

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: AN/A-21:25

APPLICANTS: A. & C. Zorko, owners

SUBJECT PROPERTY: Municipal address **43 Dymont Crt., Ancaster**

ZONING BY-LAW: Zoning By-law 87-57, as Amended by By-law 12-084

ZONING: "R4-643" (Residential) district

PROPOSAL: To permit the construction of an accessory structure (shed) for the existing single detached dwelling, notwithstanding that;

1. The accessory building (shed) shall be permitted to be located within the minimum 1.2m side yard and as close as 0.2m from the southerly side lot line whereas the zoning By-law does not permit an accessory building to be located in any minimum side yard and whereas a minimum setback of 0.75m shall be maintained from any lot line.

This application will be heard by the Committee as shown below:

DATE: Thursday, February 18th, 2021
TIME: 2:00 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

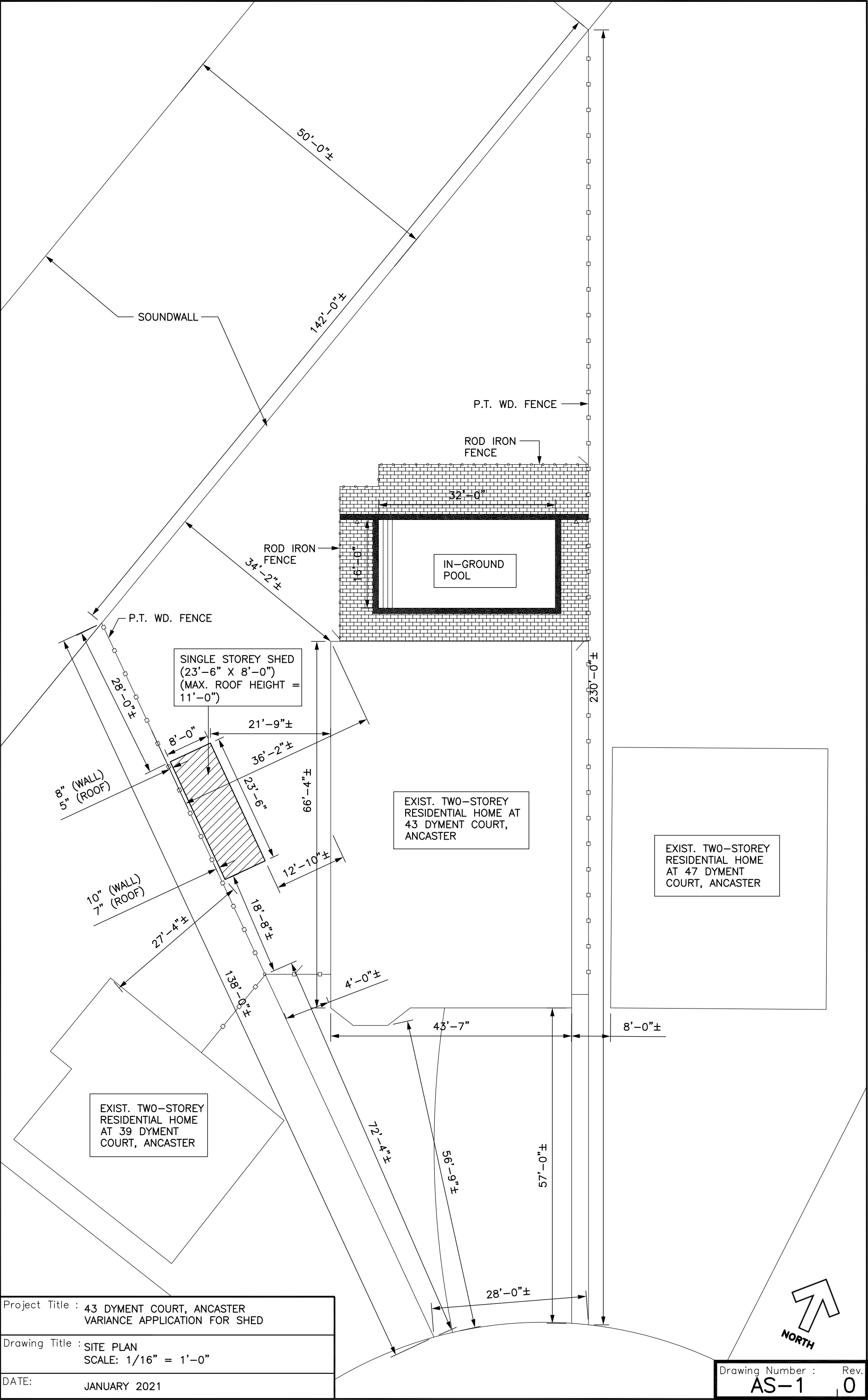
- Visit www.hamilton.ca/committeeofadjustment

- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: February 2nd, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



Project Title : 43 DYMENT COURT, ANCASTER
VARIANCE APPLICATION FOR SHED

Drawing Title : SITE PLAN
SCALE: 1/16" = 1'-0"

DATE: JANUARY 2021

Drawing Number : AS-1
Rev. 0

NORTH



Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

**PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.**

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

**CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO**

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner Andrew and Carol Ann Telephone No. [REDACTED]
FAX NO. _____ E-mail address. [REDACTED]
2. Address [REDACTED]
Postal Code [REDACTED]
3. Name of Agent _____ Telephone No. _____
FAX NO. _____ E-mail address. _____
4. Address _____
Postal Code _____

Note: Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Postal Code _____

Postal Code _____

6. Nature and extent of relief applied for:
Reduction of 30" Side yard
Setback for Shed.
7. Why it is not possible to comply with the provisions of the By-law?
Pie Shaped lot has a
narrow Side yard. There
are rear yard restrictions
due to the Soundwall.
8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):
Residential property at
43 Dymont Court, Ancaster,
Ontario.
9. PREVIOUS USE OF PROPERTY
- Residential ☒ Industrial ☐ Commercial ☐
- Agricultural ☐ Vacant ☐
- Other
- 9.1 If Industrial or Commercial, specify use
- 9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes ☐ No ☒ Unknown ☐
- 9.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes ☐ No ☒ Unknown ☐
- 9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes ☐ No ☒ Unknown ☐
- 9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes ☐ No ☒ Unknown ☐
- 9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes ☐ No ☒ Unknown ☐
- 9.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes ☐ No ☒ Unknown ☐
- 9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes ☐ No ☒ Unknown ☐

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes _____ No ☒ Unknown _____

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes _____ No ☒ Unknown _____

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

This house was built in 2013.
We are the original owners. The
lands were previously used for farming.

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes _____ No _____

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

January 10, 2021
Date

Signature Property Owner

Andrew and Carol Ann Zorko
Print Name of Owner

10. Dimensions of lands affected:

Frontage 28'-0" ±
Depth 230'-0" ± , 138'-0" ± (Pie shaped lot.)
Area 12 200 sq. ft.
Width of street 90'-0" φ (Court)

11. Particulars of all buildings and structures on or proposed for the subject lands:
(Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:

Two Storey house:
66'-4" ± x 43'-7" ± x 30'-0" (h)

Proposed:

Shed:
23'-6" x 8'-0" x [11'-0" (high pt), 9'-0" (low pt)]

12. Location of all buildings and structures on or proposed for the subject lands;
(Specify distance from side, rear and front lot lines)

Existing: House Setbacks:

From side: 4'-0" ± , 36'-2" ±

From rear: 34'-2" ±

From front lot lines: 56'-9" ±

Proposed: Shed Setbacks:

From side: 5' x 7'

From rear: 28'-0"

From front: 91'-0"

13. Date of acquisition of subject lands:

August 1st, 2013

14. Date of construction of all buildings and structures on subject lands:

House - 2013, Shed - 2020

15. Existing uses of the subject property: Residential

16. Existing uses of abutting properties: Residential

17. Length of time the existing uses of the subject property have continued:

Since August 2013

18. Municipal services available: (check the appropriate space or spaces)

Water ☒

Connected ☒

Sanitary Sewer ☒

Connected ☒

Storm Sewers ☒

19. Present Official Plan/Secondary Plan provisions applying to the land:

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

21. Has the owner previously applied for relief in respect of the subject property?

Yes

☒ No

If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

☒ No

23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps