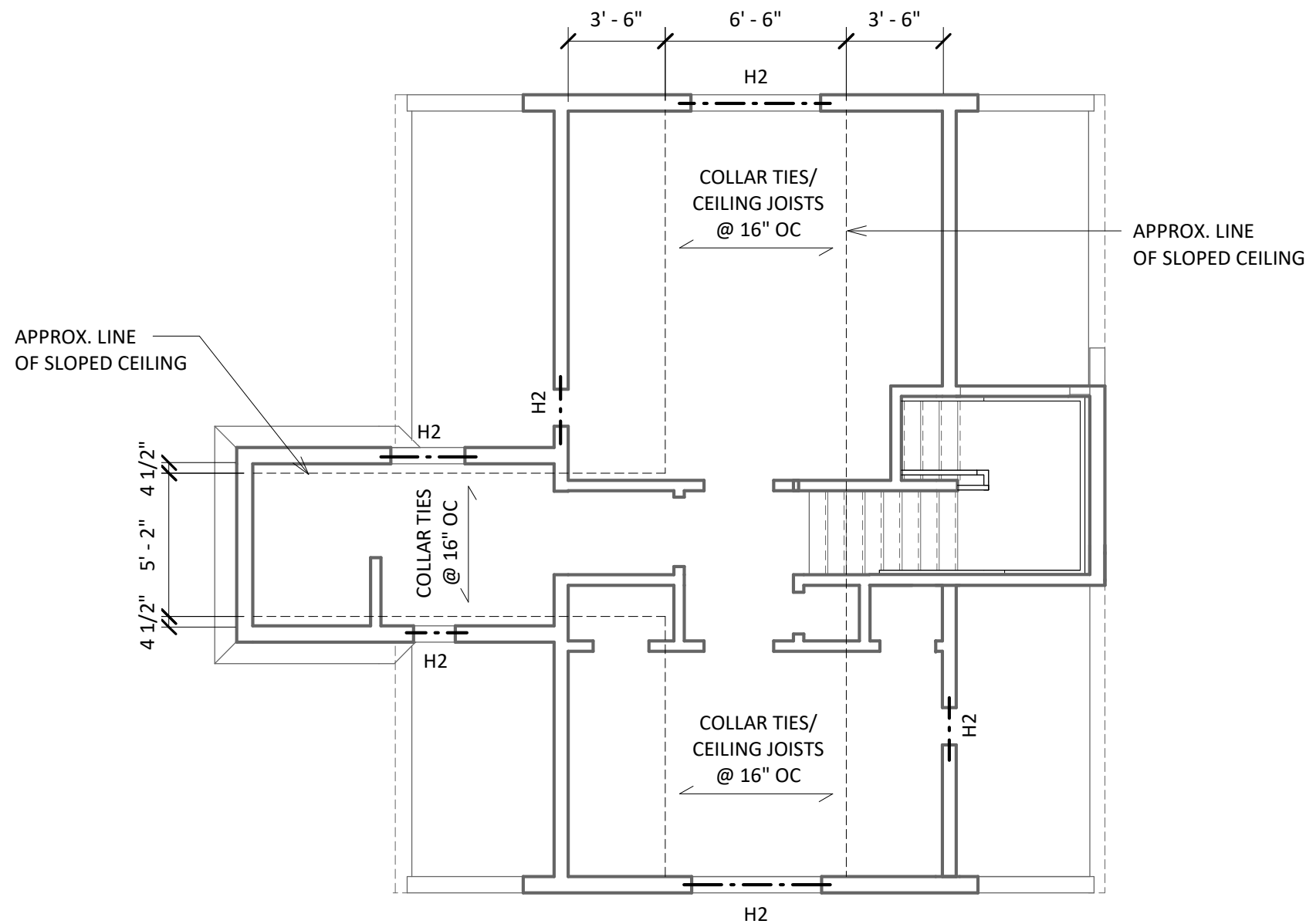
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INTENTIONAL BLANK SPACE
PER HAMILTON BUILDING

1

NEW CONSTRUCTION PLAN _LEVEL 2_STR
3/16" = 1'-0"



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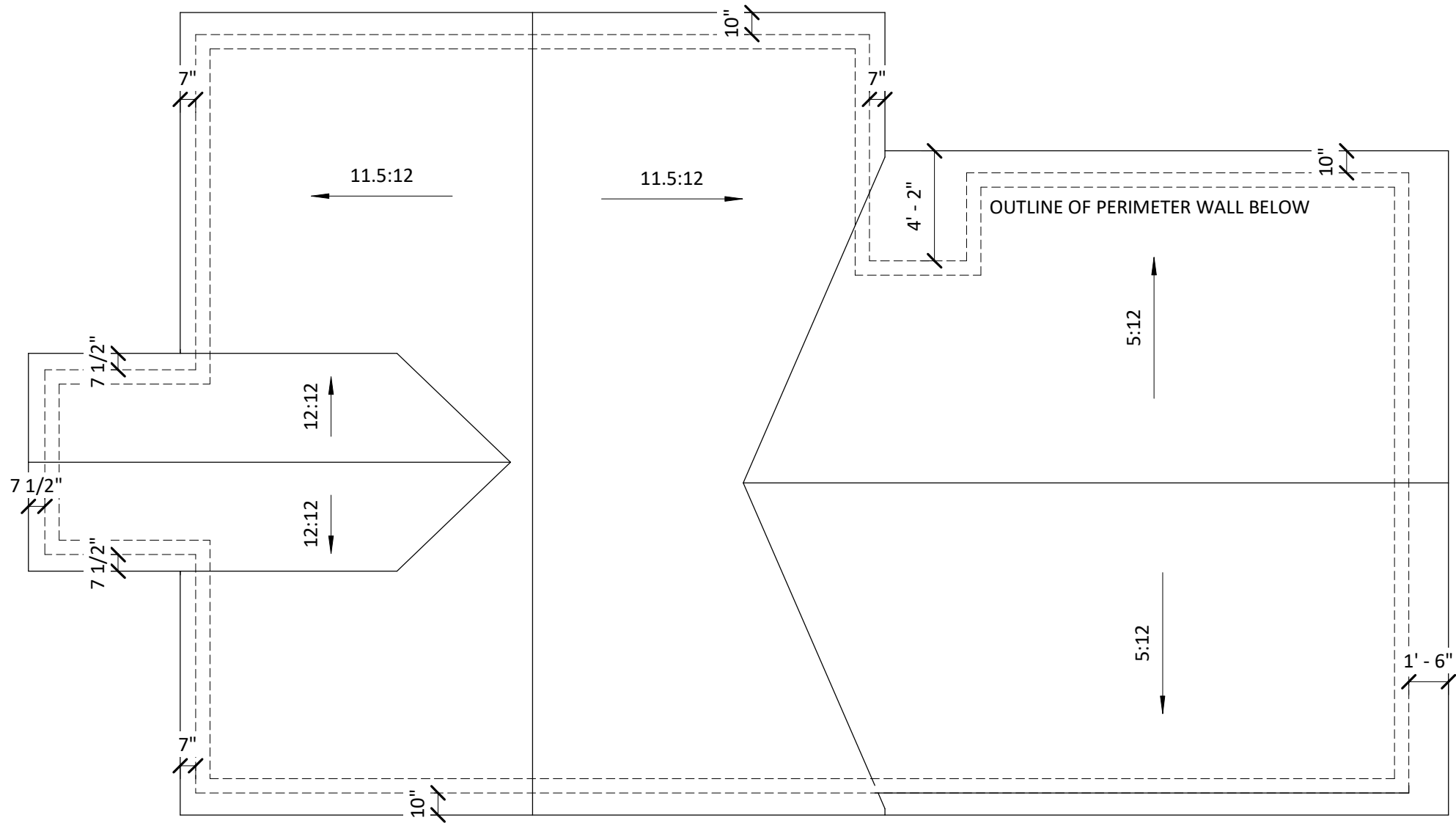
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INTENTIONAL BLANK SPACE
PER HAMILTON BUILDING

1

NEW CONSTRUCTION PLAN_ROOF
3/16" = 1'-0"



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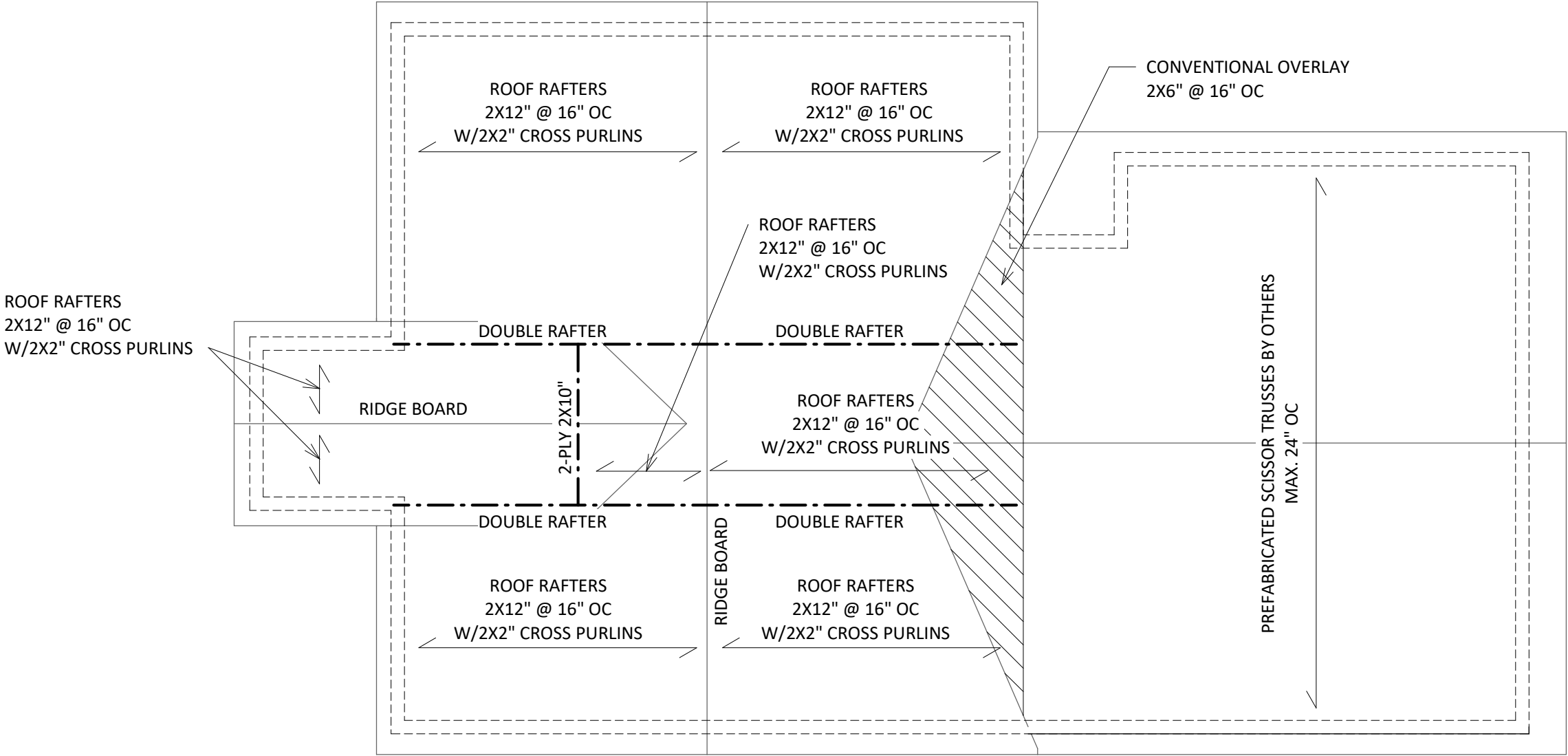
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2002-1001-MD

CLIENT
DESJARDINS GENERAL INSURANCE GROUP

SEQUENCE
3.14A

TITLE
NEW CONSTRUCTION PLANS

SHEET
A3.11



INTENTIONAL BLANK SPACE
PER HAMILTON BUILDING

1 NEW CONSTRUCTION PLAN_ROOF_STR
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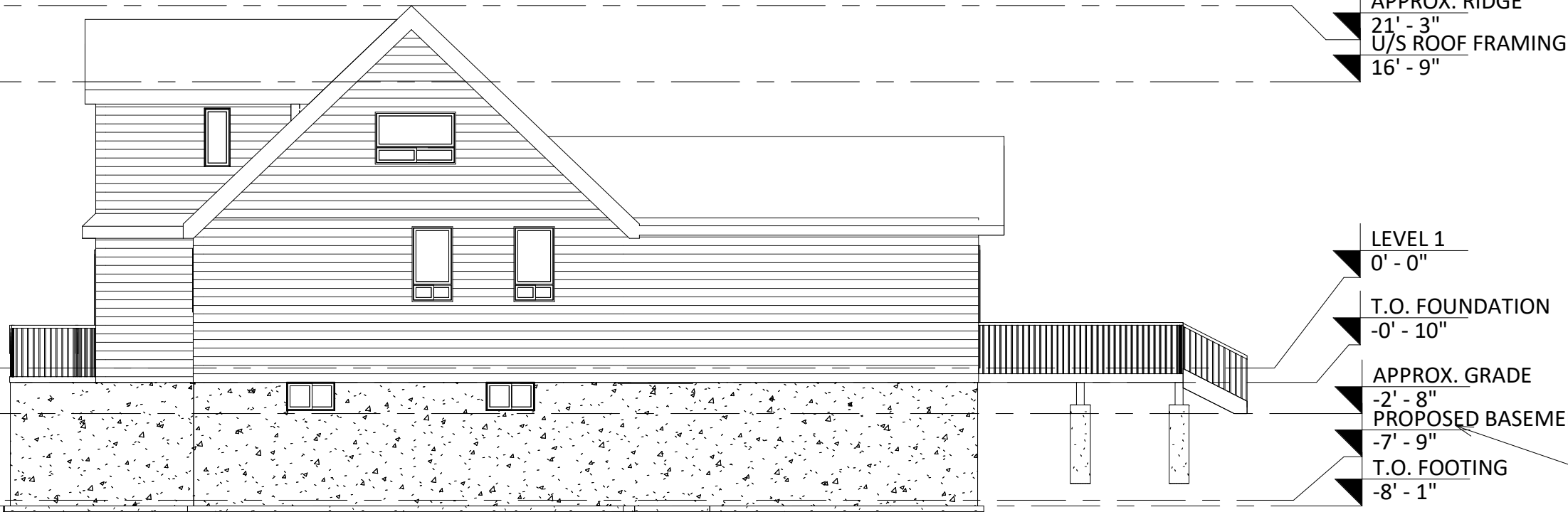


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1 NEW ELEVATION NORTH
1/8" = 1'-0"



INTENTIONAL BLANK SPACE
PER HAMILTON BUILDING

2 NEW ELEVATION SOUTH
1/8" = 1'-0"



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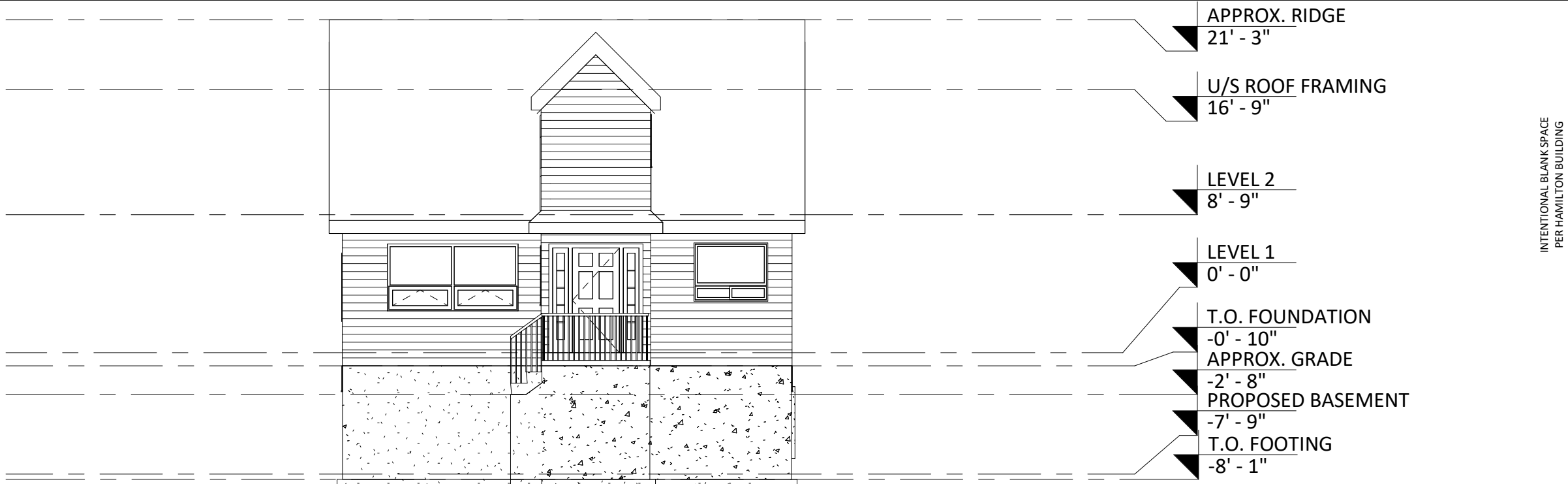
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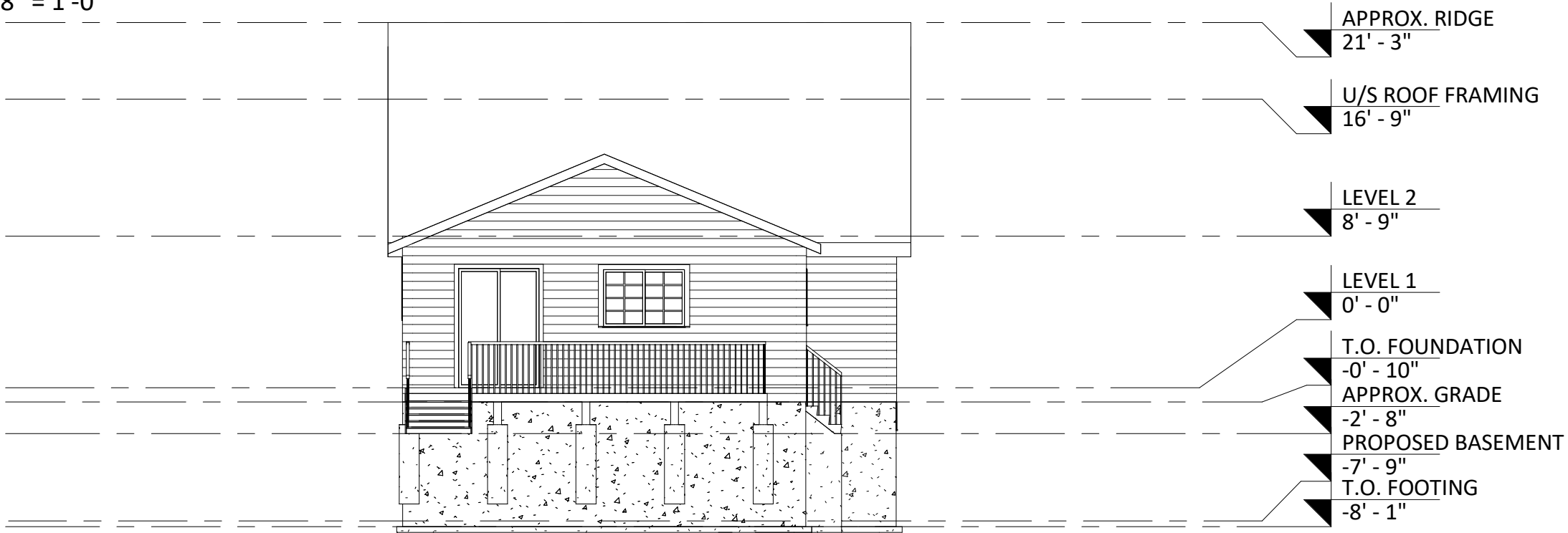
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ADDRESS 325 DEWITT ROAD, STONEY CREEK, ON.	FILE 2002-1001-MD
CLIENT DESJARDINS GENERAL INSURANCE GROUP	SEQUENCE 3.21
TITLE NEW CONSTRUCTION ELEVATIONS	SHEET A2.04



1 NEW ELEVATION EAST
1/8" = 1'-0"



2 NEW ELEVATION WEST
1/8" = 1'-0"



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CLIENT DESJARDINS GENERAL INSURANCE GROUP	SEQUENCE 3.22
TITLE NEW CONSTRUCTION ELEVATIONS	SHEET A2.05

PROPOSED DOOR SCHEDULE				
DOOR NUMBER	WIDTH	HEIGHT	SILL HEIGHT	LEVEL
N001	3' - 0"	6' - 6"	0' - 0"	PROPOSED BASEMENT
N002	5' - 2"	7' - 0"	0' - 0"	PROPOSED BASEMENT
N003	2' - 6"	6' - 6"	0' - 0"	PROPOSED BASEMENT
N004	2' - 6"	6' - 6"	0' - 0"	PROPOSED BASEMENT
N005	2' - 6"	6' - 6"	0' - 0"	PROPOSED BASEMENT
N006	2' - 8"	6' - 6"	0' - 0"	PROPOSED BASEMENT
N007	3' - 0"	6' - 6"	0' - 0"	PROPOSED BASEMENT
N008	4' - 0"	7' - 0"	0' - 0"	PROPOSED BASEMENT
N101	3' - 0"	6' - 8"	0' - 0"	LEVEL 1
N102	8' - 8"	6' - 5 1/2"	0' - 0"	LEVEL 1
N103	4' - 8"	6' - 11"	0' - 0"	LEVEL 1
N104	2' - 8"	6' - 8"	0' - 0"	LEVEL 1
N105	2' - 6"	6' - 8"	0' - 0"	LEVEL 1
N106	1' - 11 1/2"	6' - 8"	0' - 0"	LEVEL 1
N107	2' - 8"	6' - 8"	0' - 0"	LEVEL 1
N108	2' - 6"	6' - 8"	0' - 0"	LEVEL 1
N109	1' - 11 1/2"	6' - 8"	0' - 0"	LEVEL 1
N110	3' - 10"	6' - 8"	0' - 0"	LEVEL 1
N111	2' - 5 1/2"	6' - 8"	0' - 0"	LEVEL 1
N112	3' - 3 1/2"	6' - 8"	0' - 0"	LEVEL 1
N113	2' - 3"	3' - 1"	3' - 6 1/2"	LEVEL 1
N114	2' - 5 1/2"	6' - 8"	0' - 0"	LEVEL 1
N201	1' - 4"	4' - 3"	0' - 0"	LEVEL 2
N202	1' - 4"	4' - 3"	0' - 0"	LEVEL 2
N203	2' - 0"	5' - 0"	0' - 0"	LEVEL 2
N204	2' - 6"	6' - 6"	0' - 0"	LEVEL 2
N205	2' - 6"	6' - 6"	0' - 0"	LEVEL 2
N206	1' - 6"	4' - 3"	0' - 0"	LEVEL 2
N207	2' - 6"	6' - 6"	0' - 0"	LEVEL 2
N208	2' - 0"	4' - 0"	0' - 0"	LEVEL 2

PROPOSED WINDOW SCHEDULE				
WINDOW NUMBER	WIDTH	HEIGHT	SILL HEIGHT	LEVEL
N001	2' - 10"	1' - 8"	5' - 3"	PROPOSED BASEMENT
N002	2' - 10"	1' - 8"	5' - 3"	PROPOSED BASEMENT
N003	2' - 10"	1' - 8"	5' - 3"	PROPOSED BASEMENT
N004	2' - 10"	1' - 8"	5' - 3"	PROPOSED BASEMENT
N101	1' - 3"	3' - 10"	3' - 0"	LEVEL 1
N102	1' - 3"	3' - 10"	3' - 0"	LEVEL 1
N103	4' - 10"	3' - 4"	3' - 7"	LEVEL 1
N104	4' - 8"	3' - 8"	3' - 3 1/2"	LEVEL 1
N105	3' - 0"	4' - 4"	2' - 0"	LEVEL 1
N106	2' - 4"	4' - 4"	3' - 11"	LEVEL 1
N107	2' - 4"	4' - 4"	3' - 11"	LEVEL 1
N108	4' - 10"	3' - 5"	3' - 6"	LEVEL 1
N109	8' - 4"	4' - 3"	2' - 8"	LEVEL 1
N201	4' - 8"	3' - 0"	3' - 2"	LEVEL 2
N202	2' - 8"	3' - 0"	3' - 0"	LEVEL 2
N203	1' - 6"	3' - 5"	3' - 0"	LEVEL 2
N204	4' - 8"	3' - 0"	3' - 2"	LEVEL 2

PROPOSED ROOM SCHEDULE			
ROOM NUMBER	NAME	LEVEL	AREA
N1	LAUNDRY ROOM	BASEMENT	94 SF
N2	STORAGE	BASEMENT	117 SF
N3	HALLWAY	BASEMENT	141 SF
N4	MECH ROOM	BASEMENT	74 SF
N5	BATHROOM	BASEMENT	103 SF
N6	REC ROOM	BASEMENT	410 SF
N7	LIVING ROOM	LEVEL 1	177 SF
N8	BEDROOM	LEVEL 1	123 SF
N9	FOYER	LEVEL 1	60 SF
N10	HALLWAY	LEVEL 1	37 SF
N11	OFFICE	LEVEL 1	76 SF
N12	WASHROOM	LEVEL 1	36 SF
N13	KITCHEN	LEVEL 1	133 SF
N14	FOYER	LEVEL 1	32 SF
N15	FAMILY ROOM	LEVEL 1	185 SF
N16	DINING ROOM	LEVEL 1	175 SF
N17	BATHROOM	LEVEL 2	47 SF
N18	BEDROOM	LEVEL 2	221 SF
N19	BEDROOM	LEVEL 2	108 SF

INTENTIONAL BLANK SPACE
PER HAMILTON BUILDING



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CLIENT DESJARDINS GENERAL INSURANCE GROUP	SEQUENCE 3.31
TITLE NEW CONSTRUCTION SCHEDULES	SHEET S5.02

INTENTIONAL BLANK SPACE
PER HAMILTON BUILDING

F1

FOUNDATION WALL

SIDE - EXT
DAMPPROOF (BELOW GRADE)
STRUCTURE 8" CONCRETE
CI 2" EXPANDED POLYSTYRENE
INFILL FRAMING 2X4" WOOD STUDS @ 16"
INSULATION FIBERGLASS BATT (FILL STUD CAVITY)
BB&AB 6 MIL POLYETHELYENE
FINISH 1/2" GYPSUM BOARD
SIDE - INT

E1

EXTERIOR WALL

SIDE - EXT
CLADDING VINYL SIDING
SM TYPAR/BUILDING PAPER
SHEATHING PLYWOOD
STRUCTURE 2X6" WOOD STUDS @ 16" OC
INSULATION FIBERGLASS BATT (FILL STUD CAVITY)
VB&AB 6 MIL POLYETHELYENE
FINISH 1/2" GYPSUM BOARD
SIDE - INT

I1

INTERIOR WALL

SIDE-INT
FINISH 1/2" GYPSUM BOARD
STRUCTURE 2X4" WOOD STUDS @ 16" OC
FINISH 1/2" GYPSUM BOARD
SIDE-INT

F2

FOUNDATION WALL

STRUCTURE 8" CONCRETE

F3

FOUNDATION WALL

STRUCTURE 6" CONCRETE

F4

FOUNDATION WALL

SIDE - EXT
DAMPPROOF (BELOW GRADE)
STRUCTURE 14" CONCRETE
CI 2" EXPANDED POLYSTYRENE
INFILL FRAMING 2X4" WOOD STUDS @ 16"
INSULATION FIBERGLASS BATT (FILL STUD CAVITY)
BB&AB 6 MIL POLYETHELYENE
FINISH 1/2" GYPSUM BOARD
SIDE - INT

I2

INTERIOR WALL

SIDE-INT
FINISH 1/2" GYPSUM BOARD
STRUCTURE 2X6" WOOD STUDS @ 16" OC
FINISH 1/2" GYPSUM BOARD
SIDE-INT

I3

INTERIOR HALF WALL

SIDE-INT
FINISH 1/2" GYPSUM BOARD
STRUCTURE 2X6" WOOD STUDS @ 16" OC
FINISH 1/2" GYPSUM BOARD
SIDE-INT

I4

INTERIOR WALL

SIDE-INT
STRUCTURE 2X6" WOOD STUDS @ 16" OC
INSULATION FIBERGLASS BATT (FILL STUD CAVITY)
VB&AB 6 MIL POLYETHELYENE
FINISH 1/2" GYPSUM BOARD
SIDE-INT

I5

INTERIOR WALL

SIDE - INT
FINISH 1/2" GYPSUM BOARD
INFILL FRAMING 2X4" WOOD STUDS @ 16"
STRUCTURE 8" CONCRETE
INFILL FRAMING 2X4" WOOD STUDS @ 16"
FINISH 1/2" GYPSUM BOARD
SIDE - INT



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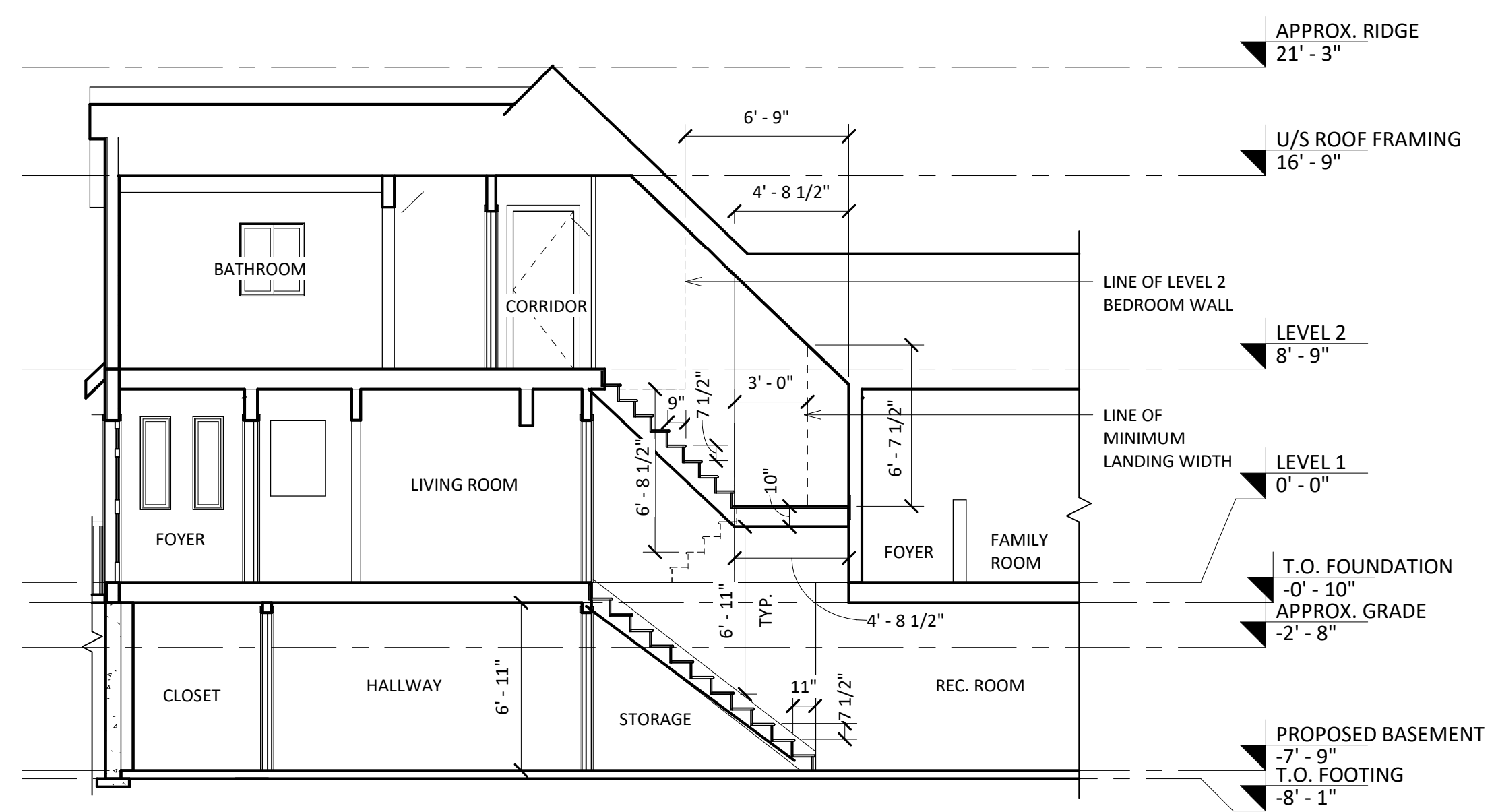
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CLIENT DESJARDINS GENERAL INSURANCE GROUP	SEQUENCE 3.32
TITLE NEW CONSTRUCTION SCHEDULES	SHEET S5.03



LEGEND - STRUCTURAL	
H1	2-PLY 2X10" HEADER
H2	3-PLY 2X8" HEADER
H3	3-PLY 2X10" HEADER
H4	3-PLY 2X12" HEADER
B1	3 PLY - 1 3/4" x 9 1/4" LVL BEAM 2.0E (FLUSH)
B2	W8x21 STEEL BEAM (DROPPED)
B3	3-PLY 2X10" BEAM
B4	3-PLY 2X8" BEAM (DROPPED/PRESSURE TREATED)
B5	2-PLY 2X8" LEDGER BOARD (DROPPED/PRESSURE TREATED)
C1	3" DIA x 3/16" COLUMN W PL4x4x1/4" TOP AND BOTTOM CAPS W/ 3/16" CIRCUMFERENTIAL FILLET WELD
C2	6x6" COLUMN (PRESSURE TREATED)
F1	16" x 6" CONCRETE STRIP FOOTING
F2	14" x 4" CONCRETE STRIP FOOTING
F3	22"x 6" CONCRETE STRIP FOOTING
F4	26" x 26" x 12" SPREAD FOOTING W/THREE 15m BARS EW
F5	32" x 32" x 10" SPREAD FOOTING W/THREE 15m BARS EW
LBW 4	2X4" @ 16" OC LOAD BEARING WALL
LBW 6	2X6" @ 16" OC LOAD BEARING WALL
P1	12" DIA CONCRETE PIER

1 SECTION 1
3/16" = 1'-0"



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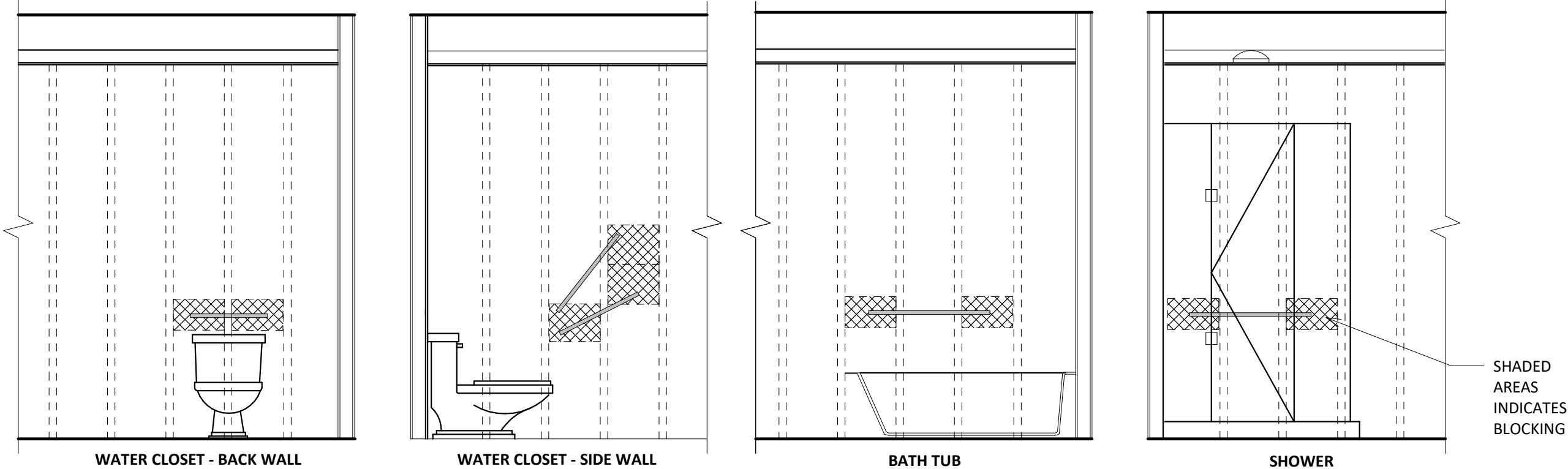
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TITLE NEW CONSTRUCTION DETAILS	SHEET A3.13

INTENTIONAL BLANK SPACE
PER HAMILTON BUILDING

GRAB BAR DETAILS
NOT TO SCALE, ILLUSTRATED FOR DETAIL PURPOSES ONLY.



WHEN REQUIRED GRAB BARS SHALL BE PROVIDED WITH BLOCKING AND
DESIGNED TO RESIST A LOAD OF NOT LESS THAN 1.3 KN APPLIED VERTICALLY
AND HORIZONTALLY

1

BLOCKING DETAIL_MAIN BATHROOM
3/8" = 1'-0"



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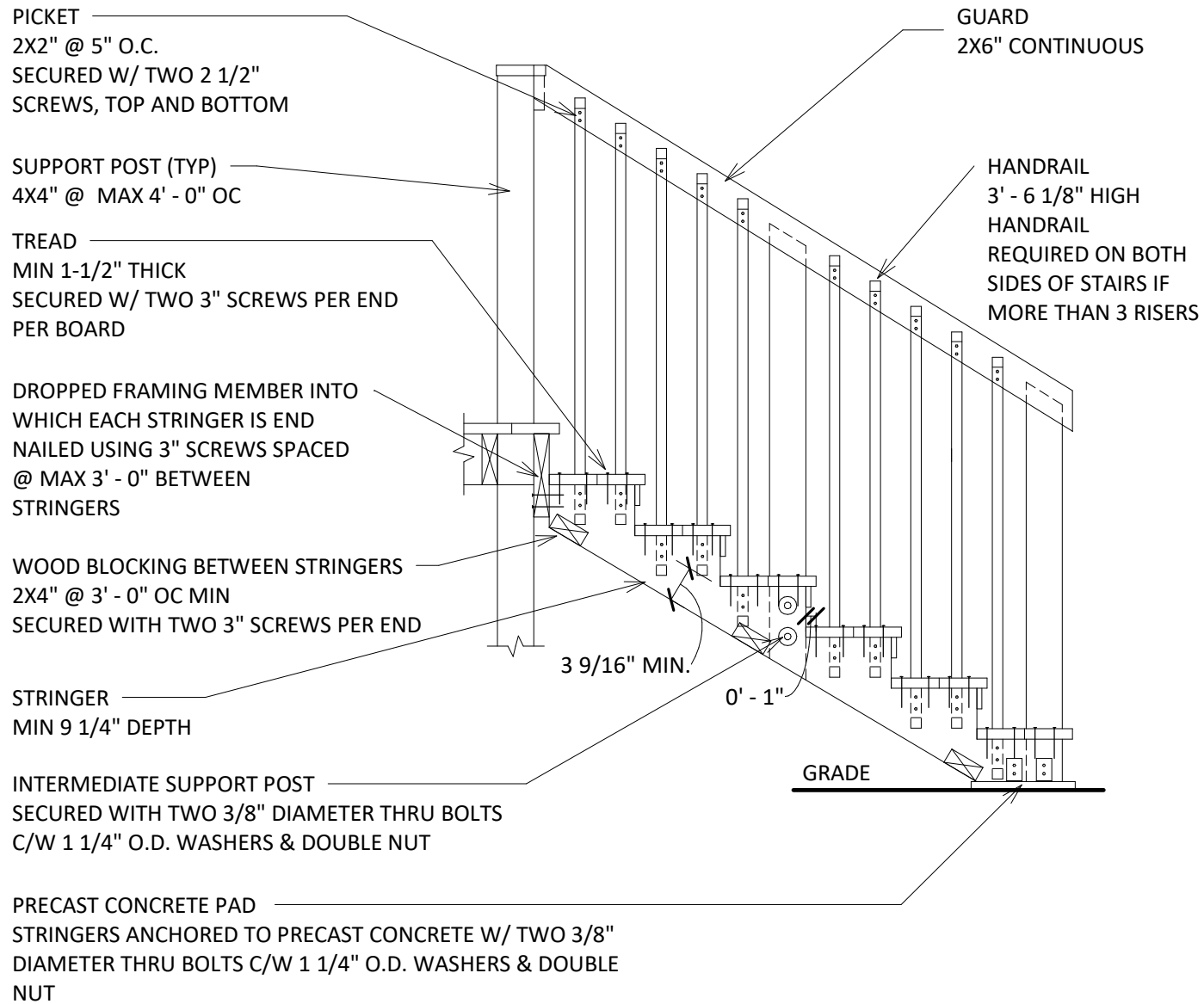
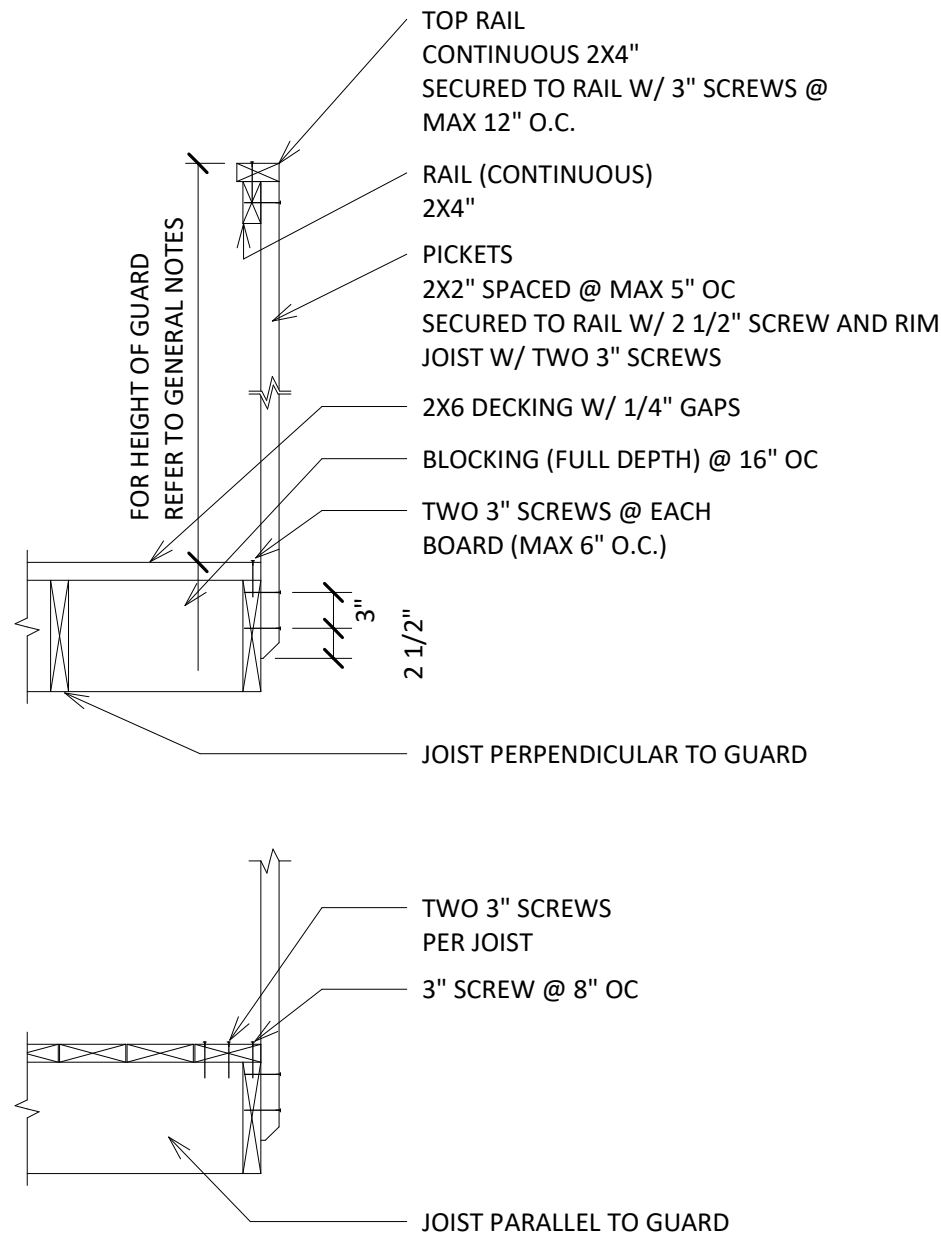
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CLIENT DESJARDINS GENERAL INSURANCE GROUP	SEQUENCE 3.42
TITLE NEW CONSTRUCTION DETAILS	SHEET A3.14



INTENTIONAL BLANK SPACE
PER HAMILTON BUILDING

1 DECK_GUARD
3/4" = 1'-0"

2 DECK_STAIRS
3/4" = 1'-0"



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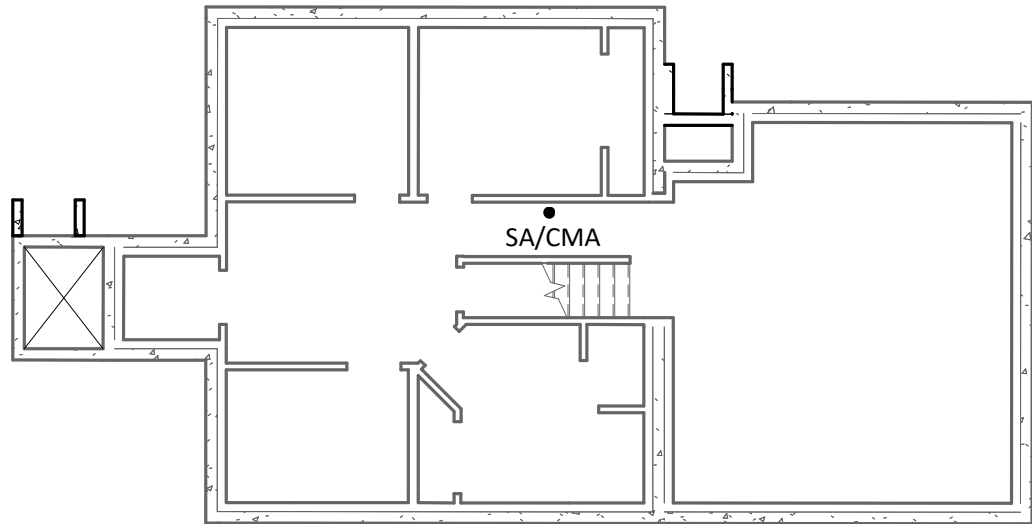
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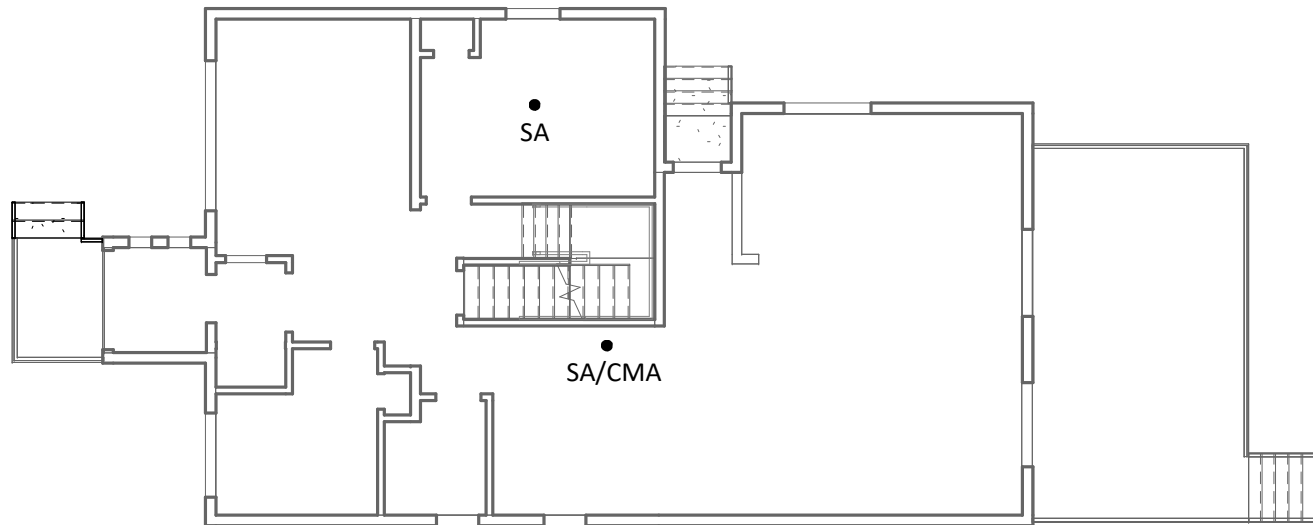
1

LIFE SAFETY PLAN _BASEMENT
3/32" = 1'-0"

LIFE SAFETY PLANS NOTES:

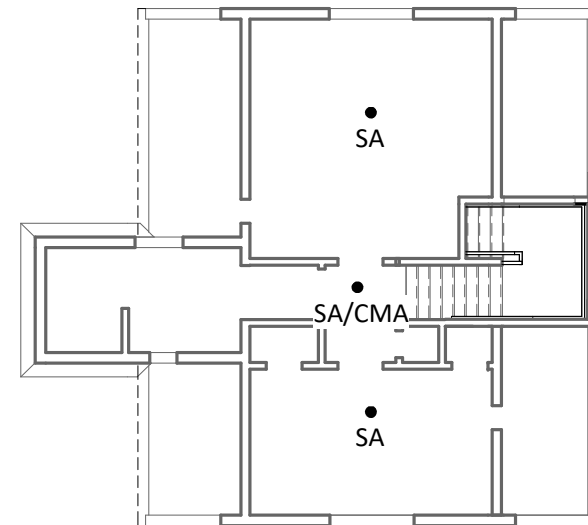
THESE PLANS ARE INTENDED TO BE USED AS A GENERAL GUIDELINE IN CONFORMANCE WITH THE CURRENT OBC, MINOR VARIANCE IS PERMITTED, PROVIDED COMPLIANCE WITH THE 2012 OBC. PROPOSED LIFE SAFETY COMPONENTS ARE TO ONLY BE INSTALLED ON THE RESPECTIVE FLOOR WHERE FINISHES ARE SUBSTANTIALLY REMOVED. WHERE THE FINISHES ARE NOT REMOVED, LIFE SAFETY COMPONENTS ARE TO BE REINSTATED TO A PRE-LOSS LOCATION, PERFORMANCE AND CONDITION.

INTENTIONAL BLANK SPACE
PER HAMILTON BUILDING



2

LIFE SAFETY PLAN _LEVEL 1
3/32" = 1'-0"



3

LIFE SAFETY PLAN _LEVEL 2
3/32" = 1'-0"



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CLIENT DESJARDINS GENERAL INSURANCE GROUP	SEQUENCE 4.00
TITLE LIFE SAFETY PLANS	SHEET A5.03

MATERIALS, SYSTEMS AND EQUIPMENT

WOOD

-ALL LUMBER SHALL BE SPRUCE-PINE-FIR NO. 1 & 2, AND SHALL BE IDENTIFIED BY A GRADE STAMP.
-PLYWOOD SHALL BE EXTERIOR GRADE
-MAXIMUM MOISTURE CONTENT 19% AT TIME OF INSTALLATION.
-WOOD FRAMING EXPOSED TO THE ELEMENTS IN THE FINAL CONDITION OR WITHIN 8" OF GRADE SHALL BE PRESSURE TREATED. ALL CUT ENDS OF PRESSURE TREATED WOOD FRAMING SHALL BE TREATED TO PREVENT DECAY.

CONCRETE

-TYPE "R"
-3 1/8" +/- 1 1/8" SLUMP
-GARAGE AMD CARPORT FLOORS AND ALL EXTERIOR FLATWORK SHALL HAVE 5-8% AIR ENTRAINMENT

ELEMENT	COMPRESSIVE STRENGTH*
GARAGE AND CARPORT FLOORS AND ALL EXTERIOR FLATWORK	4,640 PSI (32 MPA)
INTERIOR FLOORS OTHER THAN GARAGE AND CARPORT FLOORS	2,900 PSI (20 MPA)
ALL OTHER APPLICATIONS	2,175 PSI (15 MPA)

* COMPRESSIVE STRENGTH IS MEASURED 28 DAYS AFTER CASTING

STEEL

ELEMENT	GRADE
BEAMS	350W
COLUMNS	ASTM A500 GRADE C
LINTELS	300W

MASONRY

-2,175 PSI (15 MPA) COMPRESSIVE STRENGTH
-TYPE "S" GROUT
-ALL MASONRY SHALL BE SUPPORTED ON MASONRY, CONCRETE OR STEEL

DESIGN OF AREAS, SPACES AND DOORWAYS

DOORS AND WINDOWS

-EVERY FLOOR LEVEL CONTAINING A BEDROOM AND NOT SERVED BY AN EXTERIOR DOOR SHALL CONTAIN AT LEAST SERVED BY AN EXTERIOR DOOR SHALL CONTAIN AT LEAST WINDOW HAVING AN UNOBSTRUCTED OPEN AREA OF 0.35M2 AND NO DIMENSIONS LESS THAN 380MM, WHICH IS OPENABLE FROM THE INSIDE WITHOUT TOOLS, MAXIMUM SILL HEIGHT 1000MM FOR FIN FLOORS ABOVE GRADE.
-EXTERIOR HOUSE DOORS AND WINDOWS WITHIN 2000MM FROM GRADE SHALL BE CONSTRUCTED TO RESIST FORCED ENTRY. DOORS SHALL HAVE A DEADBOLT LOCK.
-THE PRINCIPAL ENTRY DOOR SHALL HAVE EITHER A DOOR VIEWER, TRANSPARENT GLAZING OR A SIDELIGHT .
-MAXIMUM U-VALUE 1.8 FOR WINDOWS AND SLIDING GLASS DOORS.

CLADDING

MASONRY VENEER

-MINIMUM 2-3/4" THICK IF JOINTS ARE NOT RAKED AND 3-1/2" THICK IF JOINTS ARE RAKED
-MINIMUM 1" AIR SPACE TO SHEATHING
-PROVIDE WEEP HOLES @ 2' 7-1/2" O.C. AT THE BOTTOM OF THE CAVITY AND OVER DOORS AND WINDOWS
-DIRECT DRAINAGE THROUGH WEEP HOLES WITH 20 MIL POLY FLASHING EXTENDING MINIMUM 6" UP BEHIND THE SHEATHING PAPER
-VENEER TIES MINIMUM 30 MIL THICK X 55/64" WIDE CORROSION RESISTANT STRAPS SPACED @ 1' 7-11/16" VERTICALLY AND 1' 11-5/8" HORIZONTALLY
-FASTEN TIES WITH CORROSION RESISTANT 1/8" DIAMETER SCREWS OR SPIRAL NAILS WHICH PENETRATE AT LEAST 1-1/4" INTO STUDS.
-STEEL LINTELS SHALL HAVE MIN 6" EVEN AND LEVEL BEARING AT END SUPPORTS.

REPOINTING

REPOINTING SHALL BE COMPLETED IN CONFORMANCE WITH THE REQUIREMENTS OF CAN/CSA A371-04. REPOINTING SHALL INCLUDE RAKING OUT MORTAR TO SOUND MATERIAL (MIN 1"). CONTRACTOR RESPONSIBLE FOR ANY AND ALL ASSOCIATED SHORING. CARE SHALL BE EXERCISED TO PREVENT DAMAGE TO THE REMAINING MATERIAL. RAKING SHALL LEAVE A CLEAN, SQUARE FACE AT BACK OF JOINT. JOINT GREATER THAN 1" SHALL BE POINTED WITH AN INITIAL LAYER TO BRING THE DEPTH TO A UNIFORM 1" DEEP.

SHEATHING MEMBRANE

-INSTALLED HORIZONTALLY SO THAT JOINTS ARE LAPPED NOT LESS THAN 4" (UPPER SHEETS TO OVERLAP THE LOWER SHEETS)
-NEW SHEATHING MEMBRANE SHALL BE TIED INTO EXISTING

FLASHING

REINSTATE THROUGH WALL FLASHING AT BASE OF WALL ASSEMBLY AND OPENINGS.

STAIRS, RAMPS, HANDRAILS AND GUARDS

DESIGN BY OTHERS UNO

HANDRAILS AND GUARDS

-A HANDRAIL IS REQUIRED FOR INTERIOR STAIRS CONTAINING MORE THAN 2 RISERS AND EXTERIOR STAIRS CONTAINING MORE THAN 3 RISERS.
-GUARDS ARE REQUIRED AROUND EVERY ACCESSIBLE SURFACE WHICH IS MORE THAN 1' 11-5/8" ABOVE THE ADJACENT LEVEL AND WHERE THE ADJACENT SURFACES HAS A SLOPE MORE THAN 1:2.
-INTERIOR AND EXTERIOR GUARDS MINIMUM 2' 11-7/16" HEIGHT EXTERIOR GUARDS SHALL BE 3' 6-1/8" HIGH WHERE HEIGHT ABOVE ADJACENT SURFACE EXCEEDS 5' 10-3/4".
-GUARDS SHALL HAVE OPENINGS SMALLER THAN 3-15/16" AND NO MEMBER BETWEEN 5-1/2" AND 2' 11-1/2" THAT WILL FACILITATE CLIMBING.
-GUARDS SHALL BE DESIGNED IN COMNFORMANCE WITH THE REQUIREMENTS OF OBC PART 9, SECTION 9.8.7 AND 9.8.8

STAIRS

	PRIVATE	PUBLIC
MAXIMUM RISE	7-7/8"	7-3/32"
MINIMUM RUN	8-17/64"	11-1/32"
MINIMUM TREAD	9-1/4"	NO LIMIT
MINIMUM HEAD ROOM	6' 4-49/64"	6' 8-45/64"
MINIMUM WIDTH	2' 9-55/64"	2' 11-7/16"*

-CURVED STAIRS SHALL HAVE A MINIMUM RUN OF 6" AT ANY POINT AND A MINIMUM AVERAGE RUN OF 8"MM.
-WINDERS WHICH CONVERGE TO A POINT IN STAIRS MUST TURN THROUGH AN ANGLE OF NO MORE THAN 90 DEGREES, WITH NO LESS THAN 30 DEGREES OR MORE THAN 45 DEGREES PER TREAD. SETS OF WINDERS MUST BE SEPARATED BY 47-1/4" ALONG THE RUN OF THE STAIR .
-A LANDING IS REQUIRED AT THE TOP OF ANY STAIR LEADING TO THE PRINCIPAL ENTRANCE TO A DWELLING AND OTHER EXTERIOR ENTRANCES WITH MORE THAN 3 RISERS.
-THE MAXIMUM VERTICAL HEIGHT BETWEEN ANY LANDINGS SHALL NOT EXCEED 12' 1-43/64".
-EXTERIOR CONCRETE STAIRS WITH MORE THAN 2 RISERS REQUIRE FOOTINGS.

*OR 5/16" PER PERSON BASED ON CODE PRESCRIBED OCCUPANT LOAD, WHICH EVER IS GREATER.

INTENTIONAL BLANK SPACE
PER HAMILTON BUILDING

STRUCTURAL REQUIREMENTS

DESIGN LOADS (UNFACTORED)

FLOOR
LIVE LOAD: 40 PSF (1.9 KPA)
DEAD LOAD: 16 PSF (0.75 KPA)

ROOF
SNOW LOAD: 26 PSF (1.24 KPA)
DEAD LOAD: 16 PSF (.75 KPA)
WIND UPLIFT: 50 PSF (2.4 KPA)



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FIRE PROTECTION

EXTERIOR WALLS
-NO WINDOWS OR OTHER UNPROTECTED OPENINGS ARE PERMITTED IN EXTERIOR WALLS LESS THAN 1200MM FROM PROPERTY LINES.
-15.9MM TYPE ‘X’ FIRE RATED DRYWALL SHALL BE INSTALLED ON THE INSIDE FACE OF ATTACHED GARAGE EXTERIOR WALLS AND GABLE ENDS OF ROOFS WHICH ARE LESS THAN 1200MM AND NOT LESS THAN 600MM FROM PROPERTY LINES.
-NON COMBUSTIBLE CLADDING SHALL BE INSTALLED ON EXTERIOR WALLS LESS THAN 600MM FROM PROPERTY LINES.

GARAGE GASPROOFING
-THE WALLS AND CEILING OF AN ATTACHED GARAGE SHALL BE CONSTRUCTED AND SEALED SO AS TO PROVIDE AN EFFECTIVE BARRIER TO EXHAUST FUMES.
-ALL PLUMBING AND OTHER PENETRATION THROUGH THE WALLS AND CEILING SHALL BE CAULKED.
-DOORS BETWEEN THE DWELLING AND ATTACHED GARAGE MAY NOT OPEN INTO A BEDROOM AND SHALL BE WEATHERSTRIPPED AND HAVE A SELF-CLOSER.

SMOKE ALARMS

FOR FULL REQUIREMENTS, REFER TO OBC 9.10.19
SMOKE ALARMS CONFORMING TO CAN/ULC-S531, “SMOKE ALARMS”, SHALL BE INSTALLED IN EACH DWELLING UNIT AND IN EACH SLEEPING ROOM NOT WITHIN A DWELLING UNIT.
SMOKE ALARMS SHALL HAVE A VISUAL SIGNALLING COMPONENT CONFORMING TO THE REQUIREMENTS IN 18.5.3. (LIGHT, COLOUR, AND PULSE CHARACTERISTICS) OF NFPA 72, “NATIONAL FIRE ALARM AND SIGNALING CODE”.
WITHIN DWELLING UNITS, SUFFICIENT SMOKE ALARMS ARE TO BE INSTALLED SO THAT THERE IS AT LEAST ONE SMOKE ALARM INSTALLED ON EACH STOREY, INCLUDING BASEMENTS, AND ON ANY STOREY OF A DWELLING UNIT CONTAINING SLEEPING ROOMS, A SMOKE ALARM IS INSTALLED,
1. IN EACH SLEEPING ROOM, AND
2. IN A LOCATION BETWEEN THE SLEEPING ROOMS AND THE REMAINDER OF THE STOREY, AND IF THE SLEEPING ROOMS ARE SERVED BY A HALLWAY, THE SMOKE ALARM SHALL BE LOCATED IN THE HALLWAY.
SMOKE ALARMS SHALL BE INSTALLED ON OR NEAR THE CEILING
SMOKE ALARMS SHALL BE INSTALLED WITH PERMANENT CONNECTIONS TO AN ELECTRICAL CIRCUIT, HAVE NO DISCONNECT SWITCH BETWEEN THE OVERCURRENT DEVICE AND THE SMOKE ALARM, AND IN CASE THE REGULAR POWER SUPPLY TO THE SMOKE ALARM IS INTERRUPTED, BE PROVIDED WITH A BATTERY AS AN ALTERNATIVE POWER SOURCE THAT CAN CONTINUE TO PROVIDE POWER TO THE SMOKE ALARM FOR A PERIOD OF NOT LESS THAN 7 DAYS IN THE NORMAL CONDITION, FOLLOWED BY 4 MIN OF ALARM.
WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED IN A DWELLING UNIT, THE SMOKE ALARMS SHALL BE WIRED SO THAT THE ACTIVATION OF ONE ALARM WILL CAUSE ALL ALARMS WITHIN THE DWELLING UNIT TO SOUND.

CARBON MONOXIDE ALARMS

FOR FULL REQUIREMENTS, REFER TO OBC 9.33.4
WHERE A FUEL-BURNING APPLIANCE IS INSTALLED IN A SUITE OF RESIDENTIAL OCCUPANCY, A CARBON MONOXIDE ALARM SHALL BE INSTALLED ADJACENT TO EACH SLEEPING AREA IN THE SUITE.
A CARBON MONOXIDE ALARM SHALL BE MECHANICALLY FIXED, AT THE MANUFACTURER'S RECOMMENDED HEIGHT, OR IN THE ABSENCE OF SPECIFIC INSTRUCTIONS, ON OR NEAR THE CEILING.
THE CARBON MONOXIDE ALARM SHALL BE PERMANENTLY CONNECTED TO AN ELECTRICAL CIRCUIT AND SHALL HAVE NO DISCONNECT SWITCH BETWEEN THE OVERCURRENT DEVICE AND THE CARBON MONOXIDE ALARM, BE WIRED SO THAT ITS ACTIVATION WILL ACTIVATE ALL CARBON MONOXIDE ALARMS WITHIN THE SUITE, BE EQUIPPED WITH AN ALARM THAT IS AUDIBLE WITHIN BEDROOMS WHEN THE INTERVENING DOORS ARE CLOSED, WHERE LOCATED ADJACENT TO A SLEEPING AREA.
CARBON MONOXIDE ALARMS ARE TO CONFORM TO,
(I) CAN/CSA-6.19, “RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES”, OR
(II) UL 2034, “SINGLE AND MULTIPLE STATION CARBON MONOXIDE ALARMS”.

SUBSTITUTIONS

ALL REQUESTS FOR CHANGES AND SUBSTITUTIONS MUST BE SUBMITTED, IN WRITING, TO THE CLIENT AND ELEMENT FORENSIC ENGINEERING FOR APPROVAL. THE REQUEST SHALL INCLUDE A DETAILED DESCRIPTION OF ANY IMPACTS TO SCHEDULE AND COST (INCLUDING INCREASES AND DECREASES) AND A COPY OF ANY ASSOCIATED MANUFACTURER’S SPECIFICATIONS. APPROVAL OF CHANGES/SUBSTITUTIONS, BY ELEMENT FORENSIC ENGINEERING, WILL BE PROVIDED IN WRITING. ANY VERBAL DISCUSSIONS PERTAINING CHANGES AND SUBSTITUTIONS ARE FOR DISCUSSION PURPOSES ONLY AND DO NOT NEGATE THE NEED FOR WRITTEN REQUEST OR APPROVAL. IT IS THE CONTRACTOR’S RESPONSIBILITY TO ARRANGE FOR A PROFESSIONAL ENGINEER TO SIGN AND SEAL ANY DESIGNED COMPONENT OF THE CHANGE/SUBSTITUTION. UNLESS SPECIFICALLY WRITTEN IN OUR APPROVAL, ELEMENT FORENSIC IS NOT RESPONSIBLE FOR THE DESIGN, SIGNING OR SEALING.

ELECTRICAL FACILITIES

ELECTRICAL
-AN EXTERIOR LIGHT CONTROLLED BY AN INTERIOR SWITCH IS REQUIRED AT EVERY ENTRANCE.
-A LIGHT CONTROLLED BY A SWITCH IS REQUIRED IN EVERY KITCHEN, BEDROOM, LIVING ROOM, UTILITY ROOM, LAUNDRY ROOM, DINING ROOM, UTILITY ROOM LAUNDRY ROOM, DINING ROOM, BATHROOM, VESTIBULE, HALLWAY, GARAGE AND CARPORT. A SWITCHED RECEPTACLE MAY BE PROVIDED INSTEAD OF A LIGHT IN BEDROOMS AND LIVING ROOMS.
-STAIRS SHALL BE LIGHTED, AND EXCEPT WHERE SERVING AN UNFINISHED BASEMENT SHALL BE CONTROLLED BY A 3 WAY SWITCH AT THE HEAD AND FOOT OF THE STAIRS.
-BASEMENTS REQUIRE A LIGHT FOR EACH 323 FT², CONTROLLED BY A SWITCH AT THE HEAD OF THE STAIRS.

FLOORS ON GROUND

CONCRETE FLOOR SLABS
-MINIMUM 3” THICK, PLACED ON A MINIMUM 4” OF COURSE, CLEAN, GRANULAR MATERIAL, OVERLYING UNDISTURBED, FOUNDED ON NATURAL UNDISTURBED SOIL OR ADEQUATELY COMPACTED GRANULAR FILL .
-ALL FILL OTHER THAN COURSE CLEAN MATERIAL PLACED BENEATH CONCRETE SLABS SHALL BE COMPACTED TO PROVIDE UNIFORM SUPPORT.

FOUNDED ON NATURAL UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL WITH MINIMUM ALLOWABLE BEARING CAPACITY OF 1,600 PSF (75 KPA)
-SET AT AN ELEVATION BELOW THE DEPTH OF FROST PENETRATION AND A MINIMUM OF 4’

FOOTINGS, PIERS, FOUNDATIONS

-FOUNDED ON NATURAL UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL WITH MINIMUM ALLOWABLE BEARING CAPACITY OF 1,600 PSF (75 KPA), TO BE VERIFIED BY EITHER ELEMENT FORENSIC ENGINEERING OR A SOIL ENGINEER RETAINED BY THE CONTRACTOR.

-SET AT AN ELEVATION BELOW THE DEPTH OF FROST PENETRATION AND A MINIMUM OF 4’
-THE PROJECTION OF AN UNREINFORCED FOOTING BEYOND THE WALL SUPPORTED SHALL NOT BE GREATER THAN ITS THICKNESS

STEP FOOTINGS
-2’ MAX. RISE
-2’ MIN. RUN

FOUNDATION WALLS
-TO BE POURED CONCRETE, UNIT MASONRY, ICF OR PRESERVED WOOD (SEE DRAWINGS FOR TYPE AND THICKNESS)
-DAMPPROOFING SHALL BE A HEAVY COAT OF BITUMINOUS MATERIAL.
-FOUNDATION WALL TO EXTEND MINIMUM 6" ABOVE FINISH GRADE.
-A DRAINAGE LAYER IS REQUIRED ON THE OUTSIDE OF A FOUNDATION WALL WHERE THE INTERIOR INSULATION EXTENDS MORE THAN 3’ BELOW EXTERIOR GRADE. A DRAINAGE LAYER SHALL CONSIST OF
-MINIMUM ¾” MINERAL FIBRE INSULATION WITH MIN DENSITY OF 3.55 LBS/FT³
-MINIMUM 4” OF FREE DRAINAGE GRANULAR MATERIAL, OR
-AN APPROVED SYSTEM WHICH PROVIDES EQUIVALENT PERFORMANCE
-FOUNDATION WALLS SHALL BE BRACED OR HAVE THE FLOOR JOISTS INSTALLED BEFORE BACKFILLING

CRAWL SPACES AND ATTIC SPACES

ACCESS TO ATTICS AND CRAWLSPACES
-ACCESS HATCH MINIMUM 1’ 9-1/2 X 1’ 11-1/4” TO BE PROVIDED TO EVERY ROOF SPACE WHICH IS 100 FT² OR MORE IN AREA AND MORE THAN 1’ 11-5/8” IN HEIGHT
-ACCESS HATCH MINIMUM 1’ 7-3/4 X 2’ 3-1/2” TO BE PROVIDED TO EVERY CRAWL SPACE

INTENTIONAL BLANK SPACE
PER HAMILTON BUILDING



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DEMOLITION AND EXCAVATION

DEMOLITION OF STRUCTURES

- SHALL NOT INTERFERE WITH THE USE OF ADJACENT BUILDINGS. MAINTAIN FREE AND SAFE PASSAGE TO AND FROM.
- PREVENT MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES. CONTRACTOR IS LIABLE FOR ANY SUCH MOVEMENT OR SETTLEMENT AND ANY DAMAGE OR INJURY CAUSED.
- CEASE OPERATIONS AND NOTIFY ELEMENT FORENSIC ENGINEERING IMMEDIATELY IF SAFETY OF ANY ADJACENT STRUCTURES APPEAR TO BE ENDANGERED. TAKE ALL PRECAUTIONS TO PROPERLY SUPPORT THESE STRUCTURES. DO NOT RESUME OPERATIONS UNTIL PERMISSION IS GRANTED BY ELEMENT FORENSIC ENGINEERING.
- REPAIR ALL DEMOLITION PERFORMED IN EXCESS OF THAT INDICATED OR REQUIRED, TO THE APPROVAL OF ELEMENT FORENSIC ENGINEERING AND AT NO COST TO THE OWNER.
- TAKE PARTICULAR CARE IN AREAS OF NEW WORK ENSURING PROTECTION OF EXISTING FOUNDATIONS AND SUPPORTING STRUCTURES. PROVIDE UNDERPINNING WORK FOR THE PROTECTION OF EXISTING FOUNDATIONS IF REQUIRED DUE TO THE SITE CONDITIONS.
- THE USE OF EXPLOSIVES AND BURNING OF MATERIALS ON SITE IS NOT PERMITTED.
- BACKFILL AREAS EXCAVATED FOR DEMOLITION. USE PIT RUN GRAVEL ¾” MAXIMUM PARTICLE SIZE.
- REMOVE ALL DEMOLISHED MATERIAL, DEBRIS, TOOLS AND EQUIPMENT FROM THE SITE UPON COMPLETION OF WORK. LEAVE THE SITE IN A CONDITION ACCEPTABLE TO ELEMENT FORENSIC ENGINEERING.
- WHERE NECESSARY, THE WORK SHALL BE SPRAYED PERIODICALLY WITH WATER TO REDUCE DUST. PRECAUTIONS SHALL BE TAKEN TO PREVENT MATERIAL FROM BEING BLOWN FROM THE BUILDING STRUCTURE AND SITE BY STRONG WIND, OR FROM TRUCKS MOVING DEMOLITIONS MATERIALS FROM THE SITE. ALL MATERIALS FROM THE BUILDING SHALL BE PREVENTED FROM ENTERING THE MUNICIPAL SEWERS OR WATER SOURCES.
- DEMOLITION SHALL BE CARRIED OUT IN AN ORDERLY AND CAREFUL MANNER, AND CONFORM TO THE MUNICIPAL AND PROVINCIAL SAFETY REGULATIONS AND STANDARDS. EXCEPT AS OTHERWISE NOTED OR CLARIFIED, THE SEQUENCE SHALL BE IN REVERSE TO ORIGINAL CONSTRUCTION OF THE BUILDING.

ELECTRICAL FACILITIES

ELECTRICAL

- AN EXTERIOR LIGHT CONTROLLED BY AN INTERIOR SWITCH IS REQUIRED AT EVERY ENTRANCE.
- A LIGHT CONTROLLED BY A SWITCH IS REQUIRED IN EVERY KITCHEN, BEDROOM, LIVING ROOM, UTILITY ROOM, LAUNDRY ROOM, DINING ROOM, UTILITY ROOM LAUNDRY ROOM, DINING ROOM, BATHROOM, VESTIBULE, HALLWAY, GARAGE AND CARPORT. A SWITCHED RECEPTACLE MAY BE PROVIDED INSTEAD OF A LIGHT IN BEDROOMS AND LIVING ROOMS.
- STAIRS SHALL BE LIGHTED, AND EXCEPT WHERE SERVING AN UNFINISHED BASEMENT SHALL BE CONTROLLED BY A 3 WAY SWITCH AT THE HEAD AND FOOT OF THE STAIRS.
- BASEMENTS REQUIRE A LIGHT FOR EACH 323 FT², CONTROLLED BY A SWITCH AT THE HEAD OF THE STAIRS.

EXCAVATION AND BACKFILL

- EXCAVATION SHALL BE UNDERTAKEN IN SUCH A MANNER SO AS TO PREVENT DAMAGE TO EXISTING STRUCTURES, ADJACENT PROPERTY AND UTILITIES.
- THE TOPSOIL AND VEGETABLE MATTER IN UNEXCAVATED AREAS UNDER A BUILDING SHALL BE REMOVED. THE BOTTOM OF EXCAVATIONS FOR FOUNDATIONS SHALL BE FREE OF ALL ORGANIC MATERIAL.
- IF TERMITES ARE KNOWN TO EXIST, ALL STUMPS, ROOTS AND WOOD DEBRIS SHALL BE REMOVED TO A MINIMUM OF 300MM IN EXCAVATED AREAS UNDER A BUILDING, AND THE CLEARANCE BETWEEN UNTREATED STRUCTURAL WOOD ELEMENTS AND THE GROUND SHALL BE NO LESS THAN 450MM.
- BACKFILL WITHIN 600MM OF THE FOUNDATION WALLS SHALL BE FREE OF DELETERIOUS DEBRIS AND BOULDERS OVER 250MM IN DIAMETER.

DAMPPROOFING, WATERPROOFING AND SOIL GAS CONTROL

DAMPPROOFING AND DRAINAGE

- IN NORMAL SOIL CONDITIONS, THE EXTERIOR SURFACES OF FOUNDATION WALLS ENCLOSING BASEMENTS AND CRAWL SPACES SHALL BE DAMPPROOFED. WHERE HYDROSTATIC PRESSURE OCCURS, A WATERPROOFING SYSTEM IS REQUIRED.
- MASONRY FOUNDATION WALLS SHALL BE PARGED WITH 6MM OF MORTAR COVERED OVER THE FOOTING PRIOR TO DAMPPROOFING.
- 100MM DIA FOUNDATION DRAINS SHALL BE LAID ON LEVEL, UNDISTURBED GROUND ADJACENT TO THE FOOTINGS AT OR BELOW THE TOP OF THE BASEMENT SLAB OR CRAWL SPACE FLOOR, AND SHALL BE COVERED WITH 150MM OF CRUSHED STONE. FOUNDATION DRAINS SHALL DRAIN TO A STORM SEWER, DRAINAGE DITCH, DRY WALL OR SUMP.
- WINDOW WELLS SHALL BE DRAINED TO THE FOOTING LEVEL OR TO A DITCH OR SUMP PUMP.
- DOWNSPOUTS NOT DIRECTLY CONNECTED TO A STORM SEWER SHALL HAVE EXTENSIONS TO CARRY WATER AWAY FROM THE BUILDING, AND PROVISIONS SHALL BE MADE TO PREVENT SOIL EROSION.
- CONCRETE SLABS IN ATTACHED GARAGES SHALL BE SLOPED TO DRAIN TO THE EXTERIOR.
- THE BUILDING SITE SHALL BE GRADED SO THAT SURFACE SUMP AND ROOF DRAINAGE WILL NOT ACCUMULATE AT OR NEAR THE BUILDING WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.

PLUMBING FACILITIES

PLUMBING

- EVERY DWELLING REQUIRES A KITCHEN SINK, LAVATORY, WATER CLOSET, BATHTUB OR SHOWER SHALL AND THE INSTALLATION OR AVAILABILITY OF LAUNDRY FACILITIES
- A FLOOR DRAIN SHALL BE INSTALLED IN THE BASEMENT AND CONNECTED TO THE SANITARY SEWER WHERE GRAVITY DRAINAGE IS POSSIBLE. IN OTHER CASES, IT SHALL BE CONNECTED TO A SEWAGE EJECTION PUMP.
- SUPPLY AIR INTAKES SHALL BE LOCATED SO AS TO AVOID CONTAMINATION FROM EXHAUST OUTLETS.

ROOFING

- FASTENERS FOR ROOFING SHALL BE CORROSION RESISTANT. ROOFING NAILS SHALL PENETRATE THROUGH OR AT LEAST ½” INTO ROOF SHEATHING
- EVERY ASPHALT SHINGLE SHALL BE FASTENED WITH AT LEAST 4 NAILS FOR 3’ 3” WIDE SHINGLE
- EAVE PROTECTION SHALL EXTEND 3’ UP THE ROOF SLOPE FROM THE EDGE, AND AT LEAST 12” FROM THE INSIDE FACE OF THE EXTERIOR WALL, AND SHALL CONSIST OF TYPE M OR TYPE S ROLL ROOFING LAID WITH MINIMUM 4” HEAD AND END LAPS CEMENTED TOGETHER, OR GLASS FIBRE OR POLYESTER FIBRE COATED BASE SHEETS, OR SELF SEALING COMPOSITE MEMBRANES CONSISTING OF MODIFIED BITUMINOUS COATED MATERIAL OR NO. 15 SATURATED FELT LAPPED AND CEMENTED. EAVE PROTECTION IS NOT REQUIRED FOR UNHEATED BUILDINGS, FOR ROOFS EXCEEDING A SLOPE OF 1 IN 1.5, OR WHERE A LOW SLOPE ASPHALT SHINGLE APPLICATION IS PROVIDED
- OPEN VALLEYS SHALL BE FLASHED WITH 2 LAYERS OF ROLL ROOFING, OR 1 LAYER OF SHEET METAL MIN 24” WIDE
- FLASHING SHALL BE PROVIDED AT THE INTERSECTION OF SHINGLE ROOFS WITH EXTERIOR WALLS AND CHIMNEYS
- SHEET METAL FLASHING SHALL CONSIST OF NOT LESS THAN 68 MIL SHEET LEAD, 13 MIL GALVANIZED STEEL, 1/64” COPPER, 14 MIL ZINC, OR 19 MIL ALUMINUM

FLOORING

CERAMIC TILE

WHEN CERAMIC TILE IS APPLIED TO A MORTAR BED WITH ADHESIVE, THE BED SHALL BE A MINIMUM ½” THICK AND REINFORCED WITH GALVANIZED DIAMOND MESH LATH, APPLIED OVER POLYETHYLENE ON SUBFLOORING ON JOISTS AT NO MORE THAN 16” O.C. WITH AT LEAST 2 ROWS CROSS BRIDGING.

SUBSTITUTIONS

ALL REQUESTS FOR CHANGES AND SUBSTITUTIONS MUST BE SUBMITTED, IN WRITING, TO THE CLIENT AND ELEMENT FORENSIC ENGINEERING FOR APPROVAL. THE REQUEST SHALL INCLUDE A DETAILED DESCRIPTION OF ANY IMPACTS TO SCHEDULE AND COST (INCLUDING INCREASES AND DECREASES) AND A COPY OF ANY ASSOCIATED MANUFACTURER’S SPECIFICATIONS. APPROVAL OF CHANGES/SUBSTITUTIONS, BY ELEMENT FORENSIC ENGINEERING, WILL BE PROVIDED IN WRITING. ANY VERBAL DISCUSSIONS PERTAINING CHANGES AND SUBSTITUTIONS ARE FOR DISCUSSION PURPOSES ONLY AND DO NOT NEGATE THE NEED FOR WRITTEN REQUEST OR APPROVAL. IT IS THE CONTRACTOR’S RESPONSIBILITY TO ARRANGE FOR A PROFESSIONAL ENGINEER TO SIGN AND SEAL ANY DESIGNED COMPONENT OF THE CHANGE/SUBSTITUTION. UNLESS SPECIFICALLY WRITTEN IN OUR APPROVAL, ELEMENT FORENSIC IS NOT RESPONSIBLE FOR THE DESIGN, SIGNING OR SEALING.

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WOOD FRAME CONSTRUCTION

WOOD FRAME CONSTRUCTION

- WOOD FRAMING MEMBERS WHICH ARE SUPPORTED ON CONCRETE IN DIRECT CONTACT WITH SOIL SHALL BE SEPARATED FROM THE CONCRETE WITH 6 MIL POLYETHYLENE OR TYPE 'S' ROLL ROOFING
- NEW FRAMING ELEMENTS SHALL NOT BE SPLICED.
- NEW FLUSH MOUNT CONNECTIONS SHALL BE SUPPORTED ON JOIST HANGERS.
- OVERCUTTING OF BIRDMOUTHS AND STAIR STRINGER NOTCHES IS NOT PERMITTED.
- TERMITES ARE KNOWN TO BE IN SOUTHERN ONTARIO. PRIOR TO BREAKING GROUND THE CONTRACTOR MUST CONDUCT A SURVEY/INSPECTION BY A COMPETENT PROFESSIONAL AND NOTIFY OUR OFFICE SHOULD TERMITES BE PRESENT.
- SOLID FUEL-BURNING FIREPLACES SHALL HAVE A MINIMUM 4” CLEARANCE BETWEEN COMBUSTIBLE FRAMING EXCEPT AT EXTERIOR WALLS, WERE A MINIMUM 2” CLEARANCE IS PERMITTED. SMOKE CHAMBERS OF SOLID FUEL-BURNING FIREPLACES SHALL HAVE A MINIMUM 2” CLEARANCE BETWEEN COMBUSTIBLE FRAMING EXCEPT AT EXTERIOR WALLS, WERE A MINIMUM 1” CLEARANCE IS PERMITTED.

WALLS

- REFER TO WALL SCHEDULE FOR STUD SIZE AND SPACING REQUIREMENTS
- SILL PLATES SHALL NOT BE LESS THAN 2X4” MATERIAL FIXED TO FOUNDATION WITH ½” ANCHOR BOLTS @ MAX 7’ 10”O.C. UNO.
- STUD WALLS SHALL INCLUDE A SINGLE BOTTOM PLATE AND DOUBLE TOP PLATE, OF A MATCHING SIZE TO THE STUD, UNO.
- WHERE LOAD BEARING WALLS ARE NOT SHEATHED ON BOTH SIDES, INSTALL SOLID BRIDGING AT 4’ O.C.
- INSTALL JACK STUDS (WITH ADJACECENT KING STUDS) BELOW ALL HEADERS.

FLOORS

- REFER TO DAMAGE RESTORATION/NEW CONSTRUCTION DRAWINGS FOR FLOOR JOIST SIZE AND SPACING REQUIREMENTS
- JOISTS TO HAVE MINIMUM 1 1/2" OF END BEARING
- JOISTS SHALL BEAR ON A TOP PLATE OR SILL PLATE FIXED TO FOUNDATION WITH 1/2" ANCHOR BOLTS @ 7'10" O.C.
- HEADER JOISTS BETWEEN 3’ 11” AND 10’ 5” IN LENGTH SHALL BE DOUBLED. HEADER JOISTS EXCEEDING 10’ 5” SHALL BE SIZED BY CALCULATIONS
- TRIMMER JOISTS SHALL BE DOUBLED WHEN SUPPORTED HEADER IS BETWEEN 2’ 7-1/2” AND 6’ 6-1/2”. TRIMMER JOISTS SHALL BE SIZED BY CALCULATIONS WHEN SUPPORTED HEADER EXCEEDS 6’ 6-1/2”
- 2X2” CROSS BRIDGING REQUIRED NOT MORE THAN 6’ 10-1/2” FROM EACH SUPPORT AND FROM OTHER ROWS OF BRIDGING
- JOISTS SHALL BE SUPPORTED ON JOIST HANGERS AT ALL FLUSH BEAMS, TRIMMERS AND HEADERS
- NON-LOAD BEARING PARTITIONS SHALL BE SUPPORTED ON A JOIST OR ON BLOCKING BETWEEN JOISTS.

ROOF & CEILINGS

- REFER TO DAMAGE RESTORATION/NEW CONSTRUCTION DRAWINGS FOR RAFTER, ROOF JOISTS AND CEILING JOIST SIZE AND SPACING REQUIREMENTS
- HIP AND VALLEY RAFTER SHALL BE A MINIMUM 2” DEEPER THAN COMMON RAFTERS
- 2X4” COLLAR COLLAR TIES @ RAFTER SPACING WITH 1X4” CONTINUOUS BRACE AT MID SPAN IF COLLAR TIE EXCEEDS 7’ 10” IN LENGTH

NOTCHING & DRILLING OF TRUSSES, JOISTS, RAFTERS

- HOLES IN FLOOR, ROOF AND CEILING MEMBERS TO BE NOT LARGER THAN ¼ THE ACTUAL DEPTH OF MEMBER AND NOT LESS THAN 2” FROM EDGES
- NOTCHES IN FLOOR, ROOF AND CEILING MEMBERS TO BE LOCATED ON TOP OF THE MEMBER WITH ½ THE ACTUAL DEPTH FROM THE EDGE OF BEARING AND NOT GREATER THAN 1/3 THE JOIST DEPTH
- WALL STUDS MAY BE NOTCHED OR DRILLED PROVIDED THAT NO LESS THAN 2/3 THE DEPTH OF THE STUD REMAINS, IF LOAD BEARING, AND 1-5/8” IF NON-LOAD BEARING
- ROOF TRUSS MEMBERS SHALL NOT BE NOTCHED, DRILLED OR WEAKENED UNLESS ACCOMMODATED IN THE DESIGN

COLUMNS, BEAMS AND LINTELS

- MINIMUM 3-1/2” END BEARING FOR WOOD AND STEEL BEAMS, WITH 8” SOLID MASONRY BENEATH THE BEAM
- WOOD COLUMNS FOR CARPORTS AND GARAGES SHALL BE MINIMUM 3-1/2” X 3-1/2”; IN ALL OTHER CASES EITHER 6 X 6” OR 8” ROUND, UNLESS CALCULATIONS BASED ON ACTUAL LOADS SHOW LESSER SIZES ARE ADEQUATE. ALL COLUMNS SHALL BE NOT LESS THAN THE WIDTH OF THE SUPPORTING MEMBER
- PROVIDE SOLID BLOCKING THE FULL WIDTH OF THE SUPPORTED MEMBER UNDER ALL CONCENTRATED LOADS

SHEATHING/SUBFLOOR

- SHEATHING/SUBFLOOR SHALL BE EXTERIOR GRADE, INSTALLED IN FULL SHEETS WHERE FEASIBLE, FULLY SUPPORTED AT ALL EDGES
- SUBFLOOR SHALL BE TONGUE AND GROOVE.
- STAGGER JOINTS
- WHERE THE PRE-LOSS SHEATHING/SUBFLOOR IS GREATER THAN THE MINIMUM REQUIRED THICKNESS, THE NEW SHEATHING/SUBFLOOR CAN CONSIST OF MULTIPLE LAYERS, BUILT UP TO MATCH THE THICKNESS OF THE REMAINING ADJACENT. WHEN THE SHEATHING/SUBFLOOR IS BUILT UP, THE SHEET ADJACENT TO THE FRAMING, MUST MEET THE MINIMUM REQUIRED THICKNESS

SHEATHING/SUBFLOOR THICKNESS

TYPE	MIN REQUIRED THICKNESS (IN)
SUBFLOOR	5/8
ROOF SHEATHING	1/2
WALL SHEATHING	3/8

STEEL CONSTRUCTION

- PROVIDE SOLID BLOCKING THE FULL WIDTH OF THE SUPPORTED MEMBER UNDER ALL CONCENTRATED LOADS.
- ALL NEW STEEL SHALL BE SHOP PRIMED

COLUMNS

- HAVE MINIMUM OUTSIDE DIAMETER 2-7/8” AND MINIMUM WALL THICKNESS OF 3/16”.
- SHALL BE FITTED WITH NOT LESS THAN 4X4X1/4” STEEL CAP PLATE AND BASEPLATES EXCEPT WHERE THE COLUMN SITS ON A FOUNDATION WALL, USE 4X8X5/8” BASEPLATE, AND WHERE THE COLUMN SITS ON A FOOTING, USE 6X6X5/8” BASEPLATE.
- WHERE THE COLUMN SUPPORTS A WOOD BEAM, THE TOP PLATE SHALL EXTEND ACROSS THE FULL WIDTH OF THE BEAM.
- MECHANICALLY SECURE CAP PLATE AND BASEPLATE TO THE STRUCTURE
- SECURE BASEPLATE TO FOUNDATION/FOOTING WITH TWO 5/8” Ø ANCHORS BOLTS WITH 8” EMBEDMENT PLUS 2” HOOK, LOCATED ON OPPOSING SIDES.

BEAMS

- MINIMUM 3-1/2” END BEARING, WITH MIN 8” SOLID MASONRY BENEATH THE BEAM.

LINTELS

- MINIMUM 6” END BEARING, WITH MIN 8” SOLID MASONRY BENEATH THE BEAM.

DECKS

- ALL SCREWS AND BOLTS SHALL BE OF A CORROSION RESISTANT TYPE. WOOD FOR PICKETS SHALL BE FREE OF LOOSE KNOTS.
- FASTENERS AND THE ASSOCIATED INSTALLATION SHALL NOT CAUSE SPLITTING OF THE WOOD ELEMENTS.
- PROVIDE A SUITABLE POST, RETURN OR SOLID SUPPORT AT EACH END OF THE GUARD.
- ALTERNATIVES TO THE SPECIFIED GUARD SYSTEM MUST BE DESIGNED IN ACCORDANCE WITH SECTION 9.8.8 OF THE 2012 OBC, STAMPED BY A PROFESSIONAL ENGINEER, AND SUBMITTED TO ELEMENT FORENSIC ENGINEERING, PRIOR TO FABRICATION, FOR COMMENT AND RECORD PURPOSES.

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VENTILATION

NATURAL VENTILATION

- DO NOT BLOCK OR OTHERWISE PREVENT THE FLOW OF AIR TO THE VENTILATION/WEEP HOLES AT THE TOP AND BOTTOM OF NEW OR REMAINING BRICK VENEER WALLS.
- INSTALLATION OF THE NEW ATTIC INSULATION SHALL NOT OBSTRUCT VENTING AT THE SOFFIT.
- EVERY ROOF SPACE ABOVE AN INSULATED CEILING SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA.
- INSULATED ROOF SPACES NOT INCORPORATING AN ATTIC SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO NOT LESS THAN 1/150 OF THE INSULATED CEILING AREA.
- ROOF VENTS SHALL BE UNIFORMLY DISTURBED WITH MIN 25% AT TOP OF THE SPACE AND 25% AT THE BOTTOM OF THE SPACE DESIGNED TO PREVENT THE ENTRY OF RAIN, SNOW OR INSECTS.
- UNHEATED CRAWL SPACES SHALL BE PROVIDED WITH 1.1 FT² OF VENTILATION FOR EACH 540 FT².
- MINIMUM NATURAL VENTILATION AREAS, WHERE MECHANICAL VENTILATION IS NOT PROVIDED, ARE:
 - BATHROOMS: 1 FT²
 - OTHER ROOMS: 3 FT²
 - UNFINISHED BASEMENT: 0.2% OF FLOOR AREA

MECHANICAL VENTILATION

- A MECHANICAL VENTILATION SYSTEM IS REQUIRED WITH A TOTAL CAPACITY AT LEAST EQUAL TO THE SUM OF:
 - 10.0 L/S EACH FOR BASEMENT AND MASTER BEDROOM
 - 5.0 L/S FOR EACH OTHER ROOM.
- A PRINCIPAL DWELLING EXHAUST FAN SHALL BE INSTALLED AND CONTROLLED BY A CENTRALLY LOCATED SWITCH IDENTIFIED AS SUCH.
- SUPPLEMENTAL EXHAUST SHALL BE INSTALLED SO THAT THE TOTAL CAPACITY OF ALL KITCHEN, BATHROOM AND OTHER EXHAUSTS, LESS THE PRINCIPAL EXHAUST, IS NOT LESS THAN THE TOTAL REQUIRED CAPACITY.
- A HEAT RECOVERY VENTILATOR MAY BE EMPLOYED IN LIEU OF EXHAUST TO PROVIDE VENTILATION. AN HRV IS REQUIRED IF ANY SOLID FUEL BURNING APPLIANCES ARE INSTALLED.

PERMITS

NO PERSON SHALL CONSTRUCT OR DEMOLISH A BUILDING OR CAUSE A BUILDING TO BE CONSTRUCTED OR DEMOLISHED UNLESS A PERMIT HAS BEEN ISSUED THEREFORE BY THE CHIEF BUILDING OFFICIAL.

-CONSTRUCT MEANS TO DO ANYTHING IN THE ERECTION, INSTALLATION, EXTENSION OR MATERIAL ALTERATION OR REPAIR OF A BUILDING AND INCLUDES THE INSTALLATION OF A BUILDING UNIT FABRICATED OR MOVED FROM ELSEWHERE AND “CONSTRUCTION” HAS A CORRESPONDING MEANING.

-DEMOLISH MEANS TO DO ANYTHING IN THE REMOVAL OF A BUILDING OR ANY MATERIAL PART THEREOF AND “DEMOLITION” HAS A CORRESPONDING MEANING.

AT EACH STAGE OF CONSTRUCTION SPECIFIED IN THE BUILDING CODE, THE CONSTRUCTOR OR OTHER APPOINTED PERSON SHALL NOTIFY THE CHIEF BUILDING OFFICIAL, WHERE APPLICABLE TO THE PROJECT (REFER TO OBC DIVISION C, SECTION 1.3.5.1), AND WHERE MANDATED BY THE APPROVED PERMIT DOCUMENTS, ISSUED BY THE LOCAL MUNICIPAL BUILDING DEPARTMENT.

ELECTRICAL INSTALLATION, REPAIR AND REPLACEMENT WORK NEEDS TO BE DONE IN COMPLIANCE WITH THE ONTARIO ELECTRICAL SAFETY CODE. IT IS THE CONSTRUCTOR’S RESPONSIBILITY TO OBTAIN ALL/ANY PERMIT (ALSO CALLED A NOTIFICATION) NECESSARY UNDER THE ELECTRICAL SAFETY AUTHORITY (ESA).

HVAC SYSTEMS SHALL BE CLEANED, AS DETERMINED BY A QUALIFIED PERSON, IN ACCORDANCE WITH INDUSTRY STANDARD FOR THE ASSESSMENT, CLEANING AND RESTORATION OF HVAC SYSTEMS. SHOULD PARTIAL, SUBSTANTIAL OR COMPLETE REMOVAL AND REPLACEMENT BE DEEMED REQUIRED, THE LOCAL MUNICIPAL BUILDING DEPARTMENT MAY REQUIRE A BUILDING PERMIT FOR REPAIR. IT IS THE CONSTRUCTOR’S RESPONSIBILITY TO COORDINATE WITH THE MUNICIPAL INSPECTOR, SHOULD A BUILDING PERMIT REQUIRED BASED ON THE SCOPE OF WORK. THE MECHANICAL CONTRACTOR SHALL COMPLETE HEAT LOSS CALCULATIONS AND DRAWINGS BY A QUALIFIED DESIGNER (PERSON SHALL MEET THE REQUIREMENTS SET OUT IN THE BUILDING CODE TO BE A DESIGNER), SHOULD A BUILDING PERMIT BE REQUIRED, SUBMITTING TO THE LOCAL MUNICIPAL BUILDING DEPARTMENT IN ORDER TO OBTAIN A BUILDING PERMIT.

ANY TREE(S) THAT FALL WITHIN THE CONSTRUCTION AREA, SHALL BE PROTECTED IN CONFORMANCE WITH THE APPLICABLE REGULATIONS OR BY-LAWS, AS GOVERNED BY THE MUNICIPALITY. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY REQUISITE PERMITS. PRIOR TO ACCESSING A TREE PROTECTION ZONE, DAMAGING OR REMOVING A TREE(S), THE CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS.

ABBREVIATIONS

&	AND	OD	OUTSIDE DIAMETER
@	AT	OF	OUTSIDE FACE
ADD’L	ADDITIONAL	OHSA	OCCUPATIONAL HEALTH AND SAFETY ACT
B/W	BETWEEN	OSB	ORIENTED STRAND BOARD
BLL	BOTTOM LOWER LAYER	PL	PLATE
BOT	BOTTOM	PLA	POINT LOAD ABOVE
BUL	BOTTOM UPPER LAYER	PLY	PLYWOOD
CANT	CANTILEVER	PA	POST ABOVE
CI	CONTINUOUS INSULATION	PT	PRESSURE TREATED
CL	CENTERLINE	RA	ROOFING APPLICATION
CMA	CARBON MONOXIDE ALARM	REINF	REINFORCING
CMU	CONCRETE MASONRY UNIT	R/W	REINFORCED WITH
COL	COLUMN	SA	SMOKE ALARM
CONT	CONTINUOUS	SIM	SIMILAR
C/W	COMPLETE WITH	SM	SHEATHING MEMBRANE
DJ	DOUBLE JOIST	SOG	SLAB ON GRADE
DL	DEAD LOAD	SPDD	STANDARD PROCTOR DRY DENSITY
EA	EACH	SPP	SECONDARY PLANE OF PROTECTION
EF	EACH FACE	TF	FACTORED TENSION
EL	ELEVATION	THK	THICK
EW	EACH WAY	TJ	TRIPLE JOIST
EX	EXISTING	TL	TOTAL LOAD (DL+LL)
EXT	EXTERIOR	TLL	TOP LOWER LAYER
FJ	FLOOR JOIST	TO	TOP OF
FTG	FOOTING	TOS	TOP OF SLAB/STEEL
GL	GRID LINE	TUL	TOP UPPER LAYER
GT	GIRDER TRUSS	TYP	TYPICAL
HORZ	HORIZONTAL	T&G	TONGUE AND GROOVE
IF	INSIDE FACE	UDL	UNIFORMLY DISTRIBUTED LOAD
LG	LONG	UNO	UNLESS NOTED OTHERWISE
LLV	LONG LEG VERTICAL	U/S	UNDERSIDE
LL	LIVE LOAD	VERT	VERTICAL
LVL	LAMINATED VENEER LUMBER	VB&AB	VAPOUR BARRIER AND AIR BARRIER
MAX	MAXIMUM	VF	FACTORED SHEAR
MF	FACTORED MOMENT	WME	WOOD MOISTURE EQUIVALENT
MIN	MINIMUM	WWM	WELDED WIRE MESH
MMAH	MINISTRY OF MUNICIPAL AFFAIRS AND HOUSING	W/	WITH
NTS	NOT TO SCALE		
OBC	ONTARIO BUILDING CODE		
OC	ON CENTER		

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Table 3.1.1.2.A (IP)
ZONE 1 - Compliance Packages for Space Heating Equipment with AFUE ≥ 92%
Forming Part of Sentence 3.1.1.2.(1)

Component	Thermal Values ⁽⁸⁾	Compliance Package					
		A1	A2	A3	A4	A5	A6
Ceiling with Attic Space	Min. Nominal R ⁽¹⁾	60	60	50	60	50	60
	Max. U ⁽²⁾	0.017	0.017	0.020	0.017	0.020	0.017
	Min. Effective R ⁽²⁾	59.22	59.22	49.23	59.22	49.23	59.22
Ceiling Without Attic Space	Min. Nominal R ⁽¹⁾	31	31	31	31	31	31
	Max. U ⁽²⁾	0.036	0.036	0.036	0.036	0.036	0.036
	Min. Effective R ⁽²⁾	27.65	27.65	27.65	27.65	27.65	27.65
Exposed Floor	Min. Nominal R ⁽¹⁾	31	31	35	31	35	31
	Max. U ⁽³⁾	0.034	0.034	0.031	0.034	0.031	0.034
	Min. Effective R ⁽³⁾	29.80	29.80	32.02	29.80	32.02	29.80
Walls Above Grade	Min. Nominal R ⁽¹⁾	22	19 + 5 ci	14 + 7.5 ci	22 + 5 ci	19 + 5 ci	22 + 5 ci
	Max. U ⁽³⁾	0.059	0.049	0.054	0.047	0.049	0.047
	Min. Effective R ⁽³⁾	17.03	20.32	18.62	21.40	20.32	21.40
Basement Walls ⁽⁶⁾	Min. Nominal R ⁽¹⁾	20 ci	12 +10 ci	20 ci	20 ci	12 + 5 ci	20 ci
	Max. U ⁽⁴⁾	0.047	0.048	0.047	0.047	0.063	0.047
	Min. Effective R ⁽⁴⁾	21.12	20.84	21.12	21.12	15.96	21.12
Below Grade Slab Entire Surface > 600 mm Below Grade	Min. Nominal R ⁽¹⁾	—	—	—	—	—	—
	Max. U ⁽⁴⁾	—	—	—	—	—	—
	Min. Effective R ⁽⁴⁾	—	—	—	—	—	—
Heated Slab or Slab ≤ 600 mm Below Grade	Min. Nominal R ⁽¹⁾	10	10	10	10	10	10
	Max. U ⁽⁴⁾	0.090	0.090	0.090	0.090	0.090	0.090
	Min. Effective R ⁽⁴⁾	11.13	11.13	11.13	11.13	11.13	11.13
Edge of Below Grade Slab ≤ 600 mm Below Grade	Min. Nominal R ⁽¹⁾	10	10	10	10	10	10
Windows and Sliding Glass Doors	Max. U ⁽⁵⁾	0.28	0.28	0.25	0.28	0.28	0.28
	Energy Rating	25	25	29	25	25	25
Skylights	Max. U ⁽⁵⁾	0.49	0.49	0.49	0.49	0.49	0.49
Space Heating Equipment	Min. AFUE	96%	96%	94%	96%	94%	92%
HRV	Min. SRE	75%	75%	81%	75%	70%	65%
Domestic Water Heater ⁽⁷⁾	Min. EF	0.80	0.70	0.67	0.67	0.80	0.80
Column 1	2	3	4	5	6	7	8

HEAT TRANSFER, AIR LEAKAGE AND CONDENSATION CONTROL

INSULATION & WEATHERPROOFING

ASSEMBLY	INSULATING VALUE (R)
CEILING WITH ATTIC	60
ROOF WITHOUT ATTIC	31
EXTERIOR WALL	22
FOUNDATION WALL	20 CI
FOUNDATION >50% EXPOSED	24
EXPOSED FLOOR	31
UNHEATED SLABS ON GRADE	10
HEATED SLABS ON GRADE	10
SUPPLY DUCTS IN HEATED SPACE	12

-INSULATION SHALL BE PROTECTED WITH GYPSUM BOARD OR AN EQUIVALENT INTERIOR FINISH, EXCEPT FOR UNFINISHED BASEMENTS WHERE 6 MIL POLY IS SUFFICIENT FOR FIBERGLASS TYPE INSULATIONS.

-DUCTS PASSING THROUGH UNHEATED SPACE SHALL BE MADE AIRTIGHT WITH TAPE OR SEALANT.

-CAULKING SHALL BE PROVIDED FOR ALL EXTERIOR DOORS AND WINDOWS BETWEEN THE FRAME AND THE EXTERIOR CLADDING.

-WEATHERSTRIPPING SHALL BE PROVIDED ON ALL DOORS AND ACCESS HATCHES TO THE EXTERIOR, EXCEPT DOORS FROM A GARAGE TO THE EXTERIOR.

-EXTERIOR WALLS, CEILINGS AND FLOORS SHALL BE CONSTRUCTED SO AS TO PROVIDE A CONTINUOUS BARRIER TO THE PASSAGE OF WATER VAPOUR FROM THE INTERIOR AND TO THE LEAKAGE OF AIR FROM THE EXTERIOR.

Notes to Table 3.1.1.2.A (IP):

- (1) The values listed are minimum Nominal R-Values for the thermal insulation component only.
- (2) U-Value and effective R value shall include entire ceiling assembly components, from interior air film to vented space air film above insulation.
- (3) U-Value and effective R value shall include entire exposed floor or above grade wall assembly components, from interior air film to exterior air film.
- (4) U-Value and effective R value shall include entire basement wall or slab assembly components and interior air film.
- (5) U-Value is the overall coefficient of heat transfer for a window assembly, sliding glass door assembly or skylight assembly expressed in Btu/(h•ft²•F).
- (6) In the case of basement wall assemblies, where R20 ci is required R12 + 10 ci is permitted to be used or vice versa; or where R12 + 5 ci is required, R15 ci is permitted to be used or vice versa.
- (7) If an EF of a water tank is not indicated in a compliance package, there is no EF requirement for water tank for that specific compliance package.
- (8) Nominal and effective R values are expressed in (h•ft²•F)/Btu. U-Values are expressed in Btu/(h•ft²•F).



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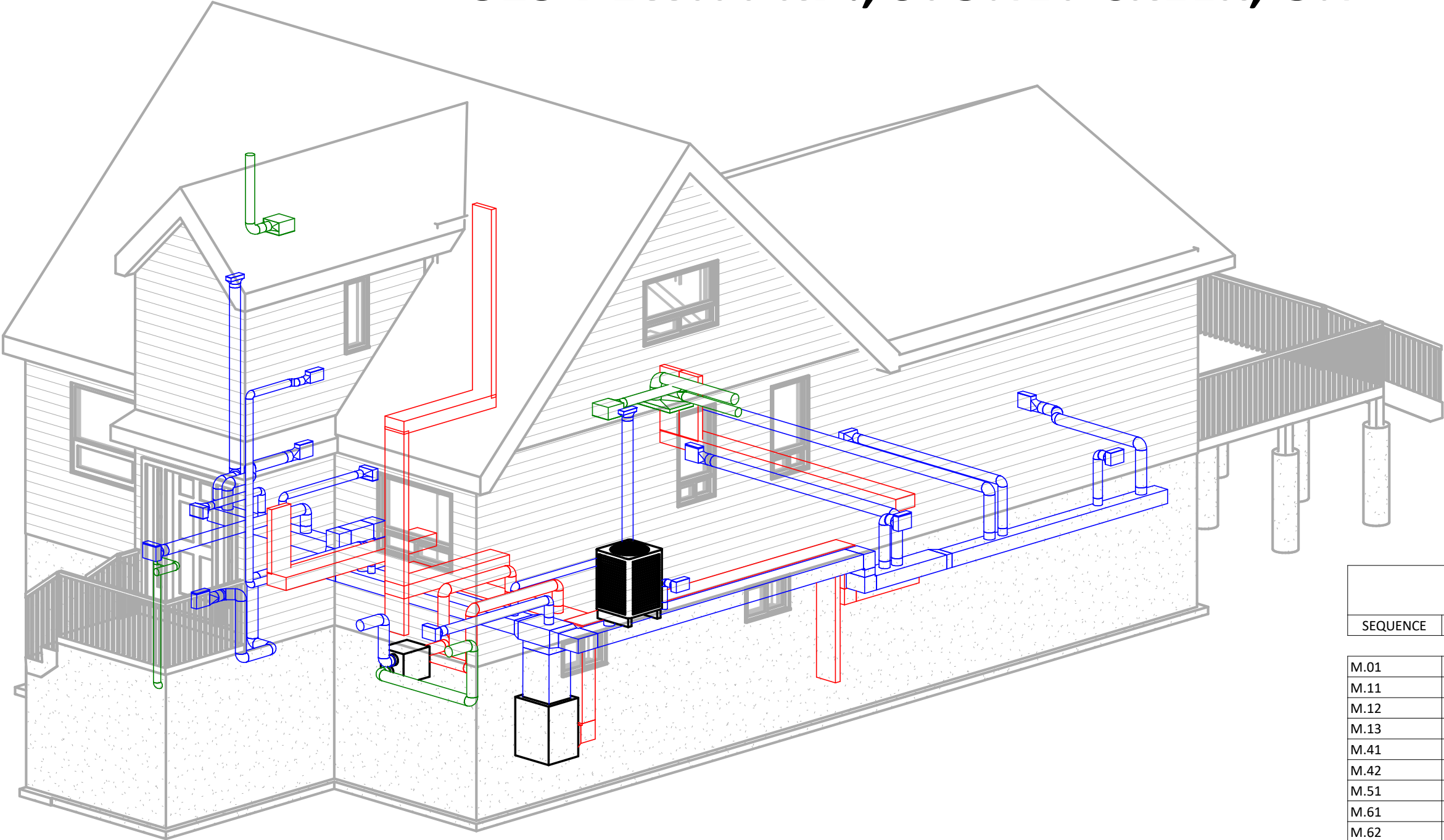
REV.	DATE	DESCRIPTION
1	FEB 24/2020	CLAIM QUANTIFICATION
2	FEB 27/2020	CLAIM QUANTIFICATION - REVISION 1
3	MAY 22/2020	ISSUED FOR CLIENT REVIEW
4	JUNE 6/2020	ISSUED FOR CLIENT REVIEW
5	JUNE 8/2020	ISSUED FOR CLIENT REVIEW
6	JUNE 25/2020	ISSUED FOR PERMIT

ADDRESS 325 DEWITT ROAD, STONEY CREEK, ON.	FILE 2002-1001-MD
CLIENT DESJARDINS GENERAL INSURANCE GROUP	SEQUENCE 6.06
TITLE GENERAL NOTES	SHEET A0.08

FIRE DAMAGE - NEW CONSTRUCTION - MECHANICAL

325 DEWITT RD., STONEY CREEK, ON

INTENTIONAL BLANK SPACE PER HAMILTON BUILDING



Sheet List		
SEQUENCE	SHEET TITLE	SHEET NAME
M.01	M.01	TITLE PAGE
M.11	M.11	HVAC PLAN AND NOTES
M.12	M.12	HVAC PLAN AND LEGEND
M.13	M.13	HVAC PLAN AND NOTES
M.41	M.31	HVAC HEAT LOSS CALCULATION
M.42	M.32	HVAC CALCULATIONS
M.51	M.33	SCHEDULES
M.61	M.61	MECHANICAL SPECIFICATIONS - GENERAL
M.62	M.62	MECHANICAL SPECIFICATIONS - HVAC



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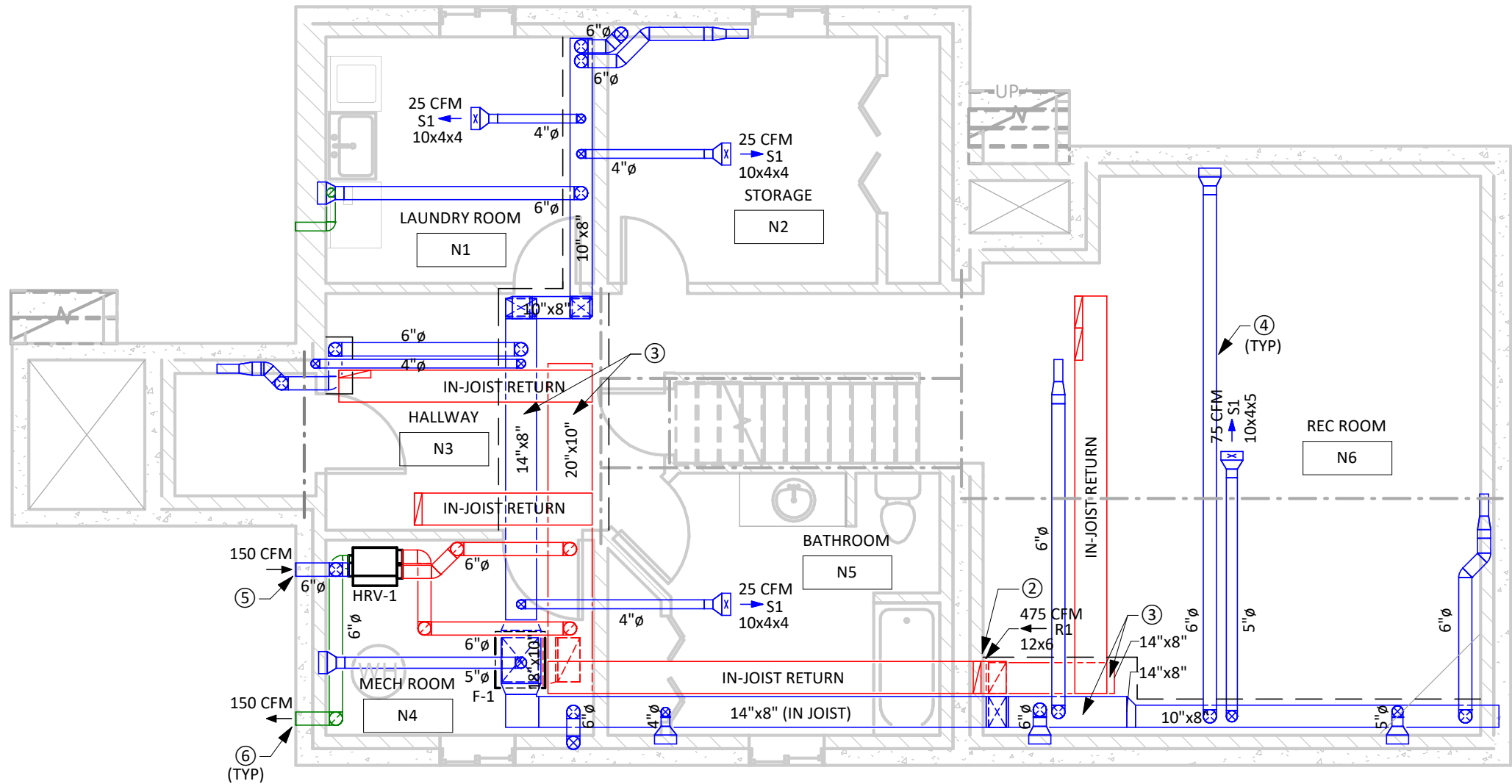
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CLIENT DESJARDINS GENERAL INSURANCE GROUP	SEQUENCE M.01
TITLE TITLE PAGE	SHEET M.01



INTENTIONAL BLANK SPACE PER HAMILTON BUILDING

- HVAC KEY NOTES (APPLICABLE TO ALL HVAC PLANS)**
- ① RETURN GRILLE TO BE INSTALLED AT HIGH LEVEL BELOW CEILING SPACE.
 - ② RETURN GRILLE TO BE INSTALLED AT LOW LEVEL ABOVE FINISHED FLOOR.
 - ③ DUCTWORK TO BE INSTALLED TIGHT TO U/S OF JOISTS. INSTALL DUCTWORK IN A MANNER THAT WILL REDUCE BULKHEAD SIZE TO A MINIMUM.
 - ④ ALL DUCTWORK TO RUN IN BETWEEN JOISTS WHERE POSSIBLE.
 - ⑤ HRV INTAKE TO BE INSTALLED A MINIMUM OF:
 - 3' AWAY FROM GAS SERVICE REGULATOR, AND
 - 6' AWAY FROM ALL GAS APPLIANCE VENT TERMINALS.
 - ⑥ ALL SUPPLY/EXHAUST DUCTWORK TERMINATING THROUGH EXTERIOR WALL TO BE INSTALLED C/W APPROPRIATE LOUVER.
 - ⑦ ALL EXHAUST DUCTWORK TERMINATING THROUGH ROOF TO BE INSTALLED C/W APPROPRIATE ROOF CAP.
 - ⑧ COORDINATE FINAL LOCATION OF CONDENSER WITH CONSTRUCTION PROJECT MANAGER PRIOR TO COMMENCING WORK.

1 NEW HVAC PLAN - BASEMENT
3/16" = 1'-0"



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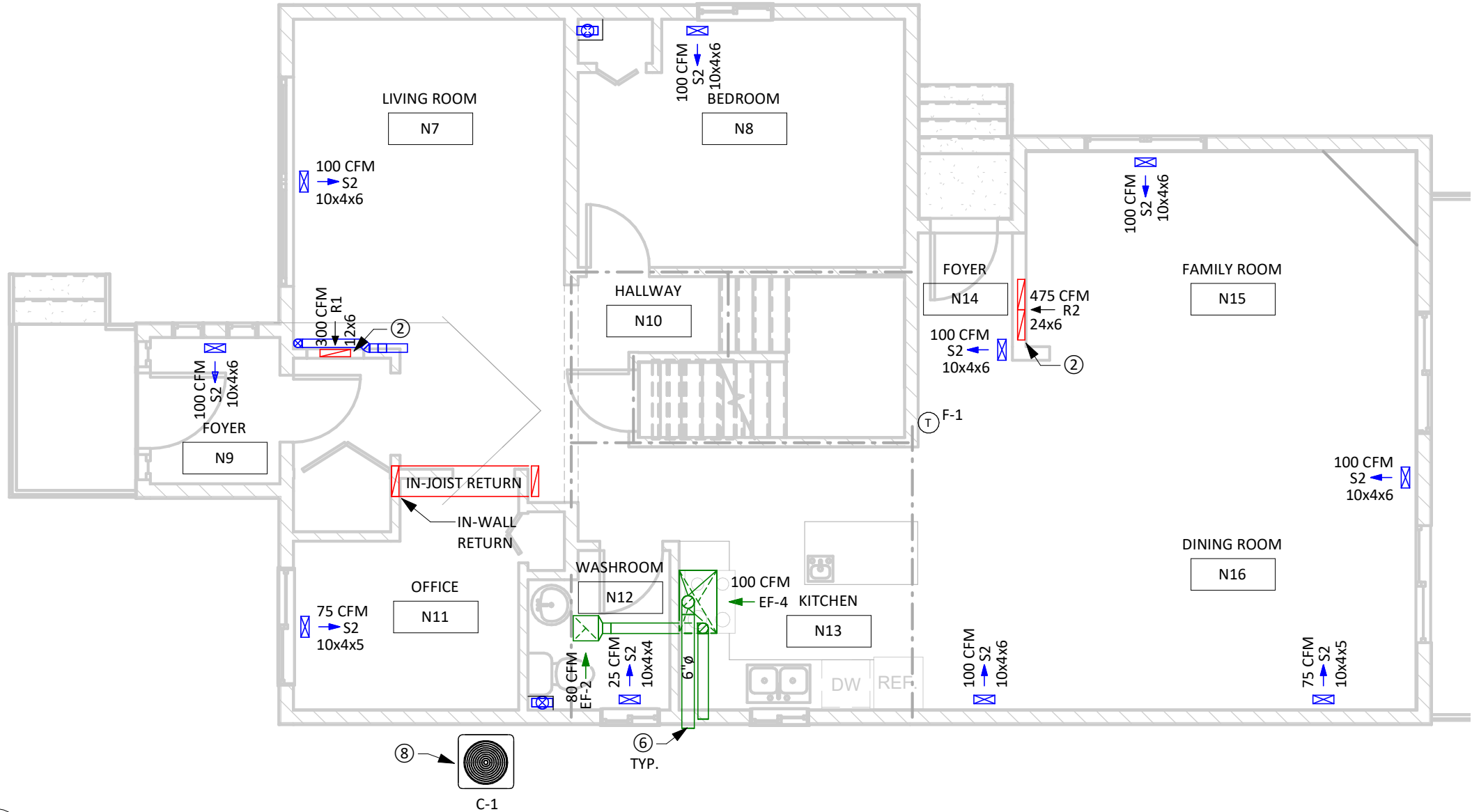
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CLIENT DESJARDINS GENERAL INSURANCE GROUP	SEQUENCE M.11
TITLE HVAC PLAN AND NOTES	SHEET M.11



1 NEW HVAC PLAN - LEVEL 1
3/16" = 1'-0"

HVAC LEGEND			
SYMBOL	DESCRIPTION		
	THERMOSTAT SERVING HEATING SYSTEM 'A'		
	SMOKE ALARM / SMOKE DETECTOR		
FD	FIRE DAMPER		
	SUPPLY AIR (BLUE ANNOTATIONS) A. INDICATES TYPE OF DIFFUSER/GRILLE B. INDICATES SIZE OF DIFFUSER/GRILLE & NECK SIZE C. INDICATES CAPACITY FOR EACH		
	RETURN AIR (RED ANNOTATIONS) A. INDICATES TYPE OF DIFFUSER/GRILLE B. INDICATES SIZE OF DIFFUSER/GRILLE & NECK SIZE C. INDICATES CAPACITY FOR EACH		
	EXHAUST AIR (GREEN ANNOTATIONS) A. INDICATES TYPE OF DIFFUSER/GRILLE B. INDICATES SIZE OF DIFFUSER/GRILLE & NECK SIZE C. INDICATES CAPACITY FOR EACH		

DIFFUSERS, GRILLES AND REGISTERS			
NO.	TYPE	SPEC	REMARKS
S1	CEILING SUPPLY	BY G.C.	SIZE AS NOTED ON DRAWINGS.
S2	FLOOR SUPPLY	BY G.C.	SIZE AS NOTED ON DRAWINGS.
R1	12"x6" IN-WALL RETURN	BY G.C.	
R2	24"x6" IN-WALL RETURN	BY G.C.	



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CLIENT DESJARDINS GENERAL INSURANCE GROUP	SEQUENCE M.12
TITLE HVAC PLAN AND LEGEND	SHEET M.12

INTENTIONAL BLANK SPACE PER HAMILTON BUILDING

HVAC GENERAL DRAWING NOTES (APPLICABLE TO ALL HVAC PLANS)

ALL 90 DEG SUPPLY & RETURN ELBOWS SHALL HAVE SMOOTH RADIUS, SQUARE ELBOWS SHALL BE C/W TURNING VANES.

COORDINATE ALL DUCT ROUTING WITH EXISTING/NEW STRUCTURE. IF NOTCHING OF FRAMING ELEMENTS IS REQUIRED, DIVISION 23 IS TO OBTAIN APPROVAL FROM THE STRUCTURAL ENGINEER PRIOR TO COMMENCING WORK. NOTCHING FRAMING ELEMENTS SHALL NOT BE CONDUCTED BEYOND THE PRESCRIPTIVE LIMITS OF THE ONTARIO BUILDING CODE.

UNLESS OTHERWISE NOTED, QUANTITIES AND SIZES INDICATED ON DRAWING ARE:
- CUBIC FEET PER MINUTE, FOR AIR FLOW
- INCHES, FOR DIMENSIONS

FOR VENT OR DUCT PASSING THROUGH FIRE RATED ASSEMBLY DIVISION 23 SHALL PROVIDE APPROPRIATE FIRE CLOSURE (DAMPER, CAULKING, FIRE DONUT). RATING OF FIRE CLOSURE TO MATCH RATING OF FIRE RATED ASSEMBLY THROUGH WHICH IT PASSES. REFER TO RESTORATION DRAWINGS FOR RATED ASSEMBLIES AND THEIR RESPECTIVE RATINGS.

ALL DEVICES SHOWN ARE NEW UNLESS OTHERWISE NOTED.

'REL' DENOTES EXISTING DEVICES TO BE RELOCATED. 'ETR' DENOTES EXISTING DEVICES TO REMAIN.

ALL DEVICES, EQUIPMENT AND DUCTWORK SHOWN WITH A GREYED-OUT LINE ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.

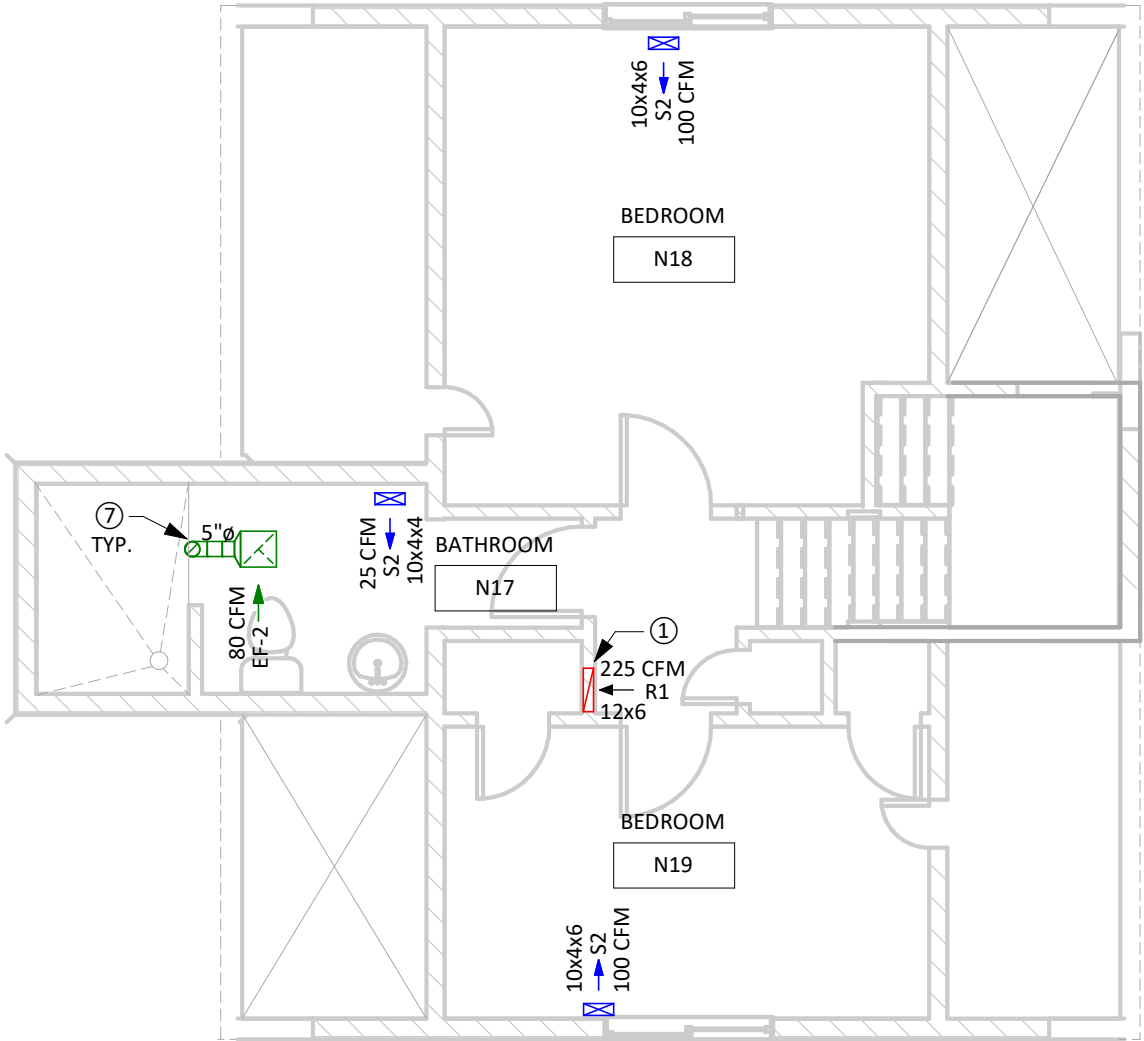
ALL OPENINGS THAT RESULT FROM THE REMOVAL OF EQUIPMENT, DEVICES AND/OR SERVICES SHALL BE INFILLED BY THE GENERAL CONTRACTOR. DIVISION 23 IS RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED TO SUIT THE INSTALLATION OF ANY NEW EQUIPMENT. ALL PATCHING SHALL BE WITH NEW MATERIALS TO SUIT EXISTING AND NEW CONSTRUCTION TO THE SATISFACTION OF THE ENGINEER.

IT IS THE RESPONSIBILITY OF DIVISION 23 TO REVIEW ALL DRAWINGS AND ON-SITE CONDITIONS TO DETERMINE THE EXACT EXTENT OF WORK.

DIVISION 23 TO SUPPLY & INSTALL THERMOSTAT IN LOCATIONS INDICATED ON PLANS. DIVISION 23 SHALL PROVIDE INSULATED BACKBOARD WHERE THE THERMOSTAT IS INSTALLED ON AN EXTERIOR WALL. REFER TO HVAC EQUIPMENT SCHEDULE ON DRAWING M.51 FOR DETAILS.

THE CONTRACTOR SHALL COORDINATE THIS WORK WITH THE WORK OF ALL OTHER TRADES ON SITE AND SHALL COOPERATE TO EFFECT A COMPLETE AND OPERATIONAL SYSTEM WHICH MEETS ALL REQUIREMENTS NOTED.

ALL SUPPLY DUCTWORK TO BE INSTALLED C/W VOLUME DAMPER NEAR TERMINATION.



1 NEW HVAC PLAN - LEVEL 2
3/16" = 1'-0"



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CLIENT DESJARDINS GENERAL INSURANCE GROUP	SEQUENCE M.13
TITLE HVAC PLAN AND NOTES	SHEET M.13

HEAT GAIN / HEAT LOSS CALCULATION													
AREA		2349.00 SF							LOCATION:		325 DeWitt Rd., Stoney Creek, ON		
EXTERIOR WALL		369.58 LINEAR FT											
HEAT LOSS FACTORS					HEAT GAIN FACTORS					HEAT GAIN			
					CONDUCTED HEAT GAIN		SOLAR HEAT GAIN	TOTAL HEAT GAIN					
	QUANTITY	UNTS	CALCULATED HEATLOSS Btu/hr	CALCULATED HEATLOSS Watts	CONDUCTED SENSIBLE HEAT GAIN Btu/hr	CONDUCTED LATENT HEAT GAIN Btu/hr	SOLAR GAIN Btu/hr	TOTAL SENSIBLE HEAT GAIN	TOTAL LATENT HEAT GAIN	TOTAL HEAT GAIN Btu/hr	TOTAL HEAT GAIN tons	CFM	l/s
NORTH EXPOSURE													
EXTERIOR WALL	869.21	sf	2,844.68	833.73	497.82			497.82		497.82	0.04	16.59	7.83
WINDOW	48.79	sf	949.46	278.27	166.16		614.78	780.93		780.93	0.07	26.03	12.29
SKY LIGHTS		sf											
DOOR		sf											
INFILTRATION		lf											
EAST EXPOSURE													
EXTERIOR WALL	494.14	sf	1,617.19	473.97	283.01			283.01		283.01	0.02	9.43	4.45
WINDOW	52.53	sf	1,022.16	299.58	178.88		4,141.29	4,320.17		4,320.17	0.36	144.01	67.96
SKY LIGHTS		sf											
DOOR	20.00	sf	1,799.82	527.50	314.97			314.97		314.97	0.03	10.50	4.95
INFILTRATION	19.33	lf	2,555.54	748.98	447.22	737.48		447.22	737.48	1,184.70	0.10	39.49	18.64
SOUTH EXPOSURE													
EXTERIOR WALL	824.75	sf	2,699.19	791.09	472.36			472.36		472.36	0.04	15.75	7.43
WINDOW	70.14	sf	1,364.86	400.02	238.85		4,180.28	4,419.13		4,419.13	0.37	147.30	69.52
SKY LIGHTS		sf											
DOOR	17.78	sf	1,599.84	468.89	279.97			279.97		279.97	0.02	9.33	4.40
INFILTRATION	18.67	lf	2,467.41	723.16	431.80	712.05		431.80	712.05	1,143.84	0.10	38.13	17.99
WEST EXPOSURE													
EXTERIOR WALL	510.54	sf	1,670.86	489.70	292.40			292.40		292.40	0.02	9.75	4.60
WINDOW	16.51	sf	321.35	94.18	56.24		1,284.12	1,340.36		1,340.36	0.11	44.68	21.09
SKY LIGHTS		sf											
DOOR	32.28	sf	2,905.00	851.41	508.38			508.38		508.38	0.04	16.95	8.00
INFILTRATION	23.17	lf	3,062.45	897.55	535.93	883.76		535.93	883.76	1,419.69	0.12	47.32	22.33
COMMON LOADS													
INT. WALL		sf											
CEILING	2,349.00	sf	2,818.00	826.14	493.29			493.29		493.29	0.04	16.44	7.76
PERIMETER	369.58	lf	4,656.75	1,364.82									
FLOOR	2,349.00	sf	2,864.26	839.47									
PEOPLE	4.00	# people			920.00	760.00		920.00	760.00	1,680.00	0.14	56.00	26.43
COMPUTERS		# computers											
LIGHTING		watts											
EQUIPMENT		Btu/hr											
MISCELLANEOUS 1		Btu/hr											
MISCELLANEOUS 2		Btu/hr											
VENTILATION *	37.50	cfm	2,916.00	854.63	510.30	841.50		510.30	841.50	1,351.80	0.11	45.06	21.27
TOTAL			Btu/hr	Watts	Btu/hr	Btu/hr	Btu/hr	Btu/hr	Btu/hr	Btu/hr	tons AC	cfm	l/s
			39,941	11,706	6,594	3,879	10,220	16,814	3,879	20,693	1.72	690	326

INTENTIONAL BLANK SPACE PER HAMILTON BUILDING



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CLIENT DESJARDINS GENERAL INSURANCE GROUP	SEQUENCE M.41
TITLE HVAC HEAT LOSS CALCULATION	SHEET M.31

OBC 2012 - 9.32.3.3 VENTILATION CALCULATION				
ROOM NUMBER	ROOM NAME	OCCUPANCY CATEGORY FROM TABLE 9.32.3.3	Capacity	Capacity
			(L/s)	(cfm)
N1	LAUNDRY ROOM	Laundry Room	5	10.0
N2	STORAGE	Other Habitable Rooms	5	10.0
N3	HALLWAY	N/A	0	0.0
N4	MECH ROOM	Utility Room	5	10.0
N5	BATHROOM	Bathroom	5	10.0
N6	REC ROOM	Recreation Room	5	10.0
N7	LIVING ROOM	Living Room	5	10.0
N8	BEDROOM	Bedroom	5	10.0
N9	FOYER	N/A	0	0.0
N10	HALLWAY	N/A	0	0.0
N11	OFFICE	Other Habitable Rooms	5	10.0
N12	WASHROOM	Bathroom	5	10.0
N13	KITCHEN	Kitchen	5	10.0
N14	FOYER	N/A	0	0.0
N15	FAMILY ROOM	Family Room	5	10.0
N16	DINING ROOM	Dining Room	5	10.0
N17	BATHROOM	Bathroom	5	10.0
N18	BEDROOM	Bedroom	5	10.0
N19	BEDROOM	Bedroom	5	10.0
MINIMUM OUTDOOR AIR REQUIREMENT (cfm)				150
DESIGN OUTDOOR AIR FLOW (cfm)				150

INTENTIONAL BLANK SPACE PER HAMILTON BUILDING

AIR BALANCE SCHEDULE														
MARK	SUPPLY/ MAKE-UP AIR		RETURN AIR		OUTSIDE AIR		CONDITIONED OUTSIDE AIR		RELIEF/ EXHAUST AIR		PRESSURE		MIXED AIR TEMP	
	L/S	CFM	L/S	CFM	L/S	CFM	L/S	CFM	L/S	CFM	L/S	CFM	C	F
F-1	566	1,200	566	1,200									24	75
HRV-1	71	150	71	150	18	38	53	113	71	150				
TOTAL	637	1,350	637	1,350	18	38	53	113	71	150				



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CLIENT	DESJARDINS GENERAL INSURANCE GROUP	SEQUENCE	M.42
TITLE	HVAC CALCULATIONS	SHEET	M.32

HVAC EQUIPMENT SCHEDULE																		
TAG	MODEL	MFR	NOMINAL TONS	CFM	L/S	WG	PA	VOLT	PHASE	HP	KW	COOLING (MBH)	HEATING INPUT (MBH)		HEATING OUTPUT (MBH)		MIN EER	REMARKS
													LOW	HIGH	LOW	HIGH		
F-1	TM9Y060B12MP11	YORK	-	1,200	566	-	-	120	1	0.50	0.82	-	39.0	60.0	37.0	58.0	-	
C-1	YFE24B21S	YORK	2.00	-	-	-	-	208-230	1	-	2.83	24	-	-	-	-	12.5	
IRV-1	100H Part # 1601706	VANCE	-	150	71	0.50	125	120	1		0.20	-	-	-	-	-	-	
NOTES																		
ALL EQUIPMENT LISTED ON THIS SCHEDULE ARE SUPPLIED & INSTALLED BY DIVISION 23 UNLESS OTHERWISE NOTED.																		
ALTERNATE MODELS WITH SIMILAR PERFORMANCE SPECIFICATIONS MAY BE APPROVED UPON ENGINEER'S REVIEW.																		
ALL UNITS SHALL HAVE FANS SET TO CONTINUOUSLY RUN.																		
AIR FLOWS SHOWN ABOVE ARE NOMINAL ONLY - REFER TO AIR BALANCE SCHEDULE FOR ACTUAL DESIGN AIR FLOWS.																		

INTENTIONAL BLANK SPACE PER HAMILTON BUILDING

FAN EQUIPMENT SCHEDULE												
TAG	APPLICATION	MODEL	MFR	CFM	L/S	WG	PA	VOLT	PHASE	HP	KW	REMARKS
EF-1	WASHROOM EXHAUST	AR80C	BROAN	80	38	0.10	25	120	1	0.06	0.04	5"Ø INSULATED RIGID DUCT FROM FAN C/W BACKDRAFT DAMPER AND EXHAUST LOUVER FOR WALL TERMINATION OR ROOF CAP FOR ROOF TERMINATION.
EF-2	WASHROOM EXHAUST	AR80C	BROAN	80	38	0.10	25	120	1	0.06	0.04	5"Ø INSULATED RIGID DUCT FROM FAN C/W BACKDRAFT DAMPER AND EXHAUST LOUVER FOR WALL TERMINATION OR ROOF CAP FOR ROOF TERMINATION.
EF-3	WASHROOM EXHAUST	AR80C	BROAN	80	38	0.10	25	120	1	0.06	0.04	5"Ø INSULATED RIGID DUCT FROM FAN C/W BACKDRAFT DAMPER AND EXHAUST LOUVER FOR WALL TERMINATION OR ROOF CAP FOR ROOF TERMINATION.
EF-4	KITCHEN HOOD EXHAUST	-	BY GC	100	47	-	-	120	1	-	-	HOOD TO BE SPECIFIED BY GENERAL CONTRACTOR. 6"Ø RIGID DUCT FROM FAN C/W BACKDRAFT DAMPER AND EXHAUST LOUVER FOR WALL TERMINATION OR ROOF CAP FOR ROOF TERMINATION.
NOTES ALL EQUIPMENT LISTED ON THIS SCHEDULE ARE SUPPLIED & INSTALLED BY DIVISION 23 UNLESS OTHERWISE NOTED. ALTERNATE MODELS WITH SIMILAR PERFORMANCE SPECIFICATIONS MAY BE APPROVED UPON ENGINEER'S REVIEW. THIS CONTRACTOR SHALL VERIFY THE VOLTAGES OF ALL MECHANICAL EQUIPMENT WITH DIVISION 26 PRIOR TO ORDERING.												



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DRAWINGS ARE SEALED FOR DESIGN PERTAINING THE RESTORATION OF LOSS RELATED DAMAGE AND ANY NOTED ALTERATION FROM THE AS-BUILT CONDITION. ELEMENT FORENSIC ENGINEERING HAS NOT CONDUCTED A DETAILED REVIEW OR REVERSE ENGINEERING ANALYSIS OF THE BUILDING FOR CONFORMITY WITH THE ONTARIO BUILDING CODE NOR THE LOCAL MUNICIPAL BYLAWS. AS A RESULT CANNOT BE HELD LIABLE OR RESPONSIBLE FOR THIS INFORMATION.

REV.	DATE	DESCRIPTION
1	JUNE 30/20	ISSUED FOR PERMIT

ADDRESS 325 DEWITT RD., STONEY CREEK, ON	FILE 2002-1001-MD
CLIENT DESJARDINS GENERAL INSURANCE GROUP	SEQUENCE M.51
TITLE SCHEDULES	SHEET M.33

MECHANICAL SPECIFICATIONS - GENERAL

GENERAL:

1. THE INSTRUCTIONS TO BIDDERS, CONSTRUCTION CONTRACT AND DIVISION 1 SHALL APPLY TO THIS SECTION AS IF WRITTEN IN FULL HEREIN.
2. SUPPLY AND INSTALL ALL ITEMS, ARTICLES, MATERIALS, OPERATIONS, INCLUDE ALL LABOUR, EQUIPMENT AND TOOLS NECESSARY TO COMPLETE ALL THE SYSTEMS SHOWN ON THE DRAWINGS RENDERING A COMPLETE AND OPERATING INSTALLATION.
3. VISIT AND INSPECT THE SITE AND ALL OTHER DRAWINGS. COORDINATE THE WORK OF THE LOCAL UTILITY GIVING ALL NOTICES AND DETAILS OF REQUIREMENTS. ALLOW FOR AND MAKE ADJUSTMENTS AS NECESSARY TO CONNECT TO THE SERVICES OF THE LOCAL UTILITY. NO ALLOWANCE WILL BE MADE FOR FAILURE TO DO SO. ALL FEES FOR THE WORK OF THE UTILITY IS TO BE PAID BY THE GENERAL CONTRACTOR.
4. THIS CONTRACTOR RESPONSIBLE FOR CARE OF THE BUILDING. DO ALL CUTTING PATCHING AND PAINTING REQUIRED FOR THE WORK OF THIS TRADE. PAINT ALL STEEL THAT IS NOT FACTORY FINISHED WITH RED LEAD PRIMER AND TOUCH UP ALL DAMAGED PAINTED EQUIPMENT SURFACES. WORK TO BE PERFORMED BY THIS CONTRACTOR AT THIS CONTRACTOR'S EXPENSE. INSTALL TEMPORARY CAPS OR CLOSERS ON THE ENDS OF ALL PIPES, CONDUITS, ETC., TO PREVENT THE ENTRY OF DEBRIS. CLEAN UP ALL DEBRIS DAILY AND REMOVE FROM THE SITE BEFORE COMPLETION OF CONTRACT. COOPERATE WITH ALL OTHER TRADES.
5. OBTAIN ALL PERMITS REQUIRED. ARRANGE FOR INSPECTION OF WORK BY INSPECTION AUTHORITY, PAY ALL FEES. RETAIN ALL INSPECTION CERTIFICATES. SUBMIT FINAL CERTIFICATES TO OWNER.
6. ALL WORK SHALL BE IN ACCORDANCE WITH ALL LAWS AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION. ALL EQUIPMENT AND MATERIALS SHALL BE NEW COMMERCIAL GRADE AND SHALL HAVE THE APPROPRIATE CSA, ULC OR CGA APPROVAL. BEFORE PROCEEDING WITH CHANGES REQUIRED BY LOCAL AUTHORITIES, CONSULT THE ENGINEER.
7. SHOP DRAWINGS: BEFORE DELIVERY OF ANY PIECE OF EQUIPMENT OR FIXTURES SUBMIT "5" COPIES OF SHOP DRAWINGS C/W ALL DATA PRE-CHECKED AND STAMPED ACCORDINGLY, TO OWNER FOR APPROVAL.
8. IDENTIFY ALL EQUIPMENT (I.E. HVAC UNITS, FANS, STARTERS ETC.) WITH SECURELY FASTENED BLACK LAMICOID NAMEPLATES WITH 3/8" ENGRAVED WHITE LETTERS.
9. FIRESTOPPING:
- FIRESTOPPING MATERIAL AND INSTALLATION WITHIN ANNULAR SPACE BETWEEN CONDUITS, SLEEVES AND ADJACENT FIRE SEPARATION TO BE ULC APPROVED.
- SERVICE PENETRATION COMPONENTS AND ASSEMBLIES, INCLUDING BACK-UP MATERIALS AND SUPPORTS SHALL BE CERTIFIED IN ACCORDANCE WITH CAN4-S115-M85, ULC-S101M-1980, UL 1479, DIN 4102 OR ASTM E814.
- COMBINED AND/OR BUILT-UP SITE SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH ULI, ULC, FM, FMPA OR SWR SYSTEM RESTRICTIONS AND TECHNICAL EVALUATION AS APPROVED BY AUTHORITIES HAVING JURISDICTION.

PRODUCTS:

- DOUBLE A/D DISTRIBUTORS LTD., FIREBARRIER FIRESTOPPING OR DOW CORNING CANADA INC., FIRE STOP SEALANT NO. 2000 AND FIRE STOP FOAM NO. 2001.
- THIS CONTRACTOR SHALL FIRESTOP ALL PENETRATIONS BETWEEN SERVICE SPACES AND OTHER FIRE SEPARATIONS. REFER TO ARCHITECTURAL DRAWINGS FOR FIRE SEPARATIONS.
10. RETAIN ONE CLEAN SET OF WHITE PRINTS ON THE SITE AND AS THE JOB PROGRESSES, MARK-UP THESE PRINTS TO ACCURATELY INDICATE THE WORK "AS BUILT". THESE WHITE PRINTS SHALL BE AVAILABLE FOR REVIEW AT THE SITE AT ALL TIMES. ON COMPLETION OF WORK, SUBMIT THESE PRINTS TO OWNER FOR REVIEW. SUBMIT 3 SETS OF AS BUILT AT END OF PROJECT.
11. SUBMIT A "CERTIFICATE OF GUARANTEE" OF WORKMANSHIP AND MATERIALS FOR ONE YEAR FROM THE DATE OF ACCEPTANCE. THIS GUARANTEE SHALL BIND THE CONTRACTOR TO CORRECT, REPAIR OR REPLACE PROMPTLY ANY DEFECTIVE EQUIPMENT OR WORKMANSHIP WITHOUT COST TO THE OWNER.
12. ON COMPLETION OF PROJECT SUBMIT 3 HARDCOVER "OPERATING AND MAINTENANCE MANUALS" FOR APPROVAL. THE MANUALS SHALL CONTAIN AN INDEX PAGE, TABBED DIVIDER PAGES, A LIST OF THE SUPPLIERS NAMES, ADDRESSES AND TELEPHONE NUMBERS, OPERATING AND MAINTENANCE INSTRUCTIONS FOR ALL EQUIPMENT, COPIES OF TEST CERTIFICATES, ETC., AND INCLUDING A COMPLETE SET OF APPROVED SHOP DRAWINGS.
13. CARRY ALL STRAPPING IS NOT PERMITTED TO BE USED IN ANY PART OF THIS PROJECT.
14. REPORT ANY DISCREPANCIES OR AMBIGUITIES TO OWNER BEFORE PRICING.

PROJECT RECORD DRAWINGS:

1. PRINTS OF THE DRAWINGS WILL BE KEPT ON SITE FOR RECORD PURPOSES. CLEARLY MARK ON THESE PRINTS IN RED, AS THE JOB PROGRESSES, ALL SITE CHANGES AND DEVIATIONS FROM THE ENGINEER'S DRAWINGS.
2. INDICATE DIMENSIONS OF BURIED SERVICES RELATIVE TO THE BUILDING COLUMN LINES, AND INVERTS RELATIVE TO FINISHED FLOOR LEVELS OR GRADES.
3. RECORD REVISIONS OR VARIATIONS COVERED BY AUTHORIZED CHANGES.
4. DURING THE CONSTRUCTION PERIOD, THIS CONTRACTOR SHALL RETAIN DRAWINGS ON SITE FOR THIS PURPOSE AND SHALL PROVIDE THESE DRAWINGS FOR REVIEW AS REQUESTED BY THE ENGINEER.
5. FINAL CERTIFICATE OF ACCEPTANCE WILL NOT BE ISSUED UNTIL ALL ITEMS ARE COMPLETE AND SATISFACTORY TO THE OWNER.

INTENTIONAL BLANK SPACE PER HAMILTON BUILDING



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BURLINGTON | CAMBRIDGE | OSHAWA

-ALL DRAWINGS AND RELATED DOCUMENTS ARE COPYRIGHT PROPERTY. THEY MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT THE EXPRESSED WRITTEN CONSENT OF ELEMENT FORENSIC ENGINEERING.
-CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME, REPORTING ANY DISCREPANCIES TO ELEMENT FORENSIC ENGINEERING PRIOR TO COMMENCEMENT OF WORK.
-LATEST APPROVED DRAWINGS GOVERN CONSTRUCTION.
-DO NOT SCALE DRAWINGS.



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REV.	DATE	DESCRIPTION
1	JUNE 30/20	ISSUED FOR PERMIT

ADDRESS 325 DEWITT RD., STONEY CREEK, ON	FILE 2002-1001-MD
CLIENT DESJARDINS GENERAL INSURANCE GROUP	SEQUENCE M.61
TITLE MECHANICAL SPECIFICATIONS - GENERAL	SHEET M.61

MECHANICAL SPECIFICATIONS - HVAC

1. THE GENERAL SPECIFICATIONS FOR THIS JOB SHALL APPLY TO THIS CONTRACTOR AS IF WRITTEN HEREIN IN FULL.

2. HVAC UNIT:
AIR CONDITIONING UNITS SHALL BE AS PER HVAC UNIT SCHEDULE. DOWN DISCHARGE (OR SIDE DISCHARGE - REFER TO PLANS), SINGLE PACKAGE AIR-TO-AIR DX MECHANICAL COOLING SYSTEM AND GAS FIRED (OR ELECTRIC) HEATING SYSTEM - AS SPECIFIED IN HVAC SCHEDULE, COMPLETE WITH AUTOMATIC CONTROLS. MULTIPLE COMPRESSORS SHALL BE RESILIENTLY MOUNTED, HAVE OVERLOAD PROTECTION AND CRANKCASE HEATERS. ALL MODELS SHALL HAVE LOW AMBIENT OPERATION DOWN TO 0 DEG F. ALL UNITS SHALL BE C/W INTEGRATED MODULAR CONTROL, FACTORY INSTALLED AND WIRED COMPLETE WITH RETURN AIR SENSOR, DISCHARGE AIR SENSOR, OUTDOOR AIR SENSOR, A HIGH PRESSURE, LOW PRESSURE, AND FREEZESTAT SWITCH ON EACH REFRIGERATION CIRCUIT. THE CABINET SHALL BE GALVANIZED STEEL WITH POWDERED ENAMEL PAINT FINISH. CABINET PANELS WHERE CONDITIONED AIR IS HANDLED SHALL BE FULLY INSULATED. CONDENSATE DRAIN FOR EVAPORATOR COIL SHALL EXTEND OUTSIDE CABINET AND PVC CONDENSATE TRAP SUPPLIED WITH EACH UNIT FOR FIELD INSTALLATION. CENTRIFUGAL SUPPLY AIR BLOWER SHALL HAVE BALL BEARINGS AND ADJUSTABLE BELT DRIVE. ALL UNITS LARGER THAN 3 TONS SHALL BE COMPLETE WITH ECONOMIZER, FRESH AIR TEMPERING KITS, RECIRCULATED AIR DAMPERS, OUTSIDE AIR DAMPERS & CONTROLS, AND GRAVITY EXHAUST DAMPERS. OUTDOOR AIR HOOD SHALL BE SUPPLIED WITH UNIT FOR FIELD INSTALLATION. DISPOSABLE 2" THICK PLEATED THROWAWAY FILTERS SHALL BE FURNISHED WITH HVAC UNIT. FOR ROOF MOUNTED UNITS, FURNISH AND INSTALL A STEEL ROOF MOUNTING FRAME FOR BOTTOM DISCHARGE AND RETURN AIR CONNECTION. PROVIDE 10 CONDUCTOR THERMOSTAT CABLE FROM UNIT TO THERMOSTAT LOCATION. DIVISION 23 TO SUPPLY, INSTALL AND ACTIVATE A SUITABLE PROGRAMMABLE THERMOSTAT FOR ALL HVAC UNITS UNLESS OTHERWISE NOTED.

TEMPERATURE RANGE: 6 DEG C TO 31 DEG C ALUMINIZED HEAT EXCHANGERS SHALL HAVE 10 YEARS WARRANTY, COMPRESSORS SHALL HAVE FULL FIVE YEARS WARRANTY & ALL OTHER COMPONENTS HAVE A ONE YEAR WARRANTY. BOTTOM ENTRY FOR ELECTRICAL POWER SHALL BE FURNISHED. ALL UNITS SHALL BE COMPLETE WITH DISCONNECT SWITCH FACTORY INSTALLED IN UNIT. ONE AC UNIT ON ROOF SHALL HAVE 115V GFCI TYPE SERVICE OUTLET FACTORY INSTALLED. DIVISION 26 SHALL BE RESPONSIBLE FOR: ELECTRIC SUPPLY CONNECTION TO UNIT TERMINALS, WIRING DISCONNECT SWITCH TO ROOFTOP TERMINAL BLOCK AND FIELD WIRING TO GFCI OUTLET. ALL CONTROL WIRING SHALL BE THE RESPONSIBILITY OF DIVISION 23 CONTRACTOR AND SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER WIRING DIAGRAM AND THE ELECTRICAL SPECIFICATION FOR THIS PROJECT.

3. PROVIDE ALL REGISTERS, GRILLES AND DIFFUSERS AS PER DIFFUSERS, GRILLES & REGISTERS SCHEDULE.

4. DUCTWORK:
ALL DUCTWORK FOR AIR HANDLING SHALL BE NEW GALVANIZED STEEL. ALL SUPPLY AND RETURN AIR DUCTS SHALL BE SEALED AS PER SMACNA SEAL CLASS 'A'. FLEXIBLE DUCT WILL BE MADE OF DEAD SOFT ALUMINUM AND MANUFACTURED IN A MANNER TO PRODUCE A THREE PLY AIRTIGHT MECHANICAL SEAM, THE CORE WILL BE FACTORY WRAPPED IN FIBERGLASS INSULATION AND COVERED WITH A FLAME RETARDANT, NON-TOXIC POLYEHTYLENE VAPOUR BARRIER. THIS FLEXIBLE INSULATED ALUMINUM DUCT WILL BE LISTED IN ACCORDANCE WITH ULC-S110 AND CLASSIFIED CLASS 1. ACCEPTABLE PRODUCT: 'FLEXMASTER' THERMAL DUCT TYPE T/L-T FLEXIBLE DUCT. INSULATED NON-METALLIC, NON-COLLAPSIBLE, ALUMINUM FOIL MYLAR, HELICALLY SUPPORTED BY STEEL WIRE WITH FACTORY APPLIED INSULATION SUCH AS FLEXMASTER FAB-3T IS NOT ACCEPTABLE.

INSTALL FLEXIBLE DUCTS WITH SPIN-ON COLLARS, FULL SIZE BUTTERFLY DAMPER WITH LOCKING SUPPORT, ACCEPTABLE PRODUCT 'DURO DYNE RB-25T SOLID RAPIT', CLAMP & SEALER. CONSTRUCT & INSTALL ALL DUCTWORK TO LATEST "ASHRAE" AND "SMACNA" STANDARDS. ALL CONNECTIONS TO RETURN AIR GRILLES SHALL BE MADE WITH RIGID DUCTS ONLY, FLEXIBLE CONNECTIONS ARE NOT ACCEPTABLE.

5. HANGERS & SUPPORT:
GENERAL:
- INSTALL DUCTS IN ACCORDANCE WITH ASHRAE AND SMACNA AND AS INDICATED.
- DO NOT BREAK CONTINUITY OF INSULATION VAPOUR BARRIER WITH HANGERS OR RODS.
- SUPPORT RISERS IN ACCORDANCE WITH SMACNA.
- SUPPORT FLEXIBLE DUCTS IN ACCORDANCE WITH SMACNA.
- MAXIMUM LENGTH OF FLEXIBLE DUCT: 80".

HANGERS & SUPPORT:
- STRAP HANGERS: OF SAME MATERIAL AS DUCT BUT NEXT SHEET METAL THICKNESS HEAVIER THAN DUCT. INSTALLED IN ACCORDANCE WITH SMACNA. MAXIMUM SIZE DUCT SUPPORTED BY STRAP HANGER: 20".
- ANGLE HANGERS: COMPLETE WITH LOCKING NUTS AND WASHERS. GALVANIZED STEEL ANGLE WITH GALVANIZED STEEL RODS TO THE FOLLOWING TABLE:

DUCT SIZE (")	ANGLE SIZE (")	ROD SIZE (")
UP TO 30	1X1X1/8	1/4
30 TO 42	1.5X1.5X1/8	1/4
42 TO 60	1.5X1.5X1/8	3/8

HANGER SPACING AS FOLLOWS:
- 120" FOR DUCT SIZES UP TO 60", 100"mm FOR DUCTS 60" & OVER.

UPPER HANGER ATTACHMENTS:
- FOR CONCRETE: MANUFACTURED CONCRETE INSETS
- FOR STEEL JOIST: MANUFACTURED JOIST CLAMP OR STEEL PLATE WASHER.
- FOR STEEL BEAMS: MANUFACTURED BEAM CLAMPS.

6. INSULATION:
DUCT DIMENSIONS SHALL BE CLEAR INSIDE DIMENSIONS AFTER LINING. USE 1" THICK LINER SECURED WITH ADHESIVE AND PINS AND SEAL ALL JOINTS AND EXPOSED LINER MATERIAL WITH MASTIC. SEALING AS PER SMACNA SEAL CLASS A. INSULATE ALL RIGID SUPPLY, RETURN & SANITARY EXHAUST DUCTWORK WHERE DUCT IS INSTALLED IN UNCONDITIONED SPACE WITH 1.5" THICK FIBERGLASS INSULATION WITH FOIL FACED VAPOUR BARRIER. SEAL JOINTS OF VAPOUR BARRIER WITH 1" ALUMINUM FOIL TAPE. FLEXIBLE DUCTS TO HAVE FACTORY APPLIED FLEXIBLE GLASS FIBER THERMAL INSULATION WITH VAPOUR BARRIER.

THERMAL DUCT INSULATION (OUTDOOR): FLEXIBLE MINERAL FIBER BLANKET INSULATION TO CAN/CGSB-51.11-92. SERVICE TEMPERATURE = -40°C TO 65°C. JACKET: FACTORY APPLIED REINFORCED ALUMINUM FOIL VAPOUR BARRIER TO CGSB 51-GP-52 MA. MINIMUM THICKNESS 2". INSTALL IN ACCORDANCE WITH ANSI/NFPA 90A AND ANSI/NFPA 90B AND AS PER MANUFACTURERS RECOMMENDATIONS.

FINISH EXTERNAL THERMAL INSULATED DUCTS EXPOSED TO OUTDOORS WITH ALUMINUM JACKET. COVER ENTIRE SURFACE OF INSULATION WITH 1/8" THICK COAT OF SUITABLE WATERPROOF MASTIC. WHILE WET EMBED A LAYER OF GLASS FABRIC WITH ALL JOINTS LAPPED 2" MINIMUM. COVER WITH A SECOND COAT OF 1/8" THICK MASTIC.

CAULK ALL JOINTS ON JACKET FOR WEATHERTIGHT FINISH. LOCATE LONGITUDINAL JOINTS IN LEAST WEATHER EXPOSED POSITION.

7. SUPPLY ACCESS DOORS TO CONCEALED MECHANICAL EQUIPMENT FOR OPERATING, INSPECTION, ADJUSTING AND SERVICING. FLUSH MOUNTED 24"x24" FOR BODY ENTRY AND 12"x12" FOR HAND ENTRY UNLESS OTHERWISE NOTED. DOORS TO OPEN 180 DEG., HAVE ROUNDED SAFETY CORNERS, CONCEALED HINGES, SCREWDRIVER AND ANCHOR STRAPS. HAVE THESE INSTALLED BY THE TRADE IN WHOSE WORK THE DOOR IS LOCATED. DOORS TO MATCH WALL AND OR CEILING SURFACES.

8. PROVIDE ALL NECESSARY BALANCING AND VOLUME DAMPERS. ASSIST THE BALANCING CONTRACTOR TO BALANCE THE AIR SYSTEM TO ALL VOLUMES SHOWN.

9. PROVIDE FIRE DAMPERS AND OR FIRE FLAPS WHERE REQUIRED BY LOCAL AUTHORITY AND CODES. RATE FIRE DAMPERS/FLAPS TO MATCH THE RATING OF THE SEPARATION CROSSED. PROVIDE ULC LABELED DAMPERS. INSTALL AS SPECIFIED IN NFPA/CUA 90A.

10. ALL TEST MEASUREMENTS ARE TO BE + OR - 5% OF DESIGN

11. CHANGE OR ADJUST THE SHEAVES AND BELTS IF NECESSARY TO ACHIEVE THE SPECIFIED AIR VOLUMES.

AIR BALANCING

1. AIR BALANCING SHALL BE DONE BY AN AIR BALANCING CONTRACTOR WHILE ALL SYSTEMS ARE OPERATING. COORDINATE WITH AIR BALANCING CONTRACTOR AND HAVE MECHANIC AVAILABLE DURING AIR BALANCING.

INTENTIONAL BLANK SPACE PER HAMILTON BUILDING



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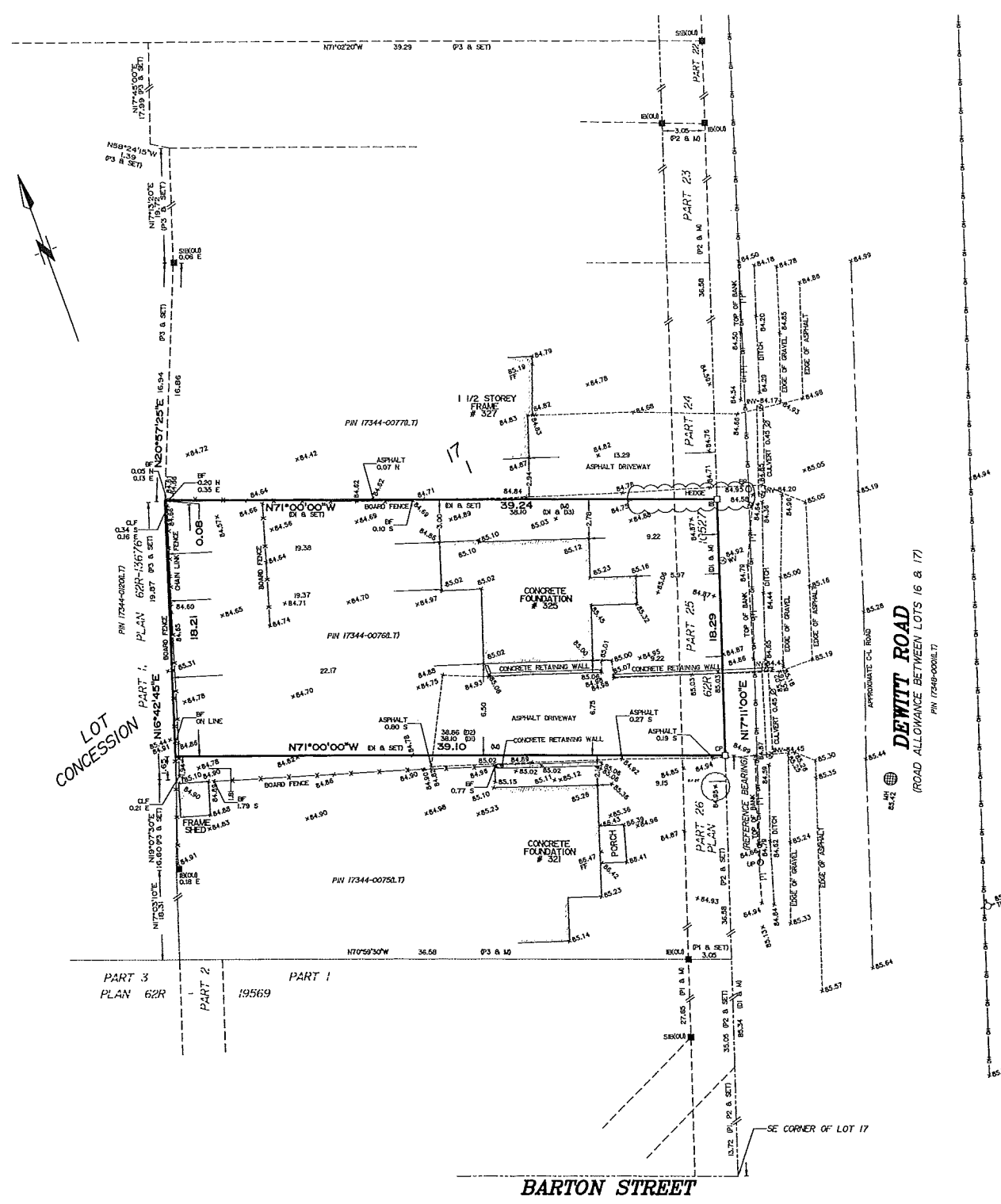
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-CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME, REPORTING ANY DISCREPANCIES TO ELEMENT FORENSIC ENGINEERING PRIOR TO COMMENCEMENT OF WORK.
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-DO NOT SCALE DRAWINGS.



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ADDRESS 325 DEWITT RD., STONEY CREEK, ON	FILE 2002-1001-MD
CLIENT DESJARDINS GENERAL INSURANCE GROUP	SEQUENCE M.62
TITLE MECHANICAL SPECIFICATIONS - HVAC	SHEET M.62



TOPOGRAPHIC SURVEY OF
PART OF LOT 17
CONCESSION 1
GEOGRAPHIC TOWNSHIP OF SALT FLEET
IN THE
CITY OF HAMILTON
SCALE 1 : 200
ASHENHURST NOUWENS & ASSOCIATES INC.
COPYRIGHT 2020 ©

METRIC NOTE
DISTANCES AND ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAY.
NONE

THIS SURVEY WAS PREPARED FOR LAKE VIEW RESTORATION AND THE UNDERSIGNED
ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

BENCHMARK
CITY OF HAMILTON BENCHMARK No.00119750223
HAMILTON-WENTWORTH SAMUEL SON & COMPANY LTD. BUILDING, ALONG DEWITT
ROAD, 0.6 KM NORTH OF BARTON STREET, TABLET IN NORTH CONCRETE
FOUNDATION BETWEEN TWO LARGE GARAGE DOORS, 20.51M FROM NORTHEAST
CORNER OF BUILDING, 1.15M WEST OF WEST EDGE OF MOST EASTERLY
DOORWAY, 61 CM BELOW ALUMINUM SIDING
ELEVATION 80.853 (DATUM: CGVD28:78)

NOTE
NOTE THE LOCATION OF THE FENCES ALONG THE NORTH, WEST AND SOUTH
LIMITS OF YOUR PROPERTY
NOTE THE LOCATION OF THE ASPHALT DRIVEWAYS
NOTE THE LOCATION OF THE HEDGE ALONG THE NORTH LIMIT OF THE PROPERTY

BEARING NOTE
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE WEST LIMIT OF DEWITT
ROAD AS SHOWN ON PLAN P3 & P2 HAVING A BEARING OF N17°11'00"E

- LEGEND
- DENOTES FOUND
 - DENOTES PLANTED
 - IR DENOTES IRON BAR
 - SIB DENOTES STANDARD IRON BAR
 - RIB DENOTES ROUND IRON BAR
 - M DENOTES MEASURED
 - OU DENOTES ORIGIN UNKNOWN
 - WT DENOTES WITNESS
 - P1 DENOTES PLAN 62R-19569
 - P2 DENOTES PLAN 62R-10527
 - P3 DENOTES PLAN 62R-13676
 - D1 DENOTES INSTRUMENT No. M95660
 - D2 DENOTES INSTRUMENT No. C0203749
 - D3 DENOTES INSTRUMENT No. AB197618
 - BF DENOTES BOARD FENCE
 - CLF DENOTES CHAIN LINK FENCE
 - DT DENOTES DECIDUOUS TREE
 - FF DENOTES FIRST FLOOR ELEVATION
 - MF DENOTES METAL FENCE
 - MH DENOTES MANHOLE
 - OH DENOTES OVERHEAD UTILITY
 - TFH DENOTES TOP NUT OF FIRE HYDRANT
 - UV DENOTES VALVE
 - UP DENOTES UTILITY POLE

SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT,
THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 23RD DAY OF JUNE, 2020

July 14, 2020
DATE
HARRY KALANTZAKOS
ONTARIO LAND SURVEYOR

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2127979
THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 24(1)

ASHENHURST NOUWENS & ASSOCIATES INC.
PROFESSIONAL ENGINEERS & ONTARIO LAND SURVEYORS
225 KING WILLIAM STREET, SUITE 204, HAMILTON, ONTARIO L8R 1B1
TELEPHONE: (905) 529-6316
(905) 529-4314
FAX: (905) 529-6651
e-mail: an@AshenhurstNouwens.ca
DRAWN BY: W.S. CALCD BY: B.C. CR'D BY: H.K. FILE No: 20-048 TOPO

Original



Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Planning and Economic Development Department
Planning Division

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

**PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.**

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

**CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO**

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

- Name of Owner KATHLEEN KEEBLER AND MICHAEL KIRK Telephone No. _____
FAX NO. _____ E-mail address _____
- Address _____
_____ Postal Code _____
- Name of Agent N/A Telephone No. _____
FAX NO. _____ E-mail address _____
- Address _____
_____ Postal Code _____

Note: Unless otherwise requested all communications will be sent to the agent, if any.

- Names and addresses of any mortgagees, holders of charges or other encumbrances:
ROYAL BANK - 1145 BARTON ST E
HAMILTON ONT Postal Code L8H-2V2

_____ Postal Code _____

6. Nature and extent of relief applied for:
WE ARE REQUESTING A VARIANCE TO ALLOW US TO INCREASE THE VOLUME OF OUR HOME WHICH WE LOST IN A FIRE. WE REQUEST THIS VARIANCE SO WE CAN REBUILD OUR HOME TO COMPLY WITH THE CURRENT BUILDING CODE STANDARDS.
7. Why it is not possible to comply with the provisions of the By-law?
THE BYLAW REQUIRES THAT WE MAINTAIN THE SAME VOLUME WHEN REBUILDING OUR HOME. BY DOING THIS WE ARE NOT ABLE TO REBUILD THE HOME TO CURRENT BUILDING CODE STANDARDS AS THE CURRENT VOLUME DOES NOT GIVE US THE HEADROOM IN THE BASEMENT.
8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):
325 DEWITT RD STONEY CREEK PART OF LOT #17
CONCESSION 1 - GEOGRAPHIC TOWNSHIP OF
SALTFLAT IN THE CITY OF HAMILTON
9. PREVIOUS USE OF PROPERTY
- Residential ☒ Industrial ☐ Commercial ☐
Agricultural ☐ Vacant ☐
Other _____
- 9.1 If Industrial or Commercial, specify use

- 9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes ☐ No ☐ Unknown ☐
- 9.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes ☐ No ☐ Unknown ☐
- 9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes ☐ No ☐ Unknown ☐
- 9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes ☐ No ☐ Unknown ☐
- 9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes ☐ No ☐ Unknown ☐
- 9.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes ☐ No ☐ Unknown ☐
- 9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes ☐ No ☐ Unknown ☐

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes _____ No _____ Unknown _____

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes _____ No _____ Unknown _____

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes _____ No X

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

DEC 08/2020
Date

Signature Property Owner

KATHLEEN KEEBLER - MICHEAL KIRK
Print Name of Owner

10. Dimensions of lands affected:

Frontage 60 FT
Depth 125 FT
Area 0.17 ACRES
Width of street 66 FT 8

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: FROM THE STREET THE HOUSE WILL BE EXACTLY THE SAME FOOTPRINT AS IT WAS PREVIOUSLY TOP HEIGHT APPROX - 21.3 FT

Proposed: TO REBUILD OUR HOUSE USING THE EXACT SAME FOOTPRINT THE ONLY DIFFERENCE IS WE ARE INCREASING THE VOLUME BY EXCAVATING DEEPER INTO THE GROUND. THIS WILL ALLOW US TO ACHIEVE THE REQUIRED CEILING HEIGHT AS PER BUILDING CODE IN THE BASEMENT.

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: HOUSE, GARAGE, REAR DECK

Proposed: THE HOME WILL BE IN THE SAME
FOOTPRINT AS PREVIOUS HOME.

13. Date of acquisition of subject lands:

APPROX 2011

14. Date of construction of all buildings and structures on subject lands:

HOME 1955 GARAGE UNKNOWN

15. Existing uses of the subject property: RESIDENTIAL

16. Existing uses of abutting properties: RESIDENTIAL (LEFT)

RESIDENTIAL (RIGHT) COMMERCIAL (BEHIND)

17. Length of time the existing uses of the subject property have continued:

THE SUBJECT PROPERTY WAS RESIDENTIAL
SINCE 1955

18. Municipal services available: (check the appropriate space or spaces)

Water ☒

Connected ☒

CURRENTLY DISCONNECTED

Sanitary Sewer ☒

Connected ☒

BECAUSE OF FIRE

Storm Sewers ☐

19. Present Official Plan/Secondary Plan provisions applying to the land:

UNKNOWN - WE HAVE ENGINEERED DRAWINGS AND
PROPOSED DRAWINGS

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

SPECIALTY INDUSTRIAL - LEGAL NON COMPLYING
RESIDENTIAL

21. Has the owner previously applied for relief in respect of the subject property?

Yes

☒ No

If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

☒ No

23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps