

NOTICE OF PUBLIC HEARING

Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-21:03

APPLICANTS: Agent Urban Solutions c/o M. Johnston
Owner Kevin Pomeroy

SUBJECT PROPERTY: Municipal address **264 Rymal Rd. W., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended 09-023

ZONING: AA abd R-4/S-1301a district (Agricultural District and Small Lot Single Family Dwelling)

PROPOSAL: To facilitate a consent application to sever the rear portion of an existing property containing an existing single family dwelling which are to be added to an adjacent property for future development, notwithstanding,

Land to be retained

1. A minimum lot width of 30.0 metres shall be permitted instead of the minimum required lot width of 60.0 metres;
2. A minimum lot area of 1,400 square metres shall be permitted instead of the minimum required lot area of 12,000 square metres;
3. A minimum side yard depth of 3.0 metres shall be permitted instead of the minimum required side yard width of 4.5 metres;

Lands to be conveyed

4. A minimum lot width of 9.7 metres shall be permitted instead of the minimum required lot width of 60.0 metres;
5. A minimum lot area of 291 square metres shall be permitted instead of the minimum required lot area of 12,000 square metres;
6. A maximum building height of 12.5 metres shall be permitted instead of the maximum permitted building height of 11.0 metres;
7. A minimum front yard depth of 4.5 metres to the front of the unit and not less than 6.0 metres to the front if the garage shall be permitted instead of the minimum required front yard depth of 12.0 metres;
8. A minimum side yard width of 1.0 metres shall be permitted instead of the minimum required side yard width of 4.5 metres;

9. A minimum rear yard depth of 7.0 metres shall be permitted instead of the minimum required rear yard depth of 10.5 metres;

10. A porch shall be permitted to encroach 2.0 metres into the required front yard; and,

11. A minimum of 35% of the gross area of the front yard shall be provided as landscaped area instead of providing a minimum of 50% of the gross area of the front yard as landscaped area.

NOTES:

1. Details regarding the existing conditions of the lands to be retained or the proposed development for the lands to be conveyed have not been provided; as such, the variances have been written exactly as requested by the applicant. Further variances may be required at such time the retained lands and the conveyed lands are reviewed for zoning compliance.

2. Pursuant to Section 3(9) of the Zoning By-law, where a building or structure is to be constructed on a lot in two zones, and the use is permitted in each of the zones, the lot shall comply with the least stringent lot width and lot area requirements. However, the variances have been written as requested by the applicant, to seek relief from the most stringent lot width and lot area requirements.

3. The applicant shall clarify the intent of the variance requested to permit a porch to encroach 2.0 metres into a required front yard. A roofed-over unenclosed porch is permitted to encroach 3.0 metres into a required front yard while maintaining a minimum distance of 1.5 metres to the front lot line and an uncovered porch is permitted to encroach into a required front yard while maintaining a minimum distance of 1.5 metres to the front lot line.

4. This application is to be heard in conjunction with land severance application HM/B-21:02.

This application will be heard by the Committee as shown below:

DATE:	Thursday, February 18th, 2021
TIME:	1:25 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	To be streamed at
	www.hamilton.ca/committeeofadjustment
	for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: February 2nd, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

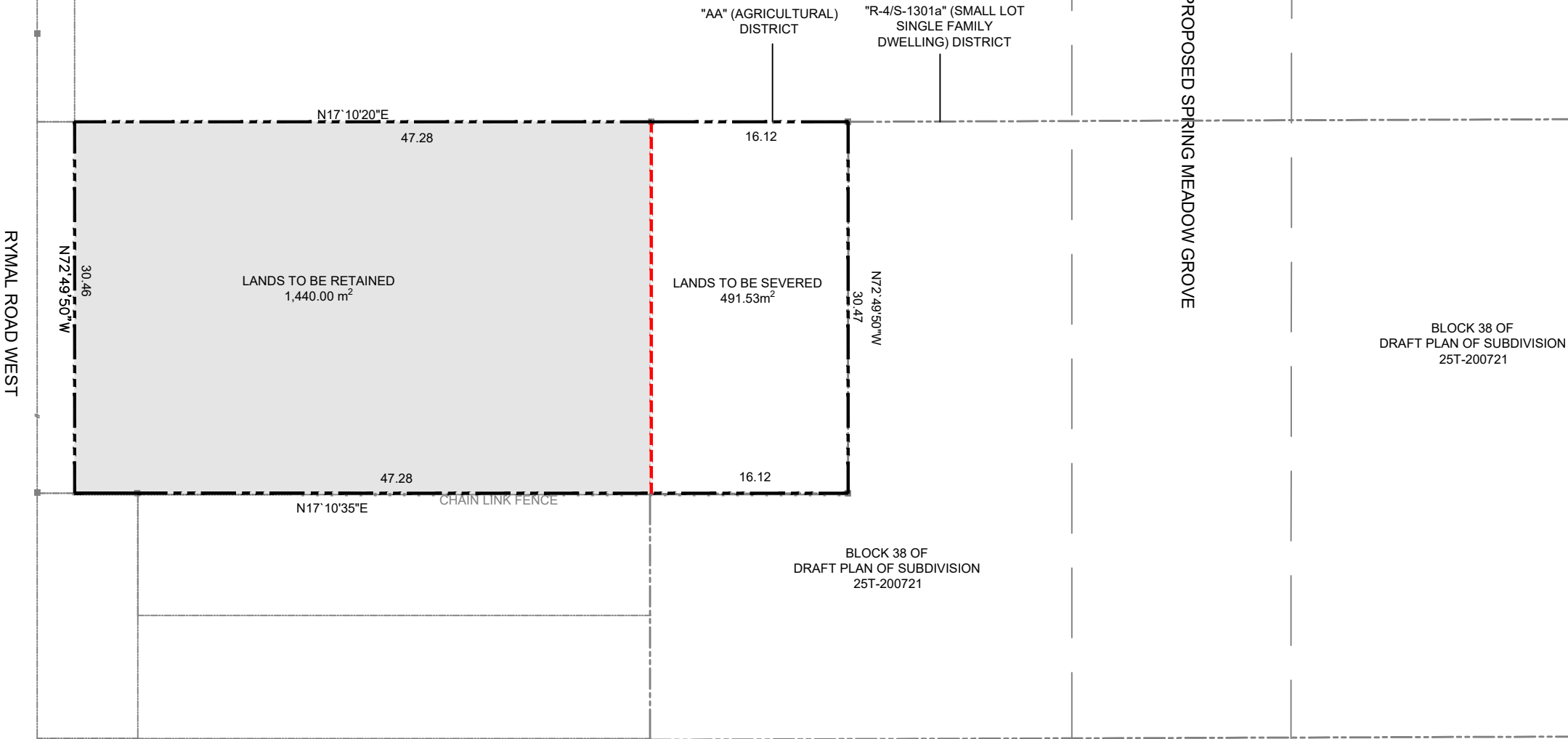
Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

DEVELOPMENT STATISTICS RETAINED		
Existing Zoning: "AA" District (Agricultural)		
Item	Required	Proposed
Min. Lot Frontage	60.0 m	30.0 m
Min. Lot Area	12,000.0 m ²	1,400.0 m ²
Min Side Yard	4.5 m	3.50 m

DEVELOPMENT STATISTICS SEVERED		
Existing Zoning: "AA" District (Agricultural)		
Item	Required	Proposed
Min. Lot Frontage	60.0 m	10.16 m
Min. Lot Area	12,000.0 m ²	350.26 m ²
Max. Building Height	11.0 m	12.5 m
Min. Front Yard	12.0 m	4.5 m
Min Side Yard	4.5 m	1.0 m
Min. Rear Yard	10.5 m	7.0 m
Min. Porch Encroachment	N/A	2.0 m
Min Front Yard Landscape Area	N/A	35%

VARIANCES TO ZONING BY-LAW NO. 6593 "AA" ZONE (RETAINED LANDS)	
VARIANCE #1	- TO PERMIT A MINIMUM FRONTAGE OF 30.0 METRES WHERE A MINIMUM FRONTAGE OF 60 METRES IS REQUIRED.
VARIANCE #2	- TO PERMIT A MINIMUM LOT AREA OF 1,400.00 SQUARED METRES WHEREAS 12,000 SQUARED METRES IS REQUIRED.
VARIANCE #3	- TO PERMIT A MINIMUM SIDE YARD DEPTH OF 3.5 METRES WHERE 4.5 METRES IS REQUIRED.

VARIANCES TO ZONING BY-LAW NO. 6593 "AA" ZONE (SEVERED LANDS)	
VARIANCE #4	- TO PERMIT A MAXIMUM BUILDING HEIGHT OF 12.5 METRES WHERE 11.0 METRES IS REQUIRED.
VARIANCE #5	- TO PERMIT A MINIMUM FRONT YARD DEPTH OF 4.5 METRES TO THE FRONT OF THE UNIT AND NOT LESS THAN 6.0 METRES TO THE FRONT OF THE GARAGE WHERE A FRONT YARD DEPTH OF 12.0 METRES IS REQUIRED.
VARIANCE #6	- TO PERMIT A MINIMUM SIDE YARD DEPTH OF 1.0 METRE WHERE 4.5 METRES IS REQUIRED.
VARIANCE #7	- TO PERMIT A MINIMUM REAR YARD DEPTH OF 7.0 METRES WHERE 10.5 METRES IS REQUIRED.
VARIANCE #8	- TO PERMIT A MINIMUM LOT FRONTAGE OF 9.7 METRES WHERE 60.0 METRES IS REQUIRED.
VARIANCE #9	- TO PERMIT A MINIMUM LOT AREA OF 291 SQUARE METRES WERE 12,000 SQUARE METRES IS REQUIRED.
VARIANCE #10	- TO PERMIT A MAXIMUM PORCH ENCROACHMENT INTO THE FRONT YARD OF 2.0 METRES.
VARIANCE #11	- TO PERMIT A MINIMUM OF 35% OF THE GROSS AREA OF THE FRONT YARD SHALL BE USED FOR A LANDSCAPED AREA EXCLUDING CONCRETE, ASPHALT, GRAVEL PAVERS OR OTHER SIMILAR MATERIALS.



N

SPRING MEADOW GROVE

RYMAL ROAD WEST

BISHOP RYAN WAY

WEST LAWN DRIVE

KEY MAP - N.T.S.

SCALE: 1:450
METRES

0

5

10

15

20

LEGEND:

SUBJECT LANDS

PROPERTY BOUNDARIES

PROP. SEVERANCE LINE

NOT FOR CONSTRUCTION
ISSUED FOR REVIEW & COMMENTS ONLY

NOTES:
ALL DIMENSIONS SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

DESIGN BY: L. DRENNAN

CHECKED BY: M. JOHNSTON

DRAWN BY: L. DRENNAN

DATE: DECEMBER 14, 2020

URBANSOLUTIONS

PLANNING & LAND DEVELOPMENT

3 STUDEBAKER PLACE, UNIT 1
HAMILTON, ON L8L 0C8
905-546-1087 - urbansolutions.info

PROJECT:

264 RYMAL ROAD
CITY OF HAMILTON

CLIENT:

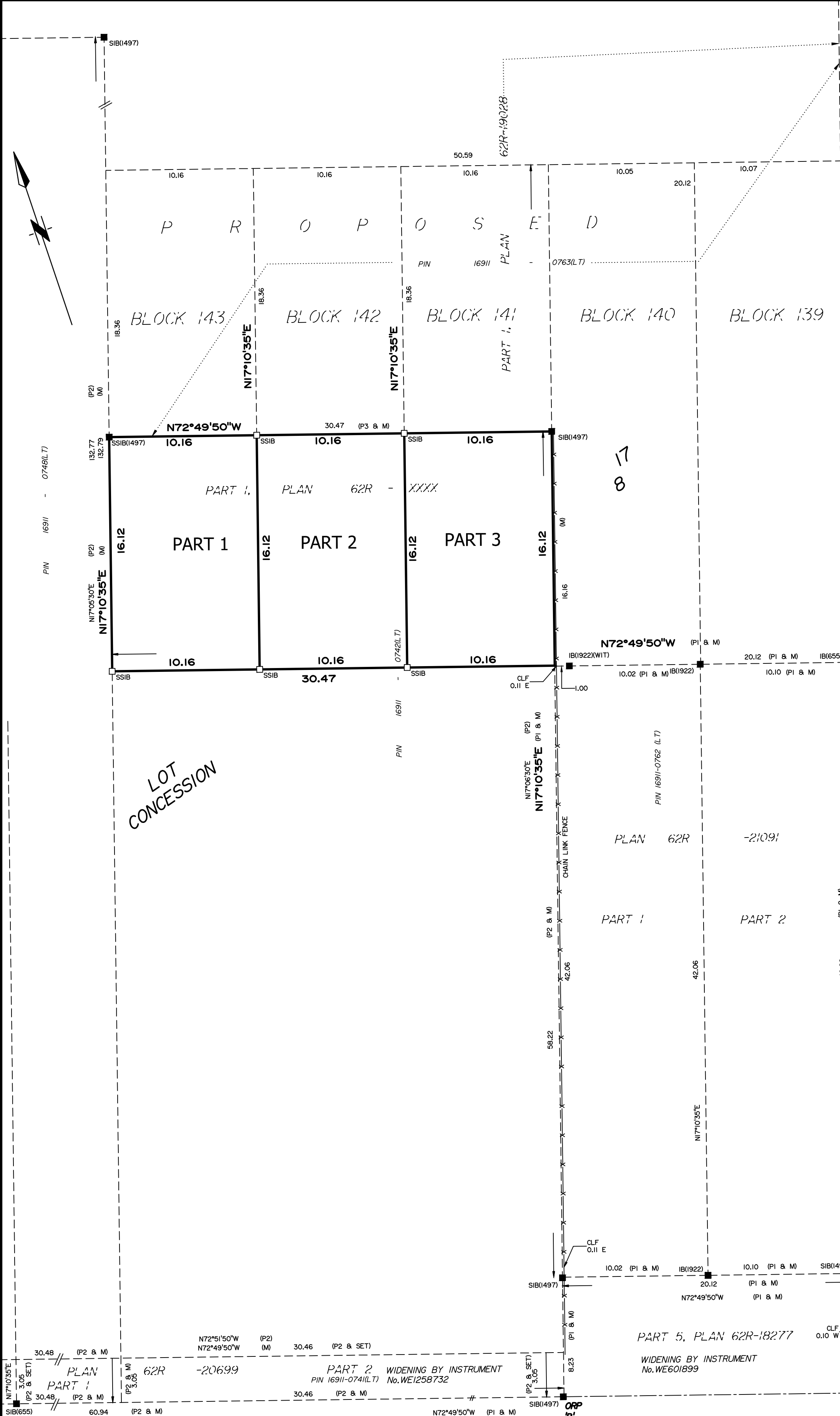
SPALLACCI & SONS LTD.

TITLE:

COMMITTEE OF
ADJUSTMENT SKETCH

U/S FILE NUMBER:
373-20

SHEET NUMBER:
1



I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

DATE

HARRY KALANTZAKOS
ONTARIO LAND SURVEYOR

PLAN 62R-

RECEIVED AND DEPOSITED

DATE

REPRESENTATIVE FOR:
LAND REGISTRAR FOR THE LAND TITLES
DIVISION OF WENTWORTH (62)

SCHEDULE			
PART	LOT	CONCESSION	PIN No.
1	PART OF LOT 17	8	PART OF 16911-0742(LT)
2			
3			

PLAN OF SURVEY OF
PART OF LOT 17
CONCESSION 8
GEOGRAPHIC TOWNSHIP OF BARTON
CITY OF HAMILTON

SCALE 1 : 200

ASHENHURST NOUWENS & ASSOCIATES INC.

INTEGRATION NOTE

POINT ID	NORTHING	EASTING
ORP (A)	4784241.31	588878.20
ORP (B)	4784223.33	588936.38

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN

BEARING NOTE
BEARINGS SHOWN HEREON ARE GRID AND ARE DERIVED FROM ORP A AND ORP B USING REAL TIME NETWORK (RTK) OBSERVATIONS, THE COORDINATES SHOWN HEREON ARE DERIVED FROM THE UNIVERSAL TRANSVERSE MERCATOR SYSTEM (6° UTM PROJECTION) ZONE 17, NAD83 (CSRS: 2010.0)

DISTANCES SHOWN HEREON ARE GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY A COMBINED SCALE FACTOR OF 0.999667
BEARINGS ON PLANS P1 HAVE BEEN ROTATED 00°44'25" COUNTER-CLOCKWISE FOR COMPARISONS
BEARING ON PLAN P2 HAVE BEEN ROTATED 00°42'15" COUNTER-CLOCKWISE FOR COMPARISONS

METRIC NOTE
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

- LEGEND**
- | | | |
|------|---------|--------------------------|
| ■ | DENOTES | FOUND |
| □ | DENOTES | PLANTED |
| IB | DENOTES | IRON BAR |
| SIB | DENOTES | STANDARD IRON BAR |
| RIB | DENOTES | ROUND IRON BAR |
| M | DENOTES | MEASURED |
| OU | DENOTES | ORIGIN UNKNOWN |
| WIT | DENOTES | WITNESS |
| P1 | DENOTES | PLAN 62R-21091 |
| P2 | DENOTES | PLAN 62R-20699 |
| P3 | DENOTES | PLAN 62R-19028 |
| ORP | DENOTES | OBSERVED REFERENCE POINT |
| 1497 | DENOTES | J. P. NOUWENS O.L.S. |
| 655 | DENOTES | J.T. PETERS O.L.S. |
| 824 | DENOTES | A. T. MCLAREN O.L.S. |
| 1922 | DENOTES | HARRY KALANTZAKOS |

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.

2. THIS SURVEY WAS COMPLETED ON THE XXTH, DAY OF NOVEMBER, 2020

DATE

HARRY KALANTZAKOS
ONTARIO LAND SURVEYOR

ASHENHURST NOUWENS & ASSOCIATES INC.

PROFESSIONAL ENGINEERS & ONTARIO LAND SURVEYORS

225 KING WILLIAM STREET, SUITE 204, HAMILTON, ONTARIO L8R 1B1

TELEPHONE: (905) 529-6316
(905) 529-4314
FAX: (905) 529-6651
e-mail: anl@AshenhurstNouwens.ca

DRAWN BY W.S.	CALC'D BY W.S.	CHK'D BY H.K.	FILE No. 20-121 RPLAN 2
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Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

**PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.**

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

**CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO**

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner Kevin Pomeroy Telephone No. [REDACTED]

FAX NO. _____ E-mail address. [REDACTED]

2. Address [REDACTED]

_____ Postal Code _____

3. Name of Agent UrbanSolutions Telephone No. [REDACTED]

FAX NO. _____ E-mail address. [REDACTED]

4. Address [REDACTED]

_____ Postal Code [REDACTED]

Note: Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:

N/A _____ Postal Code _____

_____ Postal Code _____

6. Nature and extent of relief applied for:

[Please refer to cover letter.](#)

7. Why it is not possible to comply with the provisions of the By-law?

[Please refer to cover letter.](#)

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

[Part of Lot 17, Concession 8, Part 1](#)

9. PREVIOUS USE OF PROPERTY

Residential ☐ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☒

Other

- 9.1 If Industrial or Commercial, specify use

- 9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

- 9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

- 9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

- 9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

- 9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes _____ No X Unknown _____

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes _____ No X Unknown _____

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?
Consultation with the owner.

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes _____ No _____ N/A

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

December 9, 2020

Date


Signature Property Owner

Kevin Pomeroy

Print Name of Owner

10. Dimensions of lands affected: Please refer to sketch enclosed

Frontage _____

Depth _____

Area _____

Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands:
(Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: N/A

Proposed: To be determined.

12. Location of all buildings and structures on or proposed for the subject lands;
(Specify distance from side, rear and front lot lines)

Existing: Please refer to sketch enclosed

- Proposed: To be determined.
13. Date of acquisition of subject lands:
Please refer to cover letter.
14. Date of construction of all buildings and structures on subject lands:
N/A
15. Existing uses of the subject property: Residential
16. Existing uses of abutting properties: Residential
17. Length of time the existing uses of the subject property have continued:
N/A
18. Municipal services available: (check the appropriate space or spaces)
 Water _____ Connected _____
 Sanitary Sewer _____ Connected _____
 Storm Sewers _____
19. Present Official Plan/Secondary Plan provisions applying to the land:
Neighbourhoods.
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
Agricultural District, "AA" of the Former City of Hamilton Zoning By-law 6593
21. Has the owner previously applied for relief in respect of the subject property?
 Yes ☐ No ☒
 If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes ☐ No ☒
23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps



December 23, 2020

373-20

Via Email & Delivered

Jamila Sheffield
Secretary Treasurer, Committee of Adjustment

City of Hamilton
71 Main Street West, 5th Floor
Hamilton, ON L8P 4Y5

Dear Ms. Sheffield:

**RE: Part of Lot 17, Concession 8
264 Rymal Road West
Consent to Sever & Minor Variance Application**

UrbanSolutions Planning & Land Development Consultants Inc. (UrbanSolutions) is the authorized planning consultants acting on behalf of Spallacci & Sons Limited, who have an Agreement of Purchase and Sale (APS) with Kevin Pomeroy the registered owner of the lands municipally known as 264 Rymal Road West. On behalf of the owners, UrbanSolutions has prepared the enclosed Consent to Sever and Minor Variance Application to the City of Hamilton.

The subject lands are designated Neighbourhoods in the Urban Hamilton Official Plan (UHOP) and are located in the (Agricultural) "AA" District of the former City of Hamilton Zoning By-law No. 6593. The subject lands contain a single detached dwelling in addition to an accessory building.

Purpose of Severance

As shown on the enclosed Committee of Adjustment Sketch, the purpose of this application is to sever the subject lands in to two (2) separate parcels for the purpose of a lot addition. The lands to be severed have a total area of 491.07 m², and the lands to be retained have a total area of 1,440.13 m². The lands to be severed will be added to Block 38 of the approved draft Plan of Subdivision 25T-200721 as illustrated on the enclosed draft Plan Subdivision 25T-200721.

Chronology

The approved draft Plan of Subdivision 25-T200721 had always envisioned that the lands severed would be added to Block 38. Now that the APS has been completed, the lot addition can be completed to allow for the orderly development of the approved draft Plan of Subdivision 25T-200721. This will be done through a future Part Lot Control and Redline Revision application to reflect the lot addition accordingly. A Minor Variance application has been submitted in conjunction with the Consent to Sever application to reflect the existing legal non-conformities of the (Agricultural) "AA" zone of the existing dwelling at 264 Rymal Road West. Moreover, to allow for the future Part Lot Control to proceed in keeping with the (Small Lot Single Family Dwelling) "R4/S-1301a" district of Block 38.

The Consent to Sever application is in keeping with Section 53(1) of the *Planning Act*, R.S.O, 1990, as amended, as the lands are being added to an existing approved draft Plan of Subdivision. The subject lands will have full access to municipal services and is consistent with the Provincial Policy Statement. It also conforms to the Places to Grow Growth Plan, and UHOP. Based on the above analysis, we hold the opinion that the Consent to Sever application represents good land use planning and satisfies Section 53(1) of the *Planning Act*.

Purpose of the Minor Variance

This Minor Variance application is required to achieve relief on the subject lands within the (Agricultural) "AA" District for both the "Retained" and "Severed" lands. The requested minor variances for the Retained lands reflect the existing legal non-conformities of the (Agricultural) "AA" District of the existing dwelling at 264 Rymal Road West. While the minor variances for the Severed lot allow for the future Part Lot Control to proceed in keeping with the (Small Lot Single Family Dwelling) "R4/S-1301a" District of Block 38. The division of lands and minor variances are outlined on the enclosed Severance and Minor Variance Sketches in addition to below.

Lands to be Retained (Severance Sketch)

1. To permit a minimum lot frontage of 30.0 metres where 60.0 metres is required.
2. To permit a minimum lot area of 1,400.00 squared metres whereas 12,000 squared metres is required.
3. To permit a minimum side yard depth of 3.0 m where 4.5 m is required.

Lands to be Severed (Minor Variance Sketch)

4. To permit a maximum building height of 12.5 metres where 11.0 metres is required.
5. To permit a minimum front yard depth of 4.5 metres to the front of the unit and not less than 6.0 metres to the front of the garage where a front yard depth of 12.0 metres is required.
6. To permit a minimum side yard depth of 1.0 metre where 4.5 metre is required.
7. To permit a rear yard depth of 7.0 metres where 10.5 metres is required.
8. To permit a minimum lot frontage of 9.7 metres where 60.0 metres is required.
9. To permit a lot area of 291 square metres where 12,000 square metres is required.
10. To permit a maximum porch encroachment into the front yard of 2.0 metres.
11. To permit a minimum of 35% of the gross area of the front yard shall be used for a landscaped area excluding concrete, asphalt, gravel pavers or other similar materials.

To assist in the evaluation of the application, please refer to the enclosed Severance and Minor Variance Sketch.

Section 45(1) of the Planning Act, R.S.O, 1990, as amended, requires a Minor Variance to satisfy four tests. In consideration of the above, the single detached dwelling is a permitted use in the Neighbourhoods designation of the Urban Hamilton Official Plan, the (Agricultural) "AA" District and (Small Lot Single Family Dwelling) "R4/S-1301a" District of the Former City of Hamilton Zoning By-law No. 6593. The variances for the retained lands satisfy the four tests as they recognize existing deficiencies, while the tests are also satisfied for the severed lands as they are implementing the neighbouring "R4/S-1301a" from the abutting subdivision to which they will be merged.

Based on this, it is our opinion that the application of the above minor variance satisfies the four tests outlined in Section 45(1) of the Planning Act as the relief requested is minor in nature, is desirable for the appropriate development of the lands, and meets the general intent and purpose of the Official Plan and Zoning By-law.

In support of this application, please find the enclosed the following:

- Two (2) copies of a completed Consent to Sever application form;
- Two (2) copies of the Committee of Adjustment Sketch prepared by UrbanSolutions;
- One (1) cheque in the amount of **\$2,845.00** made payable to the City of Hamilton
- Two (2) copies of the completed Minor Variance Application form;
- One (1) copy of the draft R-Plan(s), Prepared by Ashenhurst Nouwens & Associates Inc.;
- Two (2) copies of the approved Draft Plan of Subdivision 25T-200721 prepared by UrbanSolutions;
- One (1) copy of the cover letter; and
- One (1) cheque payable to the City of Hamilton in the amount of **\$3,302.00**.

We trust the enclosed is in order; however, please feel free to contact the undersigned with any questions.

Regards,
UrbanSolutions



Sergio Manchia, MCIP, RPP
Principal



Matt Johnston, MCIP, RPP
Principal

Cc: Councillor John-Paul Danko, Ward 8, City of Hamilton (cover letter and Committee of Adjustment Sketch only)
Spallacci & Sons Limited