

NOTICE OF PUBLIC HEARING

Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: AN/A-21:29

APPLICANTS: Owners Jade & Stefano Nella
Agent Mike Baccala

SUBJECT PROPERTY: Municipal address **261 Robina Rd., Ancaster**

ZONING BY-LAW: Ancaster Zoning By-law 87-57, as Amended

ZONING: ER district (Existing Residential)

PROPOSAL: To permit the construction a 5.33m (17'6") x 12.17m (39'11") rear covered porch (patio) addition onto an existing single detached dwelling notwithstanding that:

1. A minimum northerly side yard of 2.5m (being 9.65% of the 25.908m lot frontage) shall be provided to the instead of the minimum required side yard of 2.59m (being 10% of the 25.908m lot frontage).
2. Eaves and gutters shall be permitted to project not more than 0.7m into the required 2.5m northerly side yard so that the eaves and gutters are as close as 1.8m to the northerly side lot line instead of the requirement that eaves or gutters that project into any minimum side yard a distance of not more that 60 cm (0.6m).
3. A minimum rear yard of 11.3m (which is 25.8% of the 43.796m lot depth) shall be provided instead of the minimum required rear yard of 13.14m (which is 30% of the 43.796m lot depth).

This application will be heard by the Committee as shown below:

DATE: Thursday, February 18th, 2021
TIME: 2:05 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

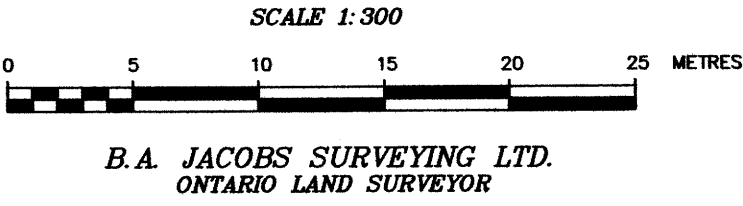
- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: February 2nd, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

SURVEYOR'S REAL PROPERTY REPORT - PART 1
PLAN OF
LOT 27
REGISTERED PLAN 1035
CITY OF HAMILTON



METRIC NOTE:
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE
CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARING NOTE:
BEARINGS HEREON ARE GRID BEARINGS AND ARE DERIVED FROM
THE EASTERLY LIMIT OF ROBINA ROAD AS SHOWN ON PLAN
62R-18831, HAVING A BEARING OF N 9° 50' 10" W.

LEGEND & NOTES:

■	DENOTES SURVEY MONUMENT FOUND
□	DENOTES SURVEY MONUMENT PLANTED
SIB	DENOTES STANDARD IRON BAR
SSIB	DENOTES SHORT STANDARD IRON BAR
IB	DENOTES IRON BAR
CM	DENOTES CONCRETE MONUMENT
WT.	DENOTES WITNESS
(OU)	DENOTES ORIGIN UNKNOWN
P1	DENOTES REGISTERED PLAN 1035
P2	DENOTES PLAN 62R-18831
P3	DENOTES PLAN 62R-13053
D1	DENOTES INSTRUMENT No. 427944CD
D2	DENOTES INSTRUMENT No. 18153AB
(655)	DENOTES J.T. PETERS O.L.S.
(717)	DENOTES J.J. KISWAY O.L.S.
(824)	DENOTES J.T. PETERS O.L.S.
(912)	DENOTES A.J. CLARKE O.L.S.
(1213)	DENOTES J.D. PETERS O.L.S.
(CITY)	DENOTES CITY OF HAMILTON

FOR BEARING COMPARISONS, A ROTATION OF 0°38'10" COUNTER
CLOCKWISE WAS APPLIED TO BEARINGS ON REGISTERED PLAN 1035.

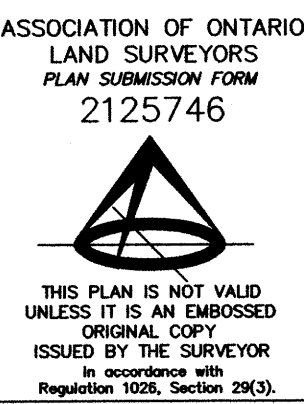
SURVEYOR'S REAL PROPERTY REPORT
PART 2 - REPORT SUMMARY

DESCRIPTION OF LAND
BEING ALL OF LOT 27, REGISTERED PLAN 1035, KNOWN AS
MUNICIPAL No. 261 ROBINA ROAD, (ANCASTER) CITY OF HAMILTON

REGISTERED EASEMENTS AND/OR RIGHTS OF WAY
NO EASEMENTS LISTED ON THE PARCEL REGISTER FOUND IN THE
LAND REGISTRY OFFICE.

BOUNDARY FEATURES
NOTE LOCATION OF FENCES AS THEY RELATE TO THE
LIMITS OF THE SUBJECT PROPERTY.

COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS
NOT CERTIFIED BY THIS REPORT



THIS REPORT WAS PREPARED FOR ALTO MAR CONSTRUCTION GROUP

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE
REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON JULY 29, 2020.

AUGUST 4, 2020
DATE

Bryan Jacobs
BRYAN JACOBS
ONTARIO LAND SURVEYOR

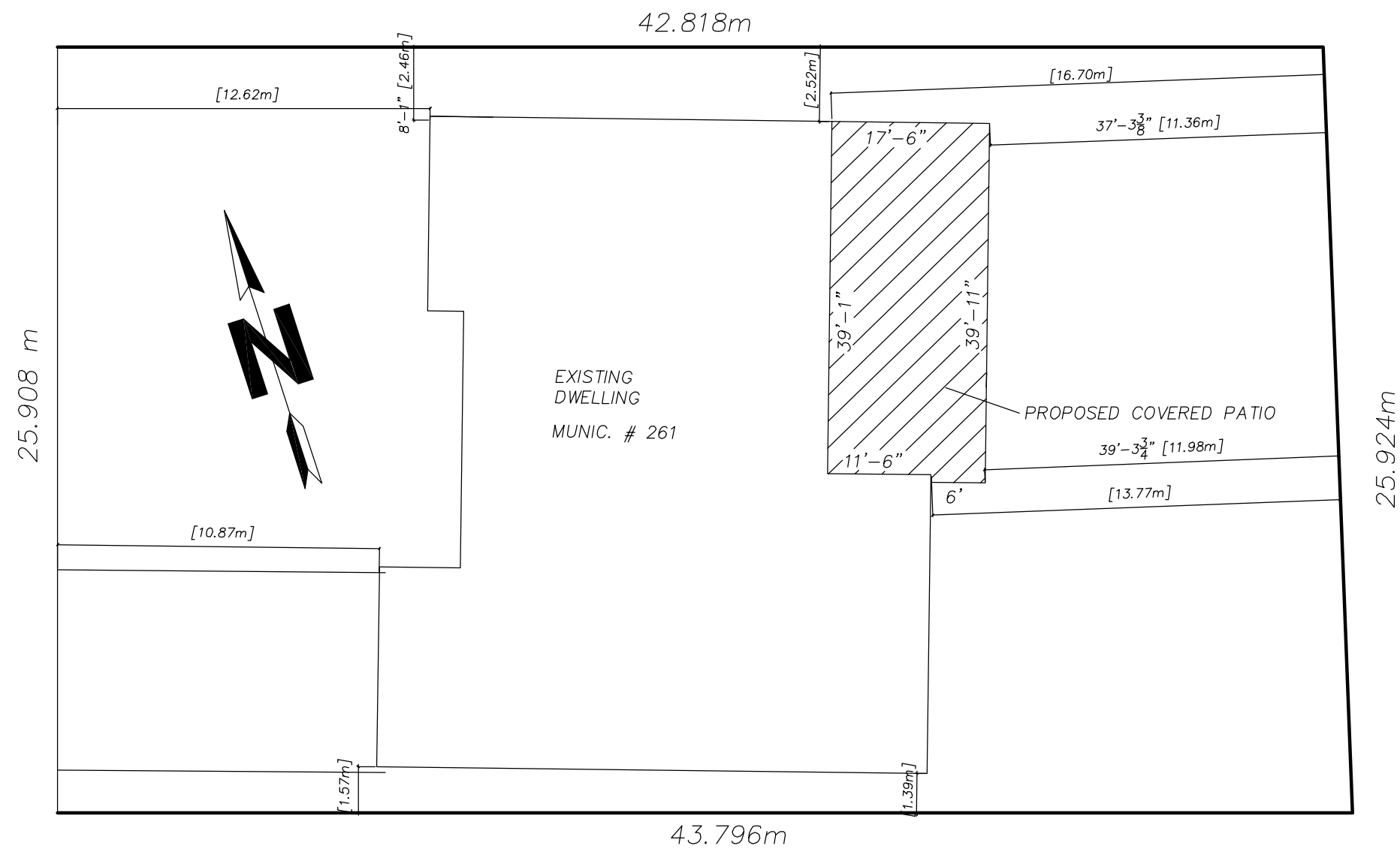


B.A. JACOBS SURVEYING LTD.
152 JACKSON STREET EAST, SUITE 102
HAMILTON, ONTARIO (L8N 1L3)
PHONE 905-521-1535 bjacobs@rogers.com

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JOB No. 20845

ROBINA ROAD



Site Plan

SCALE 1/16" = 1'-0"

NOTE SITE INFORMATION PROVIDED BY OTHERS

LOT AREA 12075 SQ.FT. 1121.8 S.M.
HOUSE AREA 3509 SQ.FT. 325.99 S.M..
COVERED PATIO AREA 683 SQ.FT. 63.45 S.M.
LOT COVERAGE 34.71%

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.	
QUALIFICATION INFORMATION	
Required unless design is exempt under M.C. 3.2.5.1 of the building code	
Richard Weatherston	24787
NAME	SIGNATURE
REGISTRATION INFORMATION	
Required unless design is exempt under DIV. C 3.2.4.1 of the building code	
R.G. CAD SERVICE INC.	29747
FIRM NAME	BCR

3293 MAY 20



AREA
COVERED PATIO
= 683 SQ.FT

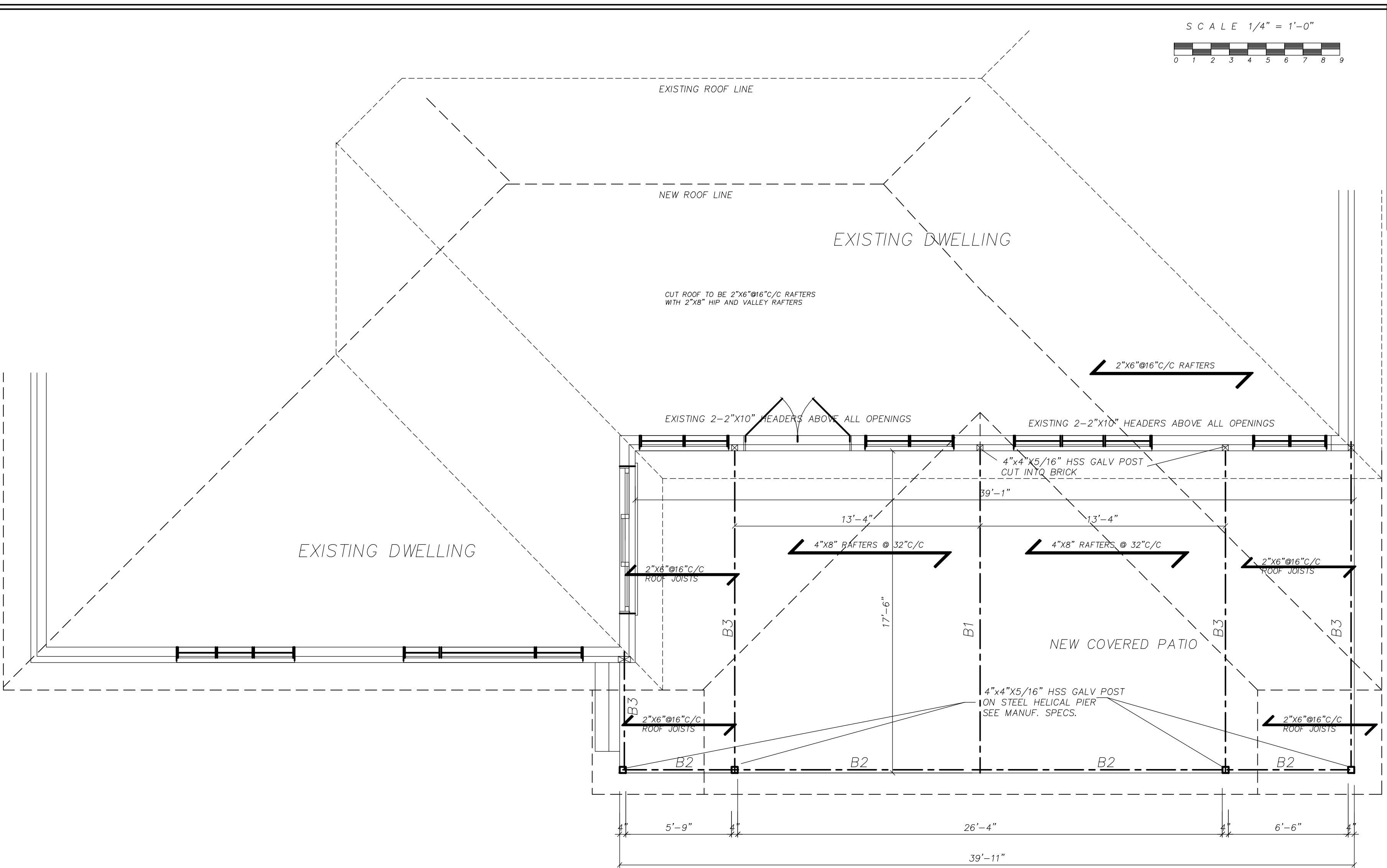
PROPOSED COVERED PATIO
261 ROBINA ROAD

ANCASTER

ONTARIO

7

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCEMENT OF CONSTRUCTION.



B1 = 8"x14" TIMBER BEAM #1 D.F.
B2 = 10"x12" TIMBER BEAM #1 D.F.
B3 = 8"x12" TIMBER BEAM #1 D.F.
ROOF BEAM DESIGN BY OTHERS

Floor Plan

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NAME SIGNATURE BCIN 24787
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R.G. CAD SERVICE INC.
FIRM NAME BCIN 29747

3293 MAY 20

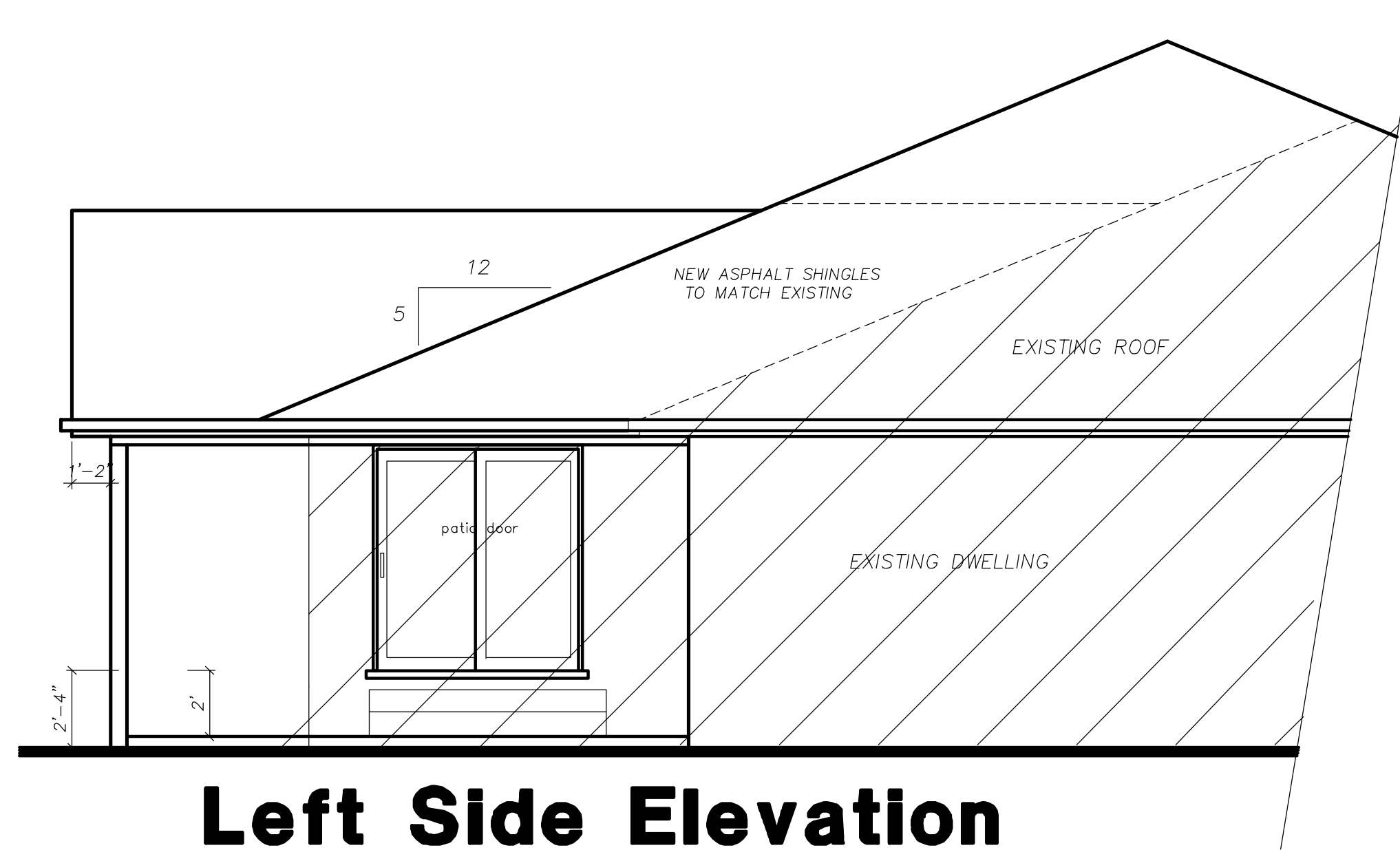
**R.G.CAD
SERVICE INC.**
228 GREEN RD. STONEY CREEK
PHONE (905) 664-8061

AREA
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PROPOSED COVERED PATIO
216 ROBINA ROAD
ANCASTER ONTARIO

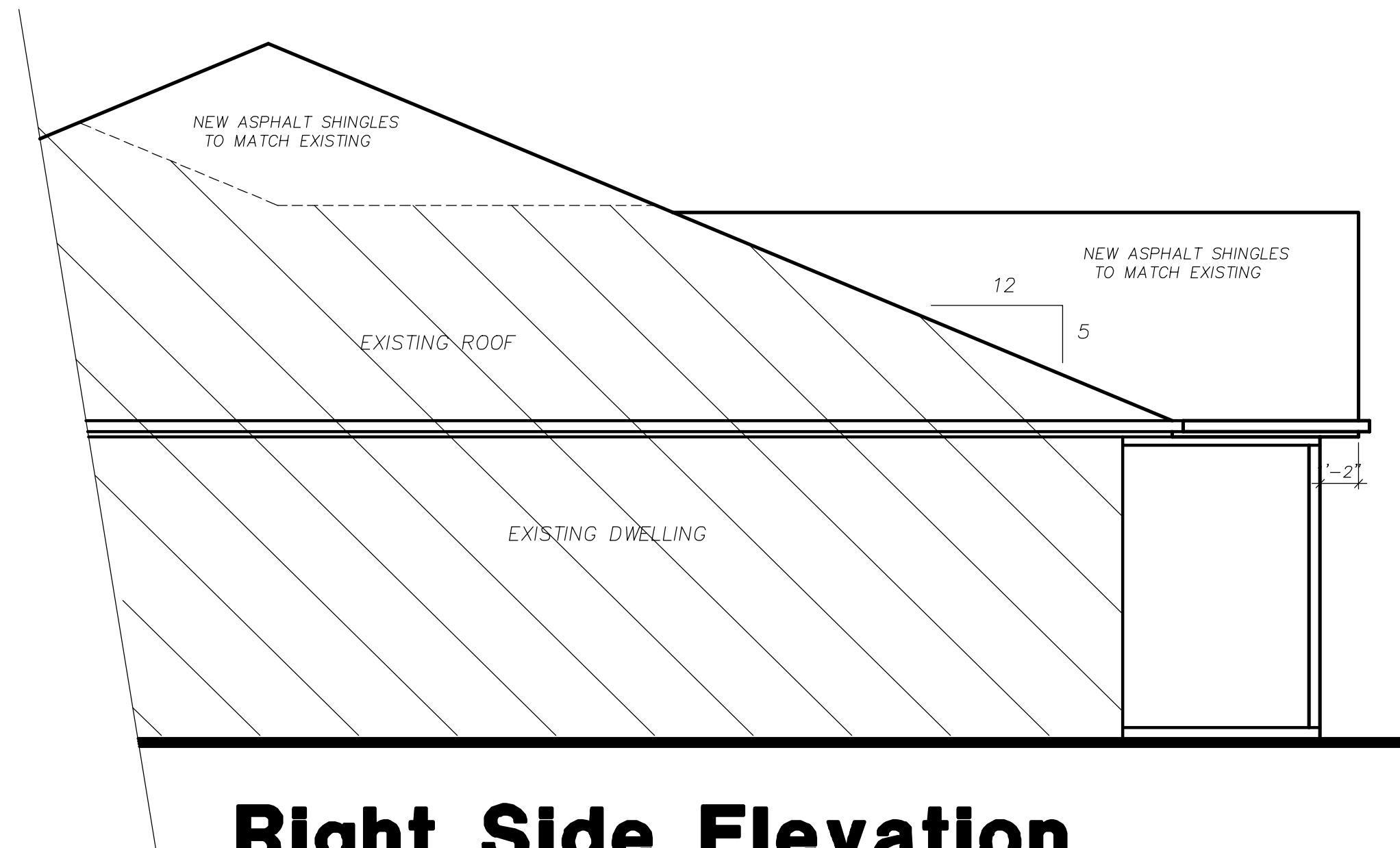
4

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCEMENT OF CONSTRUCTION.



Left Side Elevation

SCALE 1/4" = 1'-0"



Right Side Elevation

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 FIRM NAME BON 29747

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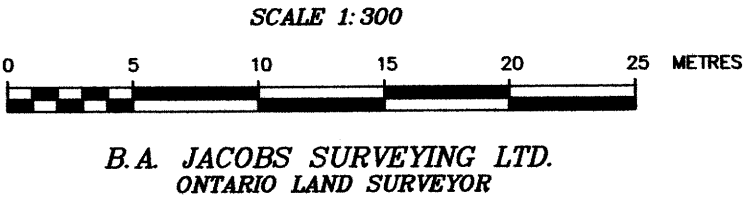
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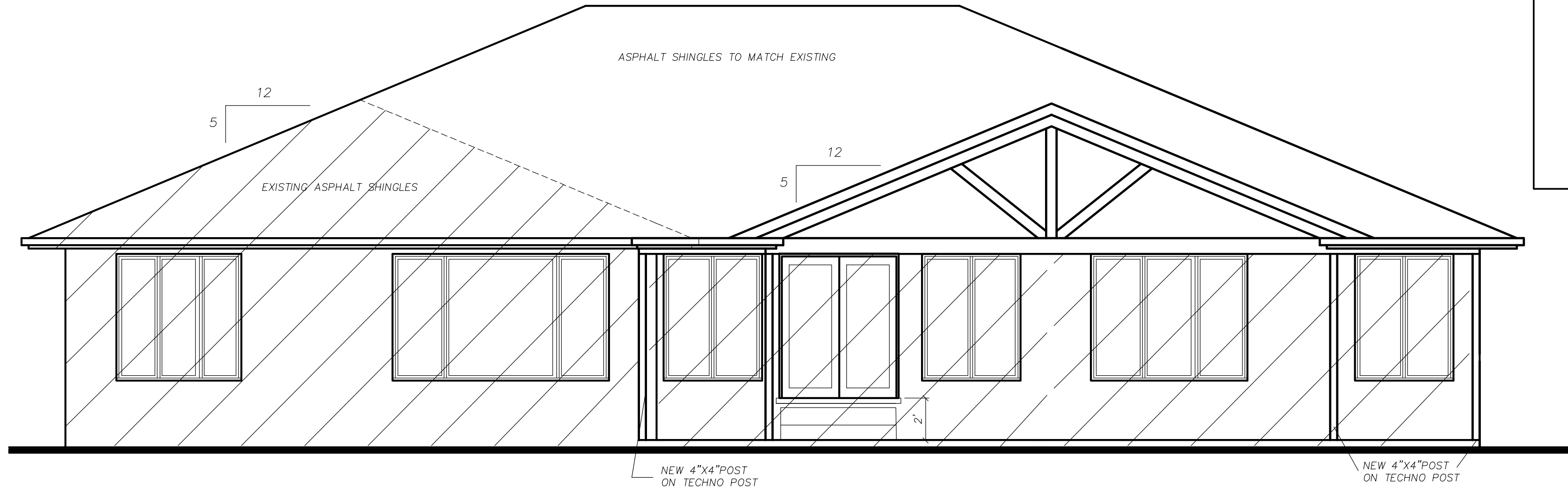
Bryan Jacobs
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HAMILTON, ONTARIO (L8N 1L3)
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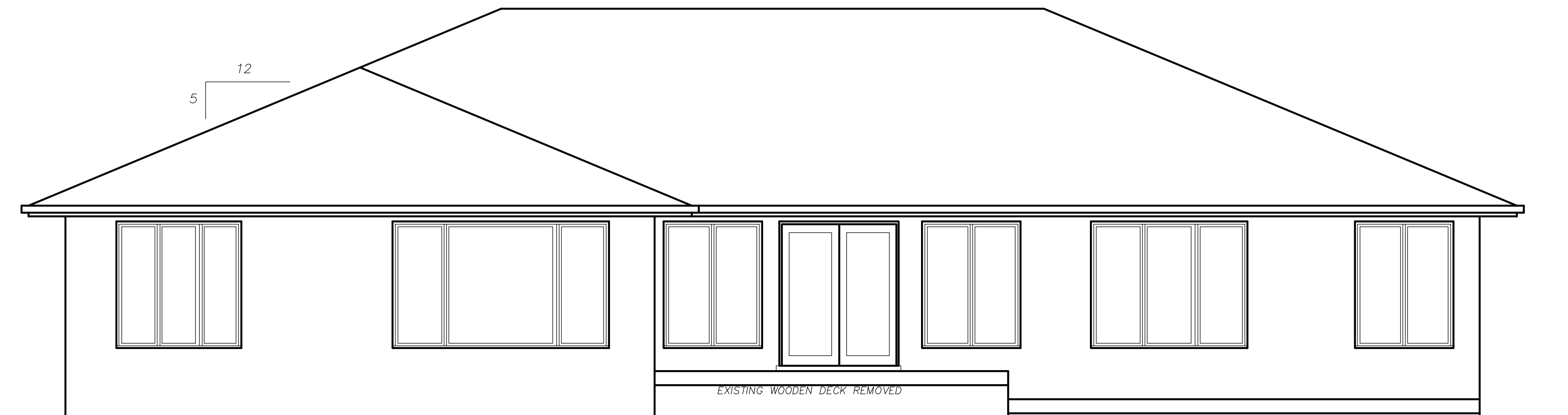
© - COPYRIGHT

JOB No. 20845



Rear Elevation *PROPOSED*

SCALE 1/4" = 1'-0"



EXISTING

Rear Elevation

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION
Required unless design is exempt under RVC 3.2.5.1 of the building code
Richard Weatherston 24787
NAME SIGNATURE BCN

REGISTRATION INFORMATION
Required unless design is exempt under DIV. C 3.2.4.1 of the building code
R.G. CAD SERVICE INC. 29747
FIRM NAME BCN

3293 MAY 20

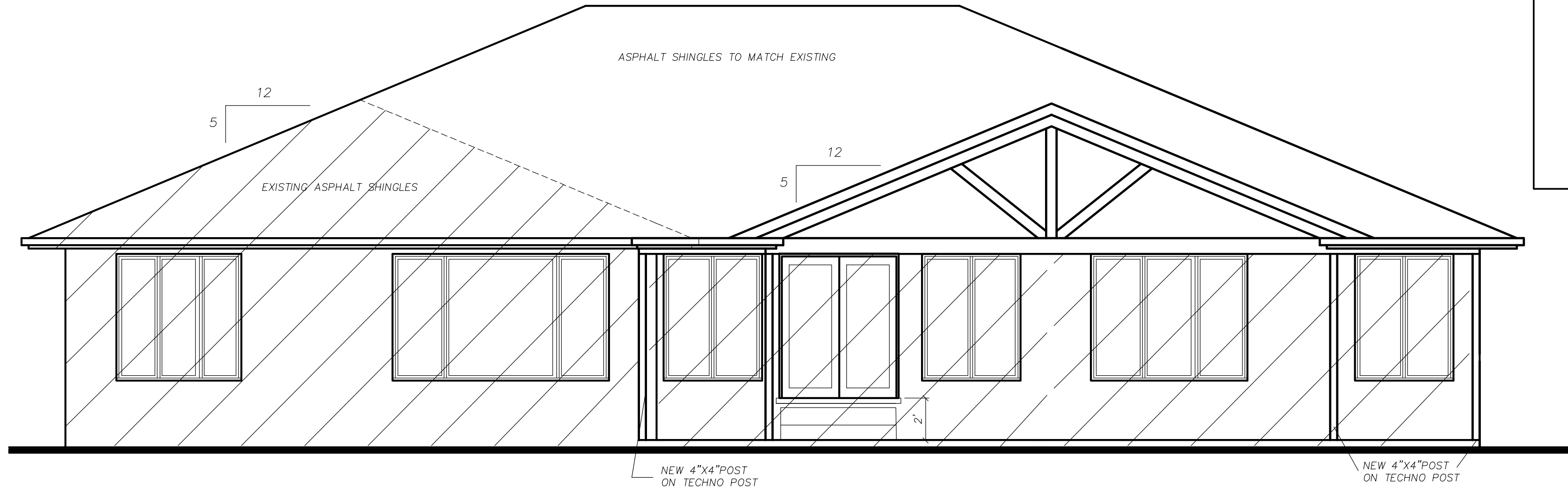
**R.G.CAD
SERVICE INC.**
228 GREEN RD. STONEY CREEK
PHONE (905) 664-8061

AREA
COVERED PATIO
= 683 SQ.FT

PROPOSED COVERED PATIO
261 ROBINA ROAD
ANCASTER ONTARIO

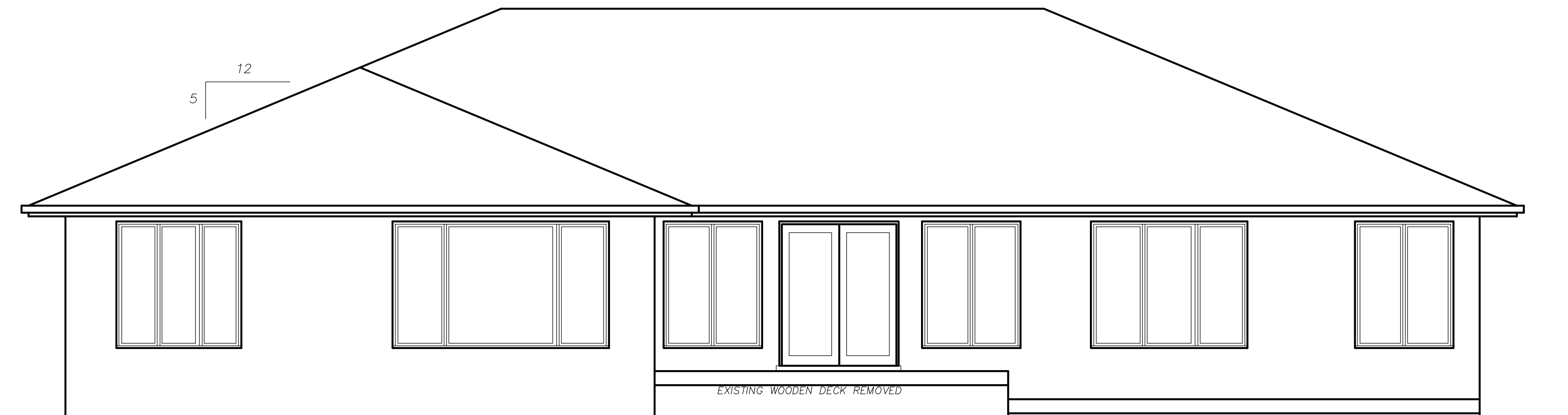
1

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCEMENT OF CONSTRUCTION.



Rear Elevation *PROPOSED*

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3293 MAY 20

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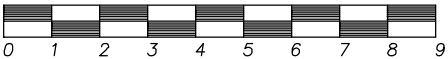
AREA
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PROPOSED COVERED PATIO
261 ROBINA ROAD
ANCASTER ONTARIO

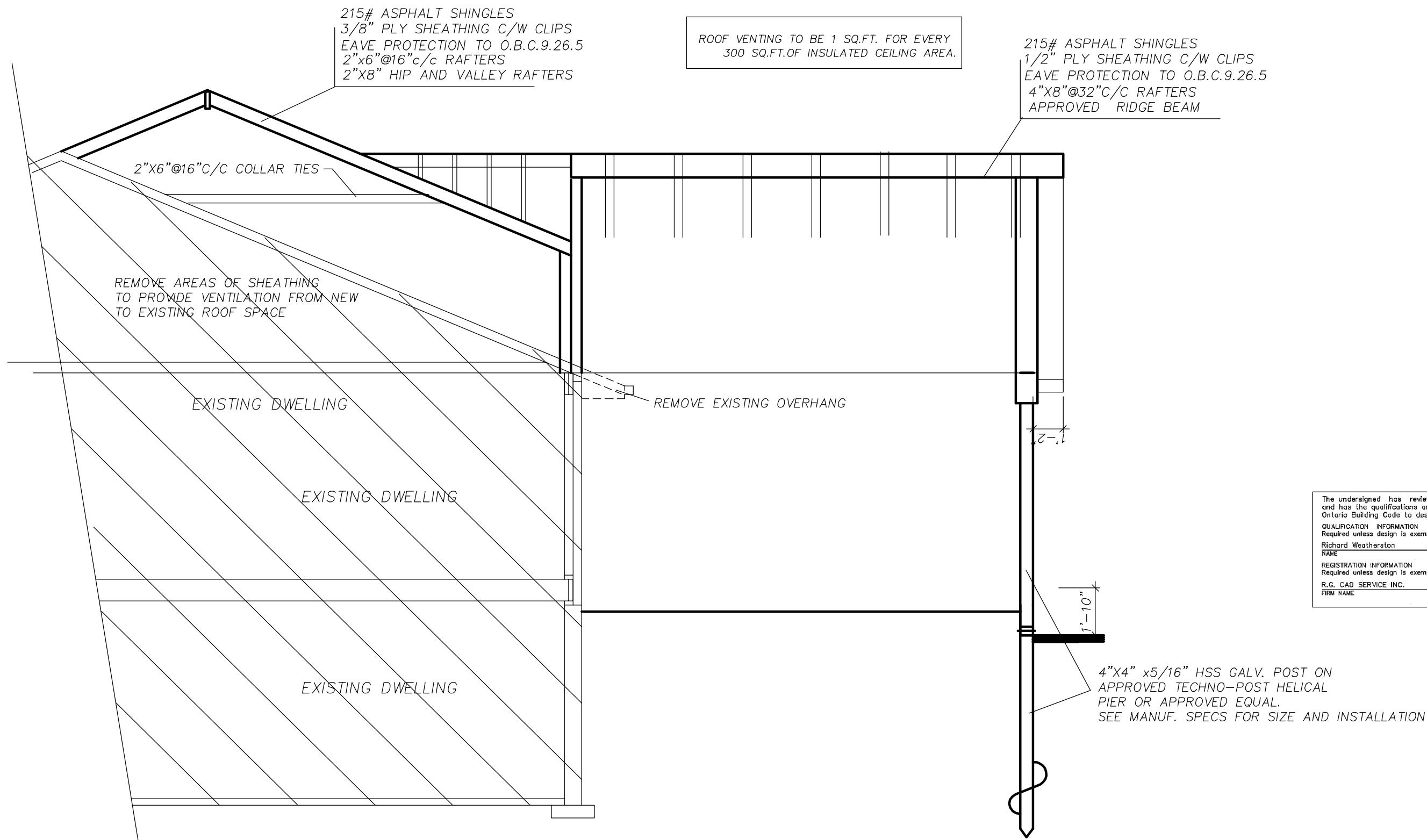
1

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S C A L E 1/4" = 1'-0"



WOOD LINTEL SCHEDULE					
LINTEL SIZE	SUPPORTING 2 FLOORS + ROOF	SUPPORTING 1 FLOOR + ROOF		SUPPORTING ROOF ONLY	
	EXT.BRG.WALLS	INT. WALLS	EXT.BRG.WALLS	INT. WALLS	EXT.BRG.WALLS
2-2"x4"	2'-10"	2'-4"	3'-7"	3'-10"	3'-8"
2-2"x6"	4'-1"	3'-4"	4'-6"	4'-5"	5'-5"
2-2"x8"	5'-0"	3'-11"	5'-5"	5'-4"	6'-7"
2-2"x10"	6'-1"	4'-9"	6'-8"	6'-7"	8'-1"
2-2"x12"	6'-10"	5'-5"	7'-8"	7'-7"	9'-5"



NOTE: ANY INFORMATION NOT SHOWN ON THESE DRAWINGS
SHALL COMPLY TO SECTION B PART 9 OF THE ONTARIO BUILDING CODE.

Section

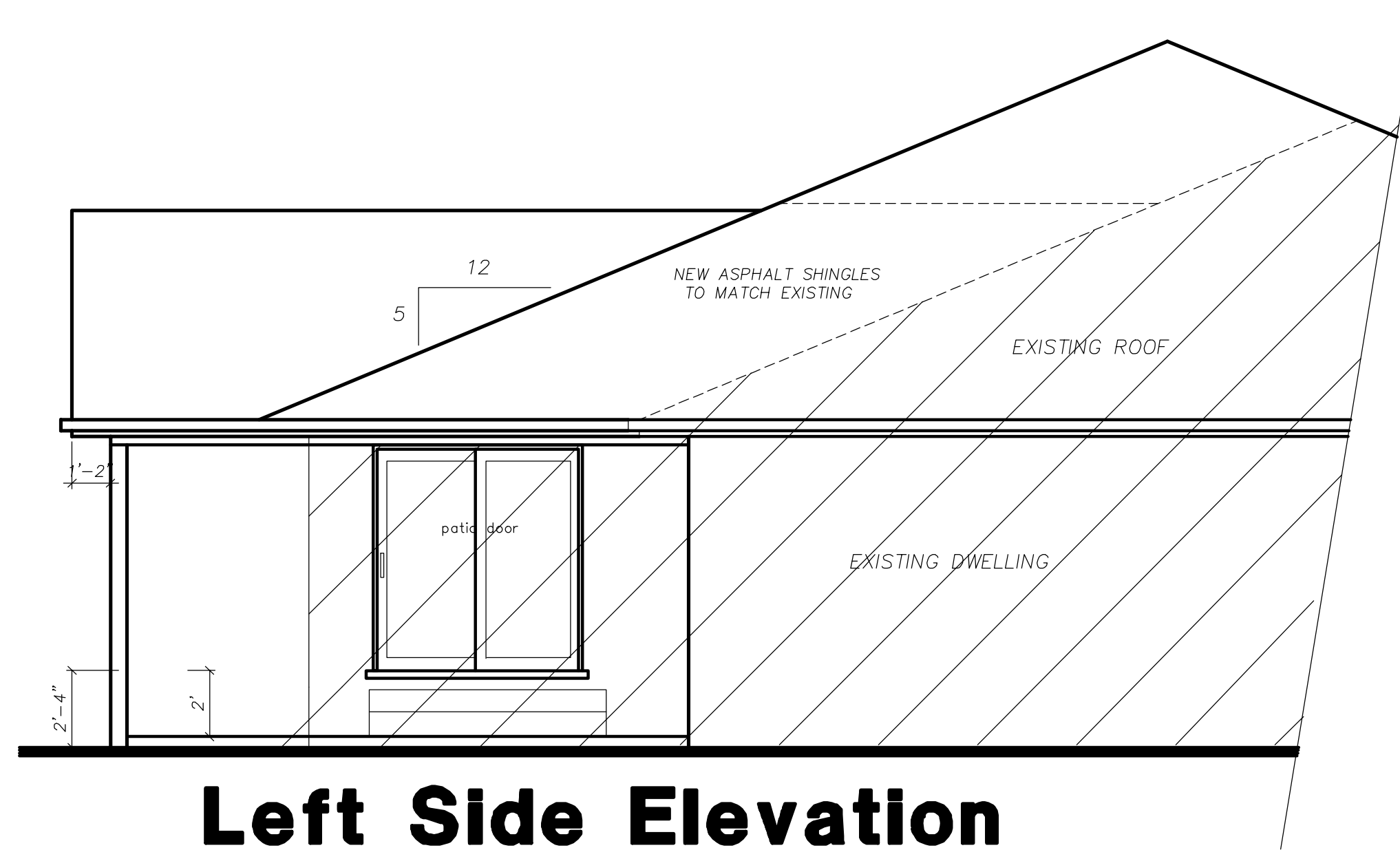
3293 MAY 20



PROPOSED COVERED PATIO

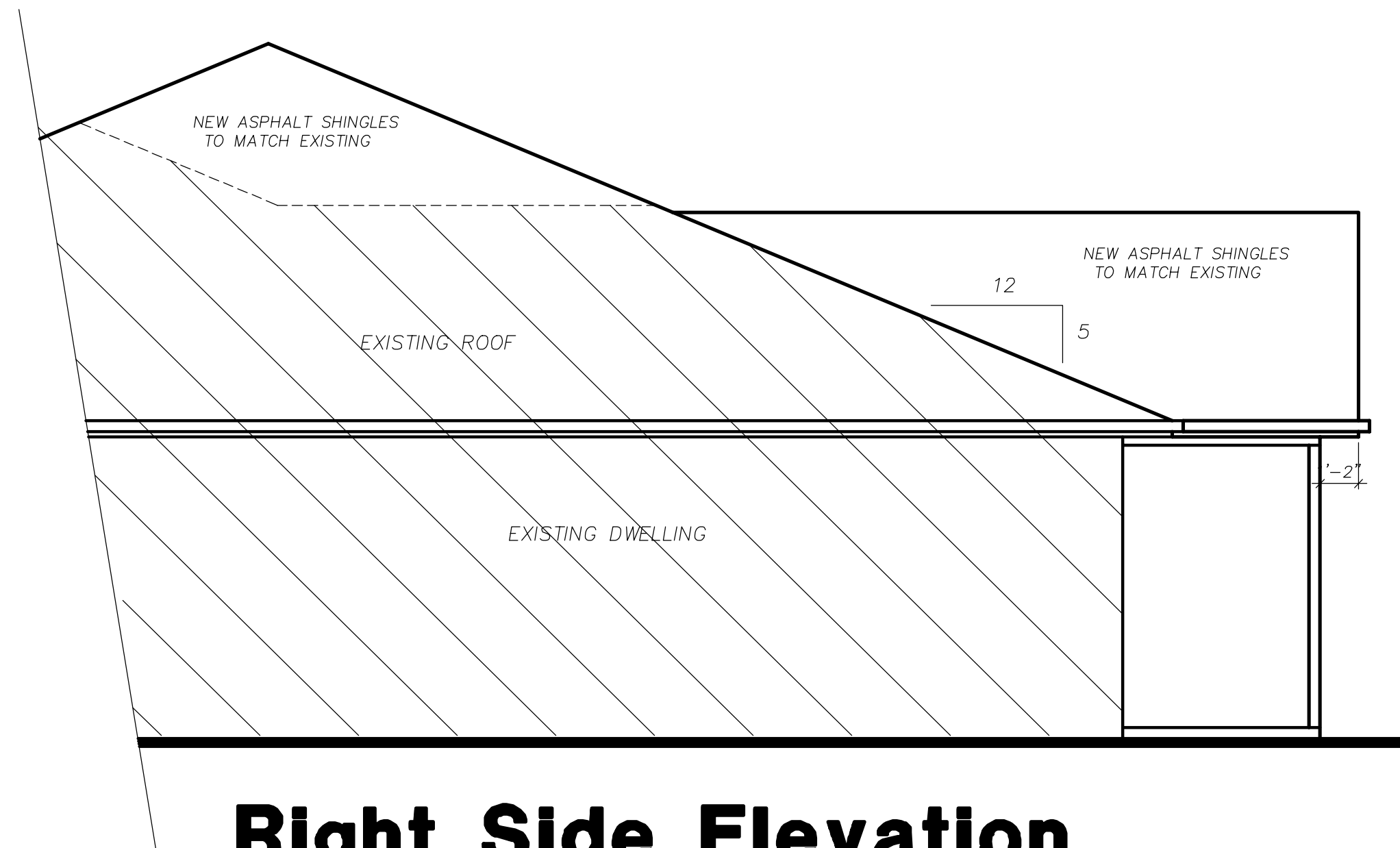
216 ROBINA ROAD

ANCASTER ONTARIO



Left Side Elevation

SCALE 1/4" = 1'-0"



Right Side Elevation

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION
Required unless design is exempt under M.V.C. 3.2.5.1 of the building code

Richard Weatherston
NAME SIGNATURE 24787
REGISTRATION INFORMATION
Required unless design is exempt under DIV. C 3.2.4.1 of the building code
R.G. CAD SERVICE INC.
FIRM NAME BON

3293 MAY 20

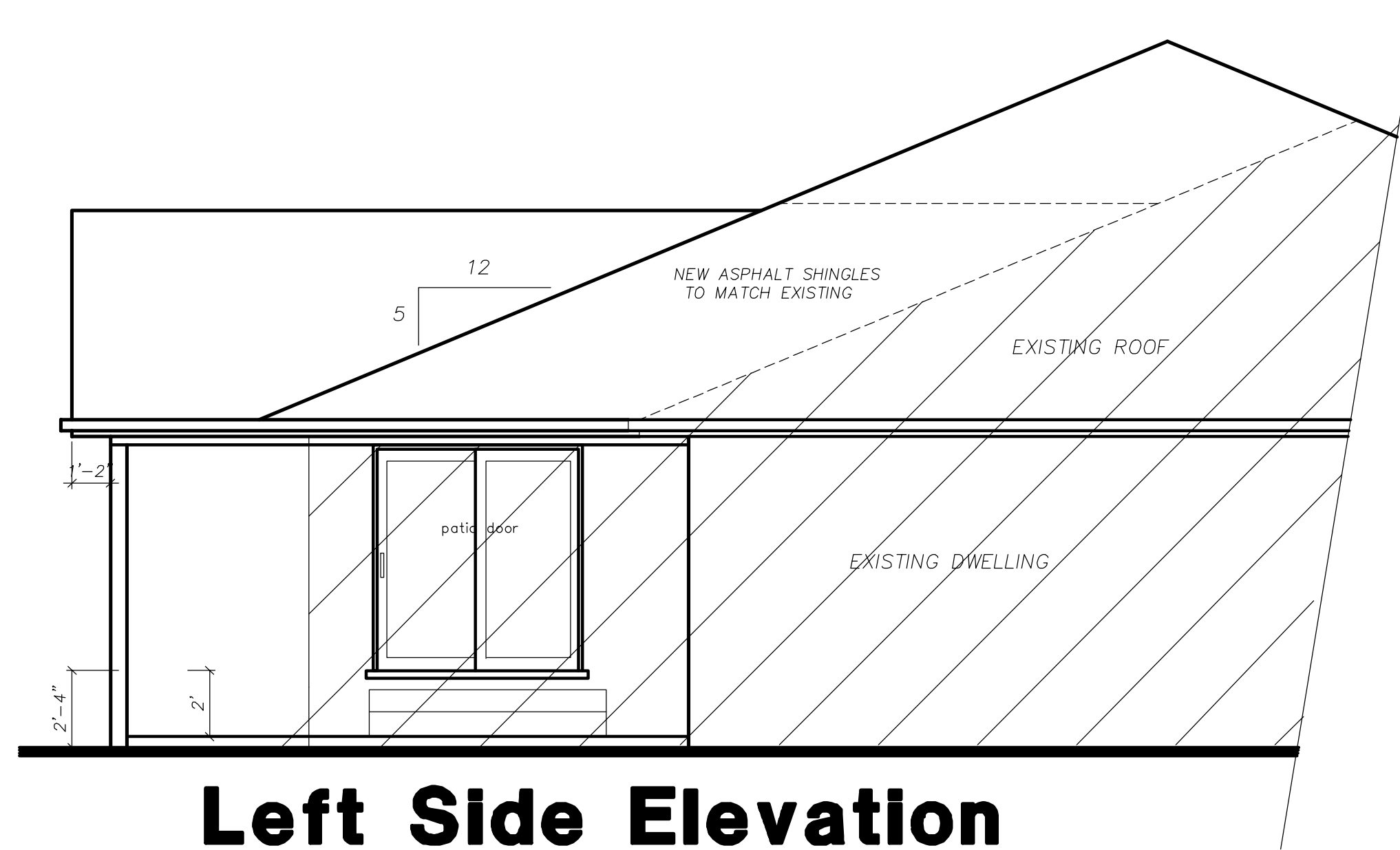
**R.G.CAD
SERVICE INC.**
228 GREEN RD. STONEY CREEK
PHONE (905) 664-8061

AREA
COVERED PATIO
= 683 SQ.FT

PROPOSED COVERED PATIO
216 ROBINA ROAD
ANCASTER ONTARIO

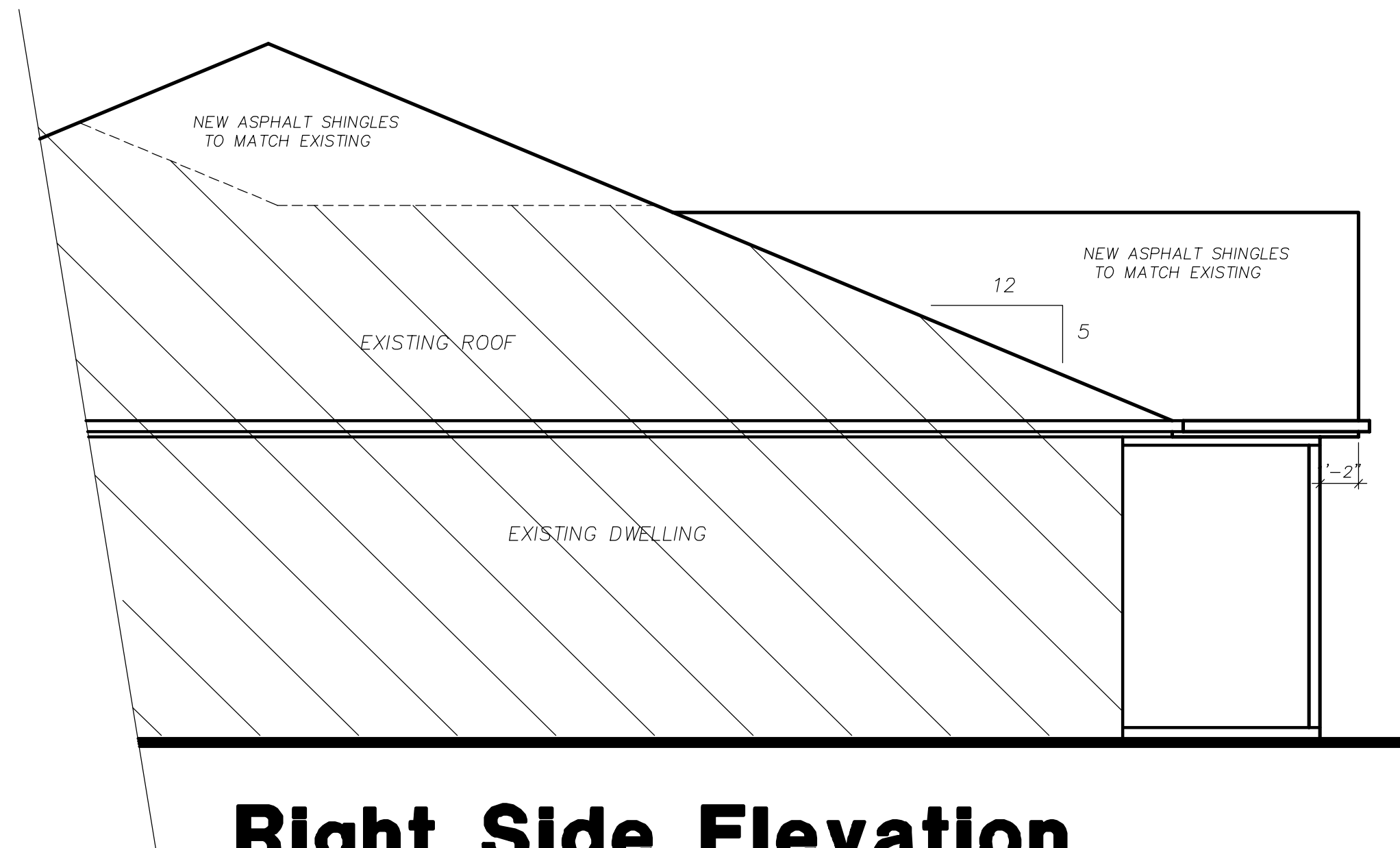
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 FIRM NAME BON 29747

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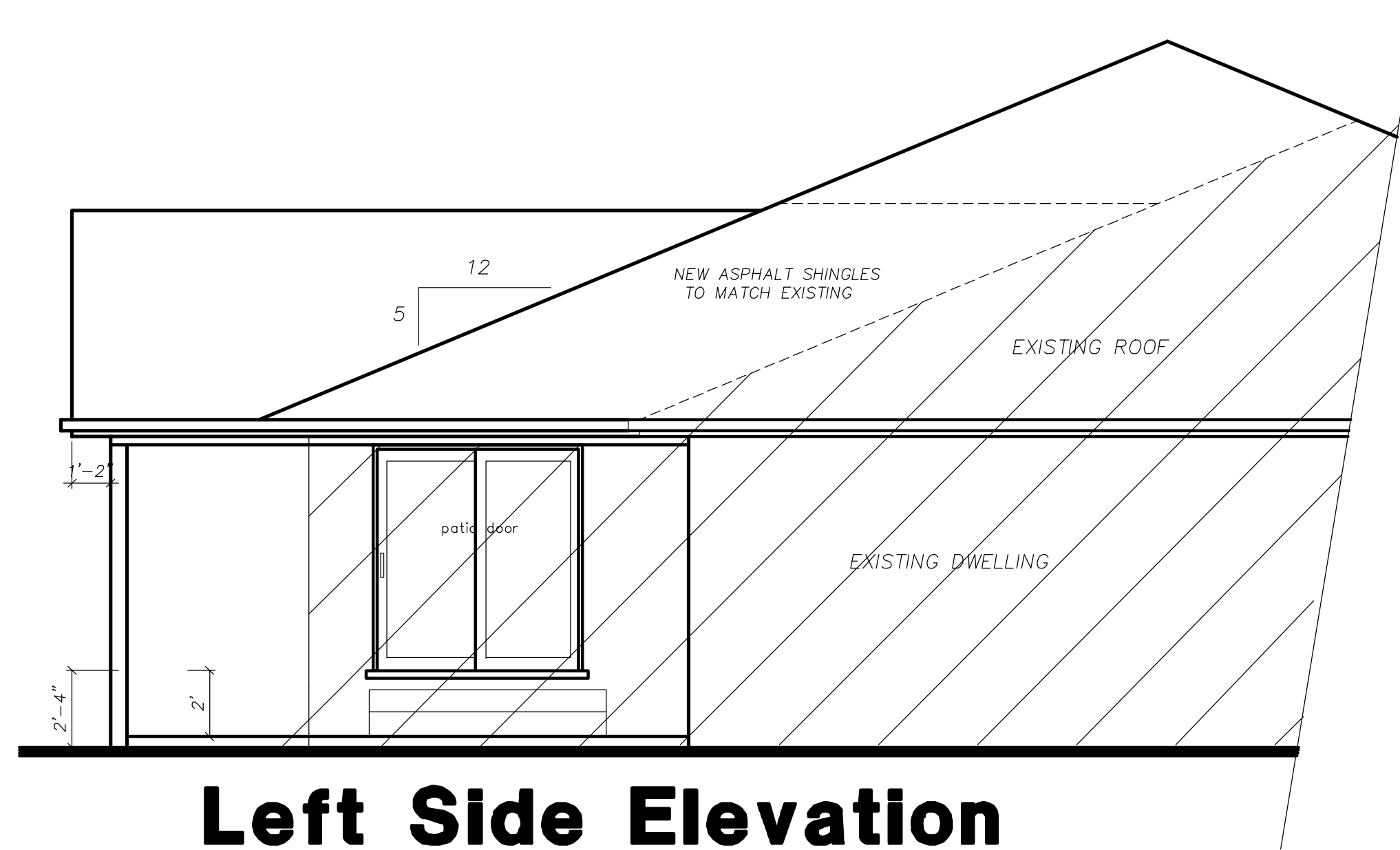
**R.G.CAD
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PROPOSED COVERED PATIO
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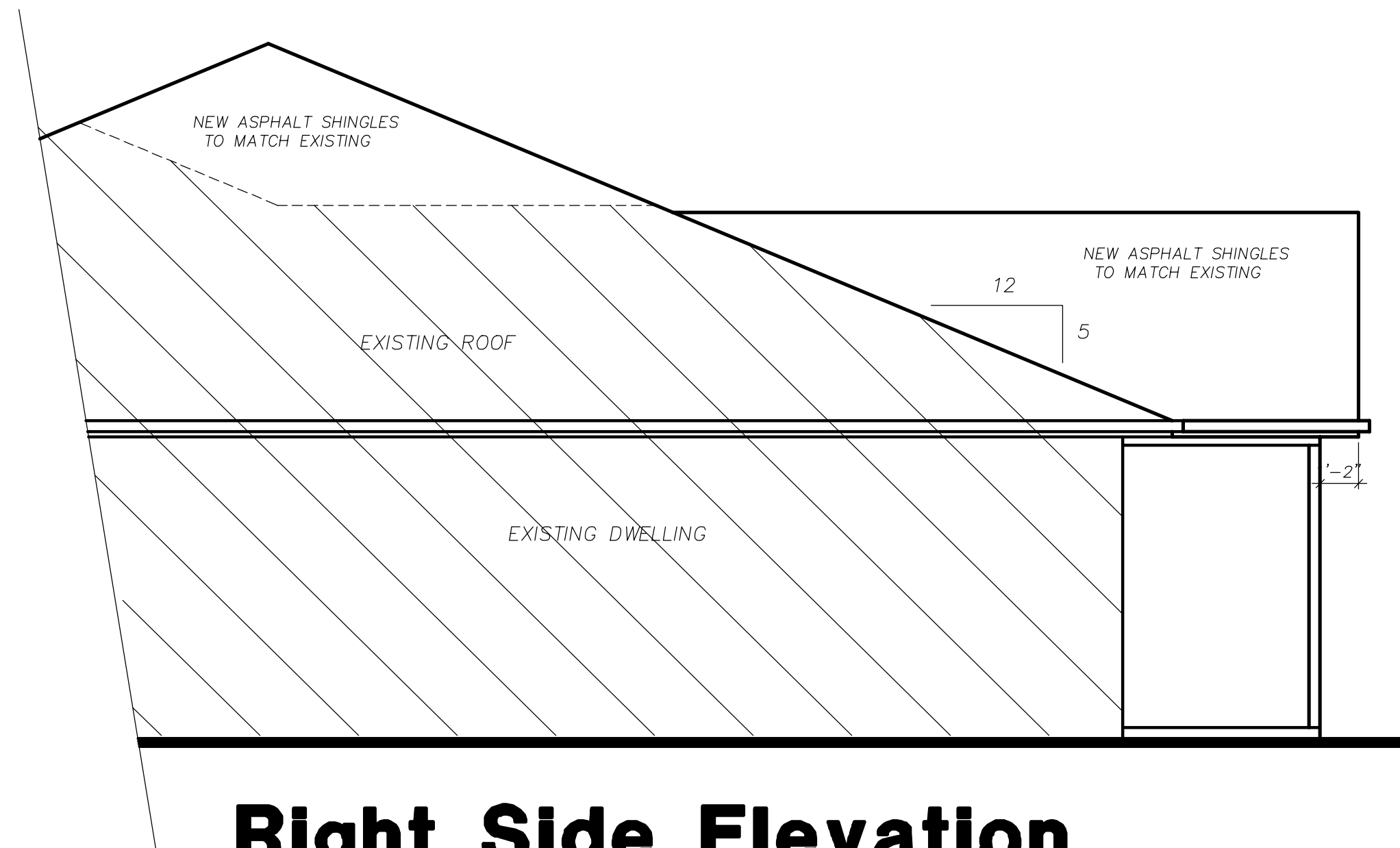
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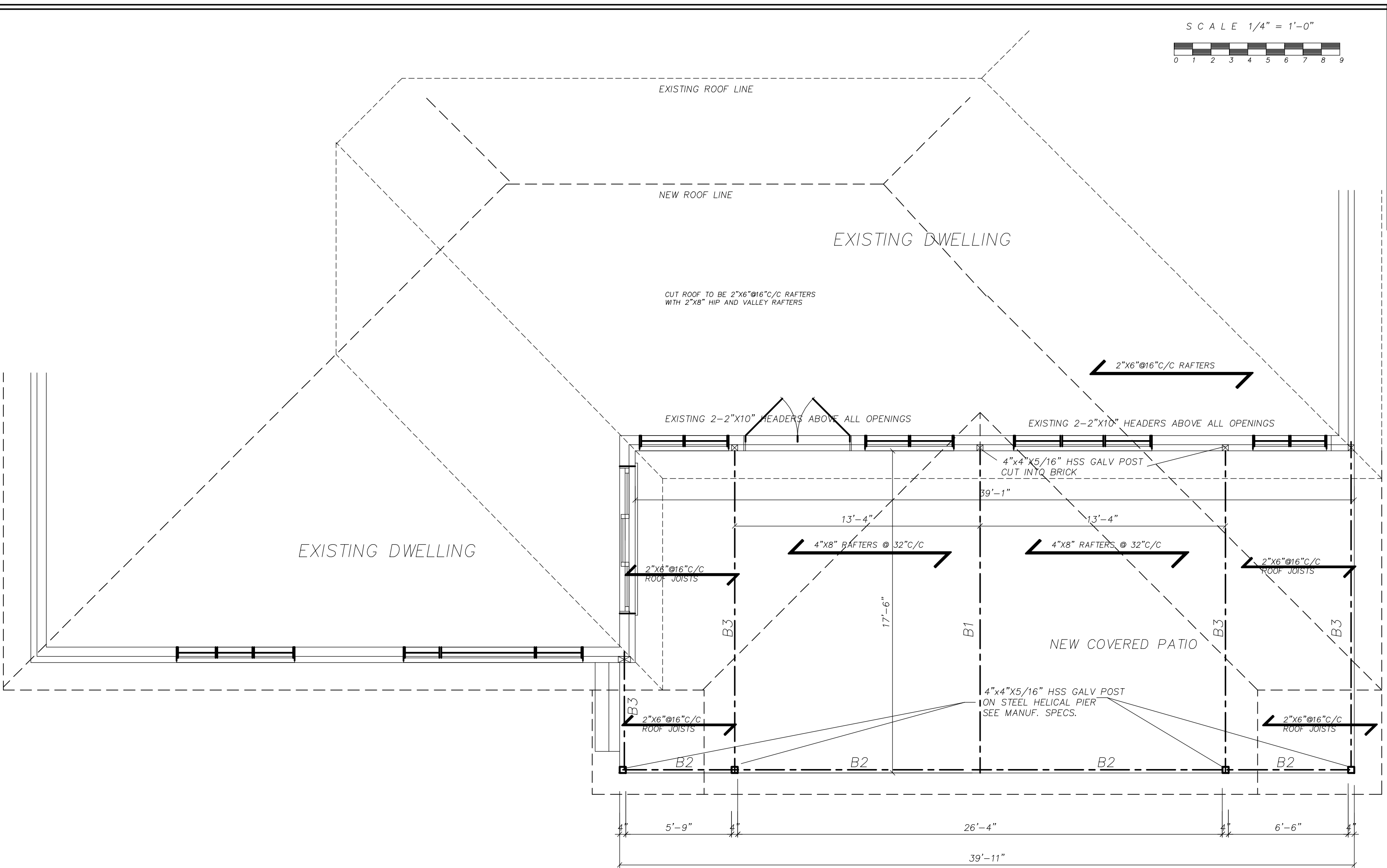
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PROPOSED COVERED PATIO
216 ROBINA ROAD
 ANCASTER ONTARIO

2

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B1 = 8"x14" TIMBER BEAM #1 D.F.
B2 = 10"x12" TIMBER BEAM #1 D.F.
B3 = 8"x12" TIMBER BEAM #1 D.F.
ROOF BEAM DESIGN BY OTHERS

Floor Plan

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NAME SIGNATURE BCIN 24787
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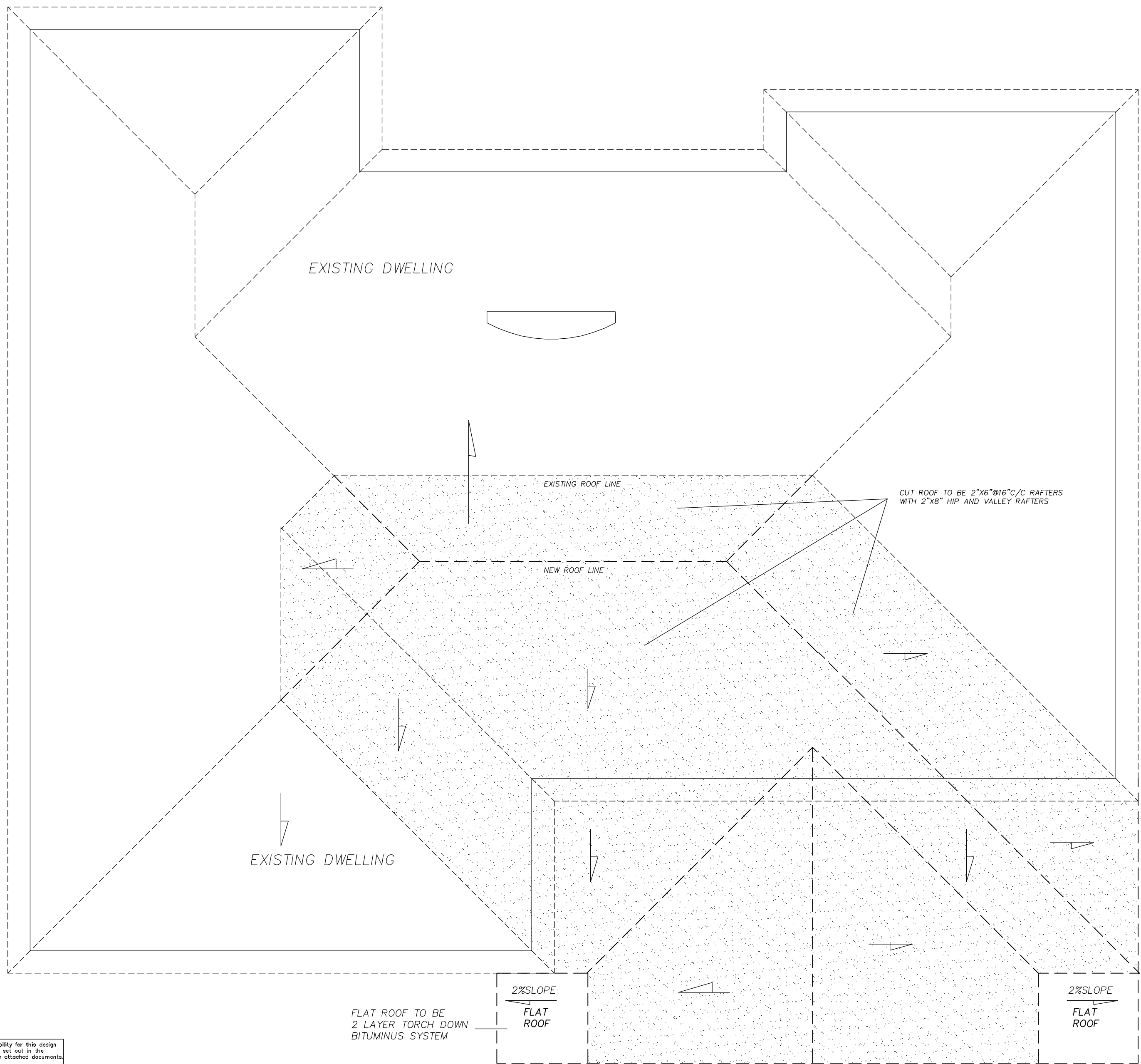
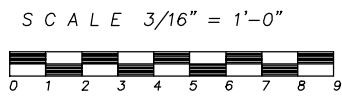
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Roof Plan

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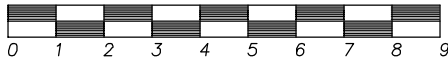
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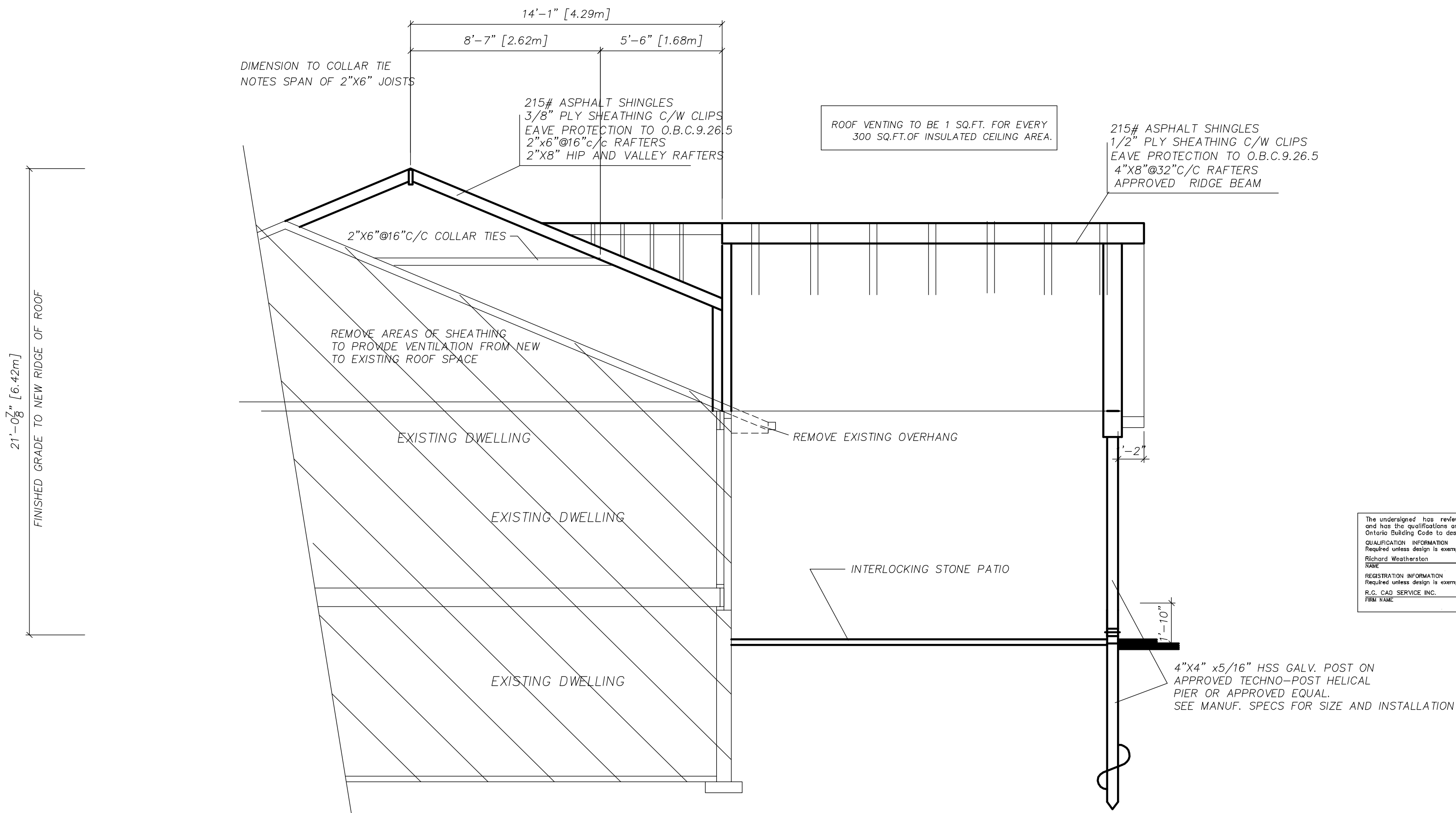
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S C A L E 1/4" = 1'-0"



WOOD LINTEL SCHEDULE					
LINTEL SIZE	SUPPORTING 2 FLOORS + ROOF	SUPPORTING 1 FLOOR + ROOF		SUPPORTING ROOF ONLY	
	EXT.BRG.WALLS	INT. WALLS	EXT.BRG.WALLS	INT. WALLS	EXT.BRG.WALLS
2-2"x4"	2'-10"	2'-4"	3'-7"	3'-10"	3'-8"
2-2"x6"	4'-1"	3'-4"	4'-6"	4'-5"	5'-5"
2-2"x8"	5'-0"	3'-11"	5'-5"	5'-4"	6'-7"
2-2"x10"	6'-1"	4'-9"	6'-8"	6'-7"	8'-1"
2-2"x12"	6'-10"	5'-5"	7'-8"	7'-7"	9'-5"



NOTE: ANY INFORMATION NOT SHOWN ON THESE DRAWINGS SHALL COMPLY TO SECTION B PART 9 OF THE ONTARIO BUILDING CODE.

Section

3293 MAY 20

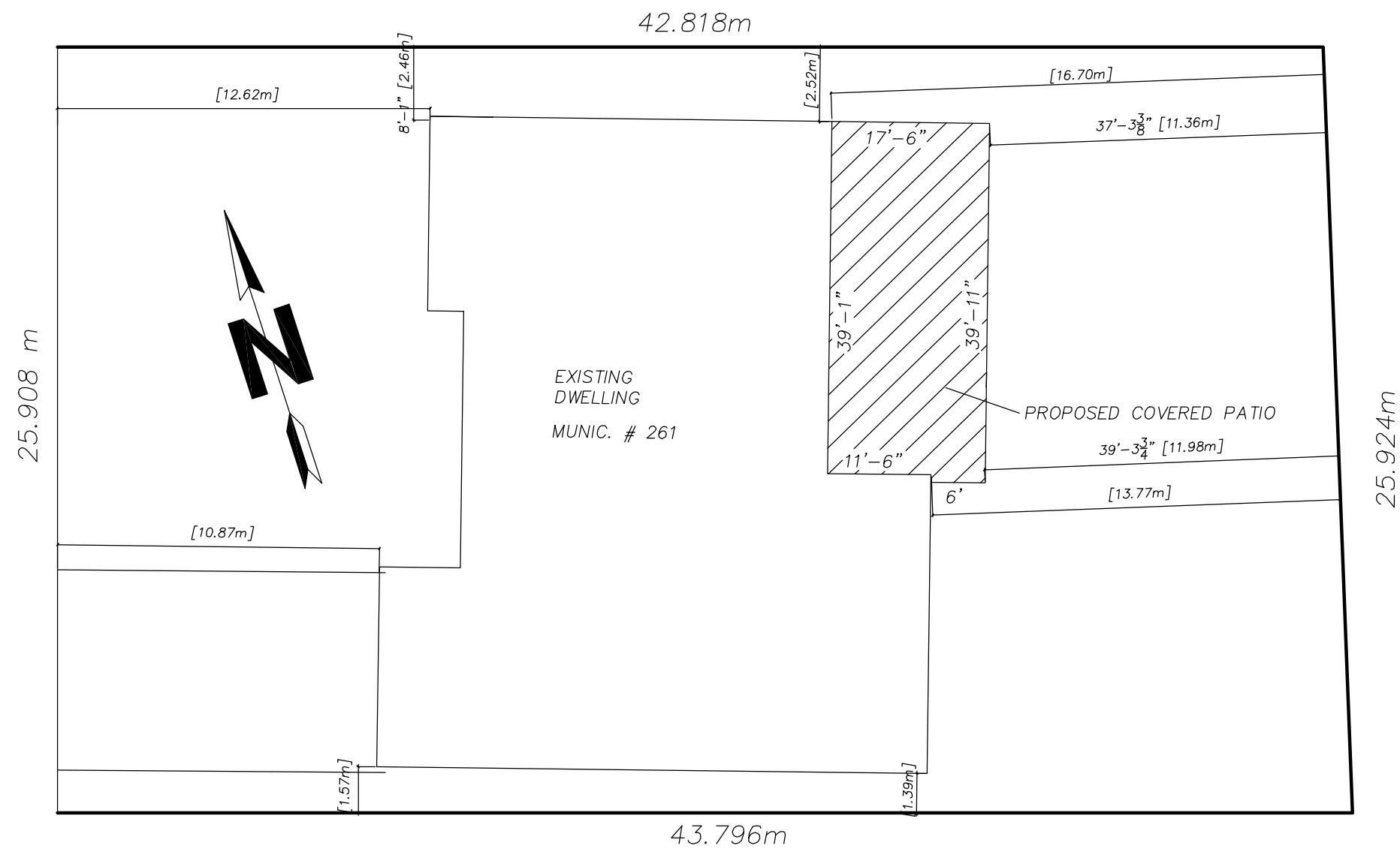


R.G.CAD
SERVICE INC.
228 GREEN RD. STONEY CREEK
PHONE (905) 664-8061

PROPOSED COVERED PATIO
216 ROBINA ROAD
ANCASTER ONTARIO

6

ROBINA ROAD



Site Plan

SCALE 1/16" = 1'-0"

NOTE SITE INFORMATION PROVIDED BY OTHERS

LOT AREA 12075 SQ.FT. 1121.8 S.M.
HOUSE AREA 3509 SQ.FT. 325.99 S.M..
COVERED PATIO AREA 683 SQ.FT. 63.45 S.M.
LOT COVERAGE 34.71%

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.	
QUALIFICATION INFORMATION	
Required unless design is exempt under M.C. 3.2.5.1 of the building code	
Richard Weatherston	24787
NAME	SIGNATURE
REGISTRATION INFORMATION	
Required unless design is exempt under DIV. C 3.2.4.1 of the building code	
R.G. CAD SERVICE INC.	29747
FIRM NAME	BCR

3293 MAY 20



AREA
COVERED PATIO
= 683 SQ.FT

PROPOSED COVERED PATIO
261 ROBINA ROAD

ANCASTER

ONTARIO

7

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCEMENT OF CONSTRUCTION.

GENERAL NOTES

FOOTINGS

1. ALL FOOTINGS TO CONFORM TO THE ONTARIO BUILDING CODE SECTION 9.15
2. ALL FOOTINGS TO BE 20MPa MIN AND BEAR ON SOUND UNDISTURBED SOIL CAPABLE OF SUSTAINING A SAFE BEARING CAPACITY OF 2500 PSF AT A DEPTH OF 4'-0" BELOW THE FINISHED GRADE ELEVATION. IF UPON EXCAVATING A LESSER SOIL BEARING CAPACITY IS ENCOUNTERED, THE ENGINEER IS TO BE NOTIFIED AND A NEW FOOTING DESIGN WILL BE PRODUCED.
3. ALL STEP FOOTINGS TO HAVE A MINIMUM OF 24" HORIZONTAL RUN AND A MAXIMUM VERTICAL STEP OF NOT MORE THAN 24".

SLABS ON GRADE

1. SLABS--ON--GRADE TO CONFORM TO THE ONTARIO BUILDING CODE SECTION 9.16.
2. CONCRETE SLABS BELOW GRADE TO BE 3" THICK MINIMUM AND TO BEAR ON 4" GRANULAR FILL COMPACTED LEVEL WITH TOP OF FOOTINGS.
3. HABITABLE ROOMS LOCATED ON CONCRETE SLABS TO BE DAMPPROOFED WITH 6 MIL POLYETHYLENE.
4. CONCRETE SLABS AT GRADE ELEVATION TO BE A MINIMUM OF 4" THICK AND REINFORCED WITH 6 X 6 -6/6 WWF OR POLYPROPYLENE FIBRES.

CONCRETE FOUNDATION WALLS

1. FOUNDATION WALLS TO CONFORM TO THE ONTARIO BUILDING CODE SECTION 9.15.4. AND BE A MIN OF 20MPa CONCRETE.
2. ALL CONCRETE WALLS TO BE A MINIMUM OF 8" THICK UNLESS NOTED OTHERWISE.
3. FOUNDATION WALLS TO EXTEND A MINIMUM OF 6" ABOVE FINISHED GRADE ELEVATION.
4. BASEMENT WINDOW WITH A WIDTH OF GREATER THAN 4'-0 TO BE REINFORCED WITH 2-10M BARS EXTENDING 12" ON EACH SIDE.
5. ALL FORM TIE HOLES TO BE FILLED AND SEALED TO OBC. 9.13.5.1.
6. APPLY A MINIMUM OF ONE HEAVY COAT OF BITUMINOUS OR OTHER APPLICATION OF DAMPROOFING TO GRADE LEVEL.
7. ANCHOR BOLTS FOR SILL PLATES TO BE 1/2" DIAMETER MINIMUM. GALVANIZED AND PLACED AT 7'-10" O.C. MAXIMUM.

BASEMENT COLUMNS, BEAMS AND BEARING WALLS

1. STUD BEARING WALLS IN BASEMENTS SUPPORTING NOT MORE THAN 1 FLOOR TO BE A MINIMUM OF 2" X 4" AT 16" O.C. ON 4 MIL POLY VAPOUR BARRIER ON 1 COURSE OF HALF HEIGHT ASHLAR BLOCK AND ANCHORED AT 7'-10" O.C. MAXIMUM.
2. STUD BEARING WALLS IN BASEMENTS SUPPORTING 2 FLOORS TO BE A MINIMUM OF 2" X 4" AT 12" O.C. ON 4 MIL POLY VAPOUR BARRIER ON 1 COURSE OF HALF HEIGHT ASHLAR BLOCK AND ANCHORED AT 7'-10" O.C. MAXIMUM.
3. PIPE COLUMNS SUPPORTING 2 FLOORS TO HAVE A MINIMUM OUTSIDE DIAMETER OF 2-7/8 AND A MINIMUM WALL THICKNESS OF 3/16" WITH A 6" X 6" X 1/4" MINIMUM STEEL BEARING PLATE AT EACH END.
4. STEEL COLUMN TOP PLATES TO BE CONNECTED TO BEAM WITH 2-1/2" DIA. BOLTS MINIMUM OR WELDED TO BEAM FLANGES.
5. ALL STEEL BEAMS TO BE SHOP PRIMED WITH RED OXIDE PRIMER AND HAVE A MINIMUM END BEARING OF NOT LESS THAN 3-1/2".
6. ALL WOOD BEAMS TO CONFORM TO OBC 9.23.8.
7. WOOD BEAMS FRAMED INTO MASONRY OR CONCRETE AT OR BELOW GRADE LEVEL SHALL BE TREATED TO PREVENT DECAY, OR A 1/2" AIR SPACE SHALL BE PROVIDED AT THE REAR AND SIDES OF THE WOOD BEAM IN ACCORDANCE WITH OBC 9.23.2.2.

ABOVE GRADE MASONRY VENEER

1. WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT INSTALLATION OF BRICK FACING THE BRICK AND CONCRETE BLOCK WALLS TO HAVE APPROVED METAL TIES AT 8" O.C. VERTICAL AND 2'-11" O.C. HORIZONTALLY WITH THE SPACE BETWEEN THE WYTHES SOLIDLY FILLED WITH MORTAR.
2. MAXIMUM CORBEL OVER FOUNDATION WALLS TO BE 1" WHERE MASONRY IS AT LEAST 3-1/2" THICK AND 1/2" WHERE MASONRY IS LESS THAN 3-1/2" THICK.
3. BRICK VENEER TIES TO BE GALVANIZED CORROSION RESISTANT CORRUGATED 22 GA X 7/8" WIDE SPACED IN ACCORDANCE WITH OBC. TABLE 9.20.9.A.
4. PROVIDE FLASHING IN ACCORDANCE WITH OBC SECTION 9.20.13. UNDER STARTER COURSE AND EXTENDED A MINIMUM OF 6" UP THE WALL AND UNDER THE BUILDING PAPER
5. PROVIDE DRAINAGE WEEP HOLES IN BASE OF STARTER COURSE AT 32"O.C. AND AS INDICATED IN ACCORDANCE WITH OBC SECTION 9.20.13.9.
6. PROVIDE A MINIMUM OF 1" AIR SPACE BETWEEN THE BRICK VENEER AND THE WALL SHEATHING.

WOOD FRAMING

1. ALL WOOD STRUCTURAL MEMBERS HAVE BEEN SELECTED BASED UPON USING NO.2 CONSTRUCTION GRADE SPRUCE UNLESS OTHERWISE NOTED.
2. INSTALL DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.
3. INSTALL TRIPLE JOISTS UNDER ALL PARALLEL BEARING PARTITIONS UNLESS OTHERWISE NOTED.
4. ALL FLOOR JOISTS, ROOF JOISTS AND RAFTERS TO HAVE A MINIMUM END BEARING OF 1-1/2".
5. INSTALL METAL JOIST HANGERS FOR SUPPORT OF JOISTS FRAMED INTO SIDES OF WOOD BEAMS, TRIMMERS AND HEADERS WHEN REQUIRED.
6. INSTALL BRIDGING BETWEEN SUPPORTS AT INTERVALS OF NOT MORE THAN 6'-11" OR AS NOTED IN THE PLANS ALSO IN ACCORDANCE WITH OBC 9.23.9.4.
7. ALL HEADER JOISTS AROUND FLOOR OPENINGS TO BE DOUBLED WHEN THEY EXCEED 3'-11" IN LENGTH.
8. LOAD BEARING PARTITION WALLS AT RIGHT ANGLES TO THE FLOOR JOISTS TO BE LOCATED NOT MORE THAN 2'-11" FROM THE JOIST SUPPORT WHEN WALL DOES NOT SUPPORT A FLOOR AND NOT MORE THAN 2'-0" FROM THE JOIST SUPPORT IF IT SUPPORTS ANOTHER FLOOR.
9. STUD BEARING WALLS NOT SHEATHED ON AT LEAST ONE SIDE SHALL HAVE MID HEIGHT BLOCKING OE EQUAL LATERAL SUPPORT.

INSULATION AND VAPOUR BARRIERS

1. THE UPPER PART OF FOUNDATION WALLS ENCLOSING A HEATED AREA SHALL BE INSULATED FROM UNDERSIDE OF THE SUB FLOOR TO NOT MORE THAN 8" FROM BASEMENT FINISHED FLOOR AND PROTECTED WITH A MOISTURE BARRIER AND/OR VAPOUR BARRIER.
2. PROVIDE RIGID PERIMETER INSULATION FOR CONCRETE SLABS ON GRADE WHICH FORM HABITAL AREAS.
3. MASONRY WALLS OF HOLLOW UNITS WHICH PENETRATE THROUGH THE CEILING SHALL BE CAPPED WITH SOLID MASONRY UNITS OR BE SEALED WITH FLASHING MATERIAL WHICH EXTENDS ACROSS THE FULL WIDTH OF THE MASONRY AT OR NEAR THE CEILING OR ROOF SPACE TO PREVENT MOISTURE WITHIN THE VOIDS FROM ENTERING THE ROOF SPACE.
4. DUCTWORK IN ATTICS OR ROOF SPACES SHALL HAVE ALL JOINTS TAPED OR BE OTHERWISE SEALED TO ENSURE THEY ARE AIRTIGHT THROUGHOUT THEIR LENGTH.

ROOF CONSTRUCTION

1. HIP AND VALLEY RAFTERS TO BE NOT LESS THAN 2" GREATER IN DEPTH THAN THE COMMON RAFTERS AND NOT LESS THAN 1 1/2" THICK.
2. ATTIC ACCESS HATCHES TO BE 22" X 28" MINIMUM WITH BUILT UP SIDES OF 5/8" PLYWOOD WHERE LOOSE INSULATION IS TO BE USED. HATCH COVER IS TO BE INSULATED AND WEATHERSTRIPPED OVER HEATED AREAS.
- 3.PROVIDE TYPE S ROLL ROOFING EAVE PROTECTION FROM THE EDGE OF THE ROOF FOR A DISTANCE OF NOT LESS THAN 12" BEYOND THE INTERNAL FACE OF THE EXTERIOR WALLS.
4. ROOF AND CEILING FRAMING TO BE DOUBLED ON EACH SIDE OF OPENING GREATER THAN 2 RAFTERS OR JOIST SPACING IN WIDTH.

FLASHING

1. FLASHING BETWEEN ROOF SHINGLES AND WALL SIDING TO EXTEND 3" UP BEHIND SIDING AND 4" HORIZONTALLY.
2. FLASHING REQUIRED AT INTERSECTIONS OF ROOF AND WALLS, VALLEYS AND OVER PARAPET WALLS.
3. FLASH AROUND ALL CHIMINEYS AND PROVIDE CHIMINEY SADDLES ON ALL CHIMINEYS WHERE THE WIDTH EXCEEDS 2'-6".
4. FLASHING IS REQUIRED UNDER ALL MASONRY, WINDOW SILLS AND HEADS OF OPENINGS AND SHALL EXTEND FROM THE FRONT EDGE OF THE MASONRY UP BEHIND THE SILL OR LINTEL.

NATURAL VENTILATION

1. ROOF SPACES OR ATTICS SHALL BE VENTILATED IN ACCORDANCE WITH OBC SECTION 9.19.1 WITH OPENINGS TO THE EXTERIOR HAVING A TOTAL UNOBSTRUCTED AREA OF NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA OF WHICH 50% IS LOCATED IN THE SOFFITS SO AS TO PROVIDE EFFECTIVE AIR CIRCULATION.
2. INSULATION SHALL BE INSTALLED IN MANNER WHICH WILL NOT REDUCE THE FLOW OF AIR THROUGH THE VENTS OR THROUGH ANY PORTION OF THE ROOF SPACE OR ATTIC.
3. MAINTAIN R20 MINIMUM INSULATION AT ROOF AND WALL JUNCTIONS NEAR EAVES.
4. PROVIDE FIBREGLASS VENT PANELS IN ATTIC NEAR WALL/SOFFIT AT EAVES TO ENSURE AIR FLOW.

STAIRS AND HANDRAILS

1. EXCEPT TO AREAS USED ONLY AS SERVICE ROOMS, ALL STAIRS SERVING DWELLING UNITS SHALL HAVE A MAXIMUM RISE OF 7-7/8", A MINIMUM RUN OF 8-1/4" AND WITH A MINIMUM TREAD WIDTH OF 9-1/4".
2. HEADROOM FOR STAIRS WITHIN DWELLING UNITS TO BE 6'-5" MINIMUM MEASURED VERTICALLY FROM A LINE DRAWN THROUGH THE FRONT OF THE NOSING.
3. HANDRAILS ARE NOT REQUIRED FOR STAIRS WITHIN A DWELLING UNIT THAT HAS FEWER THAN 3 RISERS.
4. HANDRAILS SHALL BE INSTALLED ON AT LEAST ONE SIDE OF ALL STAIRS LESS THAN 3'-7" IN WIDTH AND SHALL BE 32" TO 36" ABOVE A LINE DRAWN THROUGH THE NOSING.
5. EXTERIOR STAIRS WITH 3 OR MORE RISERS REQUIRED A HANDRAIL ON AT LEAST ONE SIDE.
6. CURVED STAIRS, IF UNSPECIFIED SHALL HAVE A MINIMUM RUN OF 5-7/8" WITH AN AVERAGE RUN OF NOT LESS THAN 7-7/8".

WINDOWS AND DOORS

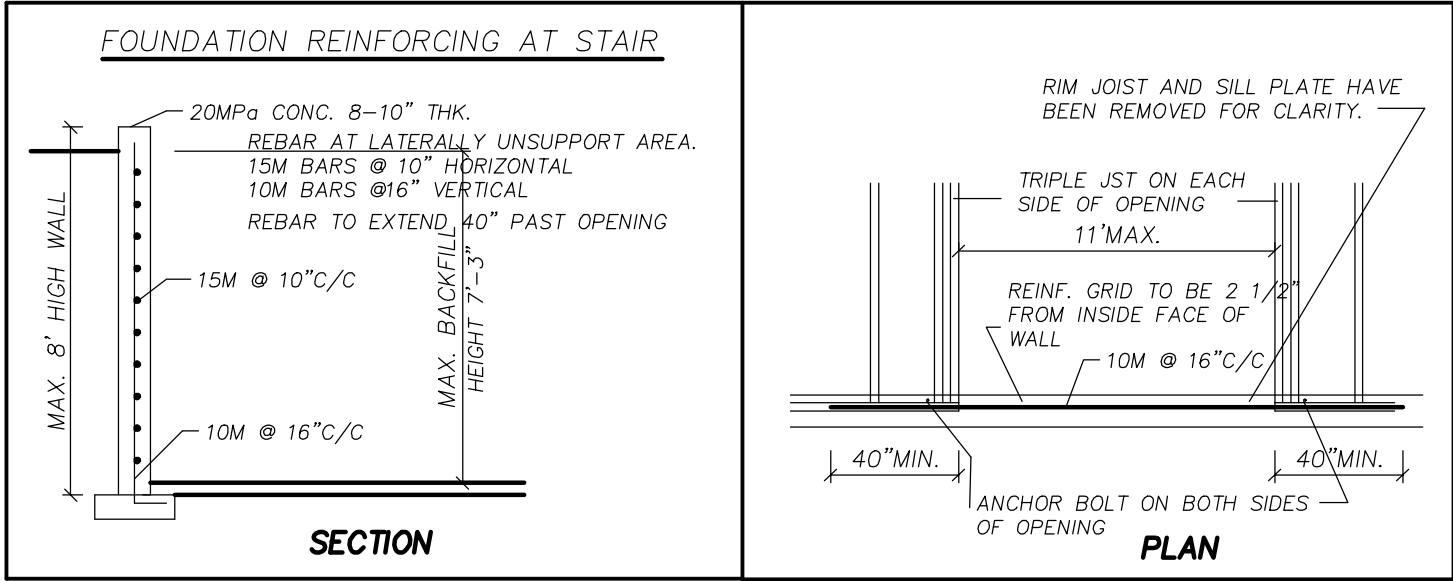
1. WINDOW TO HAVE 10% GLASS AREA OF THE FLOOR AREA SERVED IN LIVING ROOMS, DINNING ROOMS AND KITCHENS.
2. WINDOWS TO HAVE 5% MINIMUM GLASS AREA OF THE FLOOR SERVED IN BEDROOM AREAS.
3. HABITABLE ROOMS SHALL HAVE A MINIMUM OF 3 SQUARE FEET OPENING AREA TO PROVIDE NATURAL VENTILATION.
4. ALL WINDOWS AND SLIDING GLASS DOORS TO HAVE DOUBLE GLAZING, THERMAL GLAZING OR BE EQUIPPED WITH STORM DOORS.
5. EXTERIOR DOORS TO HAVE A THERMAL RESISTANCE OF R7 MINIMUM IF NO STORM DOORS ARE PROVIDED.

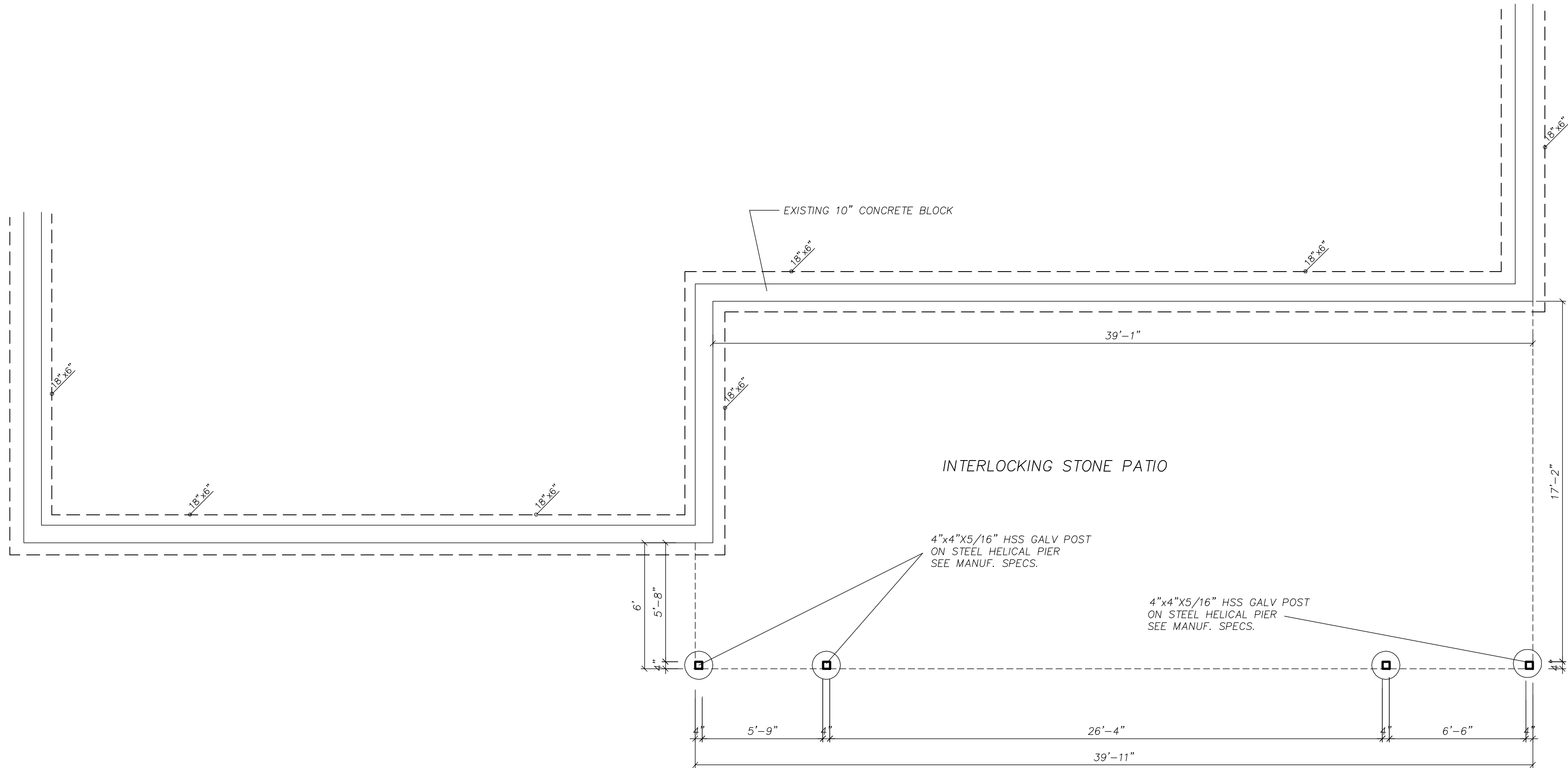
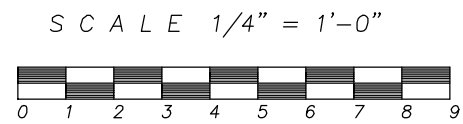
MISCELLANEOUS

1. WHERE A GARDEN HOSE BIB IS INSTALLED IN A POTABLE WATER SYSTEM TO SUPPLY A 1/2" OR 3/4" HOSE, THE BIB SHALL CONTAIN AN INTERGRATED BACK SIPHONAGE PREVENTOR.
2. CLASS "B" GAS VENTS MUST BE INSTALLED WITH REQUIRED CLEARANCES FROM ALL COMBUSTABLE MATERIALS IN ACCORDANCE WITH THE O.B.C.
3. THE DESIGNER TAKES NO RESPONSABILITY UNTIL HE HAS SIGNED THE (SCHEDULE 1) DESIGNERS INFORMATION SHEET FOR THAT SPECIFIED LOT. THIS TAKES AFFECT ON JAN. 1 2006 AS NOTED IN BILL 124.
4. ALL TRUSS DESIGN TO BE SELF SUPPORTED ON EXTERIOR WALLS UNLESS DISCUSSED WITH DESIGNER PRIOR TO PERMIT APPLICATION.
5. TRIPLE STUDS UNDER ALL GIRDER TRUSS AND ROOF POINT LOADS.

STUD WALLS IN THE MAIN BATHROOM SHALL BE REINFORCED TO PERMIT FUTURE INSTALLATION OF GRAB BARS ADJACENT TO WATER CLOSET AND TUB AS INDICATED IN CLAUSE 3.8.3.1(d) AND 3.8.3.13.1(f).

NOTE: ANY INFORMATION NOT SHOWN ON THESE DRAWINGS SHALL COMPLY TO DIVISION C SECTION 9 OF THE ONTARIO BUILDING CODE.





Foundation Plan

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION
Required unless design is exempt under DIV. C 3.2.5.1 of the building code
Richard Weatherston 24787
NAME SIGNATURE BCN

REGISTRATION INFORMATION
Required unless design is exempt under DIV. C 3.2.4.1 of the building code
R.G. CAD SERVICE INC. 29747
FIRM NAME BCN

3293 MAY 20



AREA
COVERED PATIO
= 683 SQ.FT

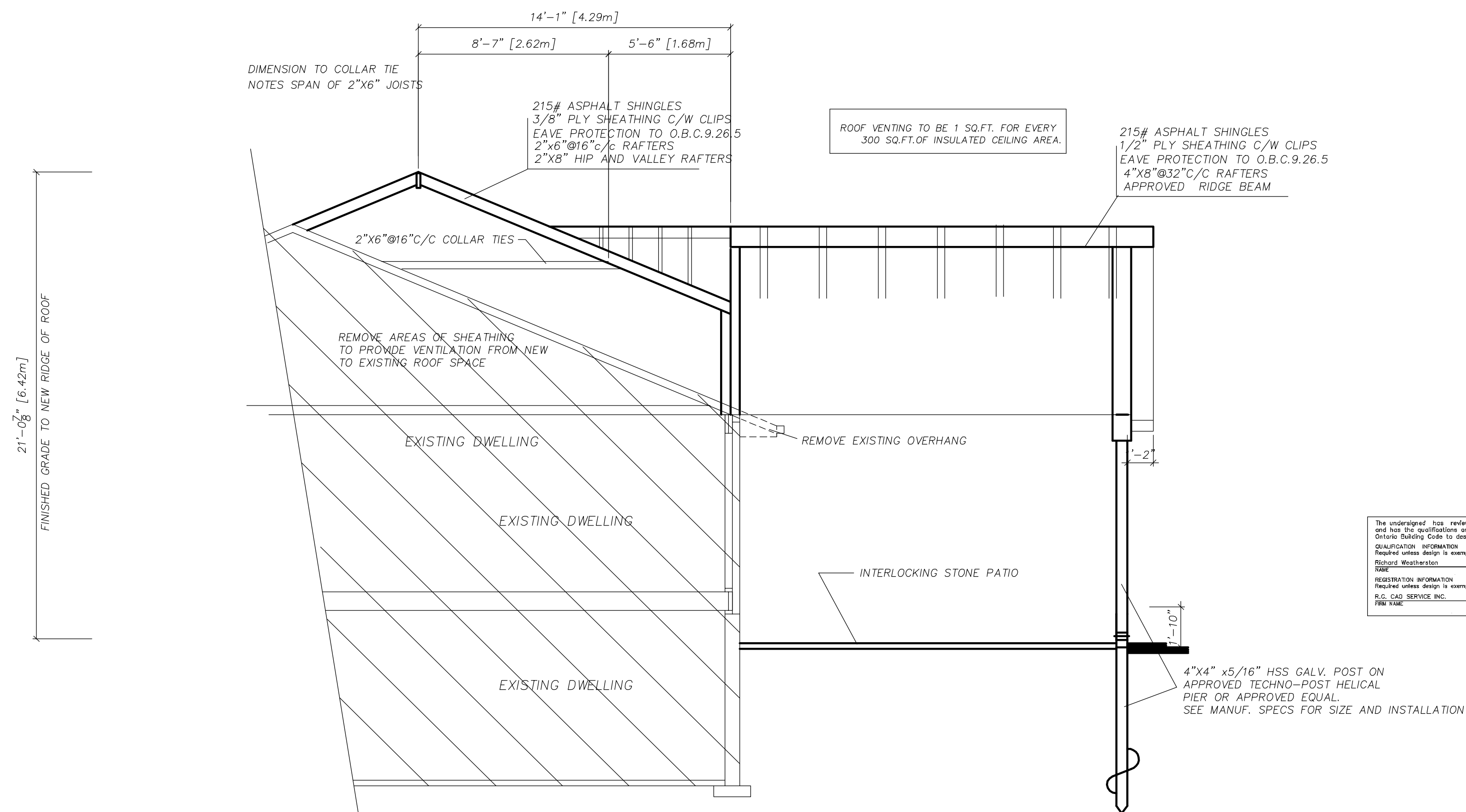
PROPOSED COVERED PATIO
216 ROBINA ROAD
ANCASTER ONTARIO

3

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCEMENT OF CONSTRUCTION.

A horizontal number line with tick marks at 0, 1, 2, 3, 4, 5, 6, 7, and 8. The intervals between the tick marks are shaded in a repeating pattern: the interval from 0 to 1 is shaded, 1 to 2 is unshaded, 2 to 3 is shaded, 3 to 4 is unshaded, 4 to 5 is shaded, 5 to 6 is unshaded, 6 to 7 is shaded, and 7 to 8 is unshaded.

WOOD LINTEL SCHEDULE					
LINTEL SIZE	SUPPORTING 2 FLOORS + ROOF	SUPPORTING 1 FLOOR + ROOF		SUPPORTING ROOF ONLY	
	EXT.BRG.WALLS	INT. WALLS	EXT.BRG.WALLS	INT. WALLS	EXT.BRG.WALLS
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NOTE: ANY INFORMATION NOT SHOWN ON THESE DRAWINGS
SHALL COMPLY TO SECTION B PART 9 OF THE ONTARIO BUILDING CODE.

Section

3293 MAY 20



PROPOSED COVERED PATIO
216 ROBINA ROAD

ANCASTER

ONTARIO

6



Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment

City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

**PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.**

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

**CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO**

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner JADE & STEFANO NELLA Telephone No. [REDACTED]
FAX NO. [REDACTED] E-mail address. [REDACTED]
2. Address [REDACTED]
Postal Code [REDACTED]
3. Name of Agent MIKE BACCALA Telephone No. [REDACTED]
FAX NO. [REDACTED] E-mail address. [REDACTED]
4. Address [REDACTED]
Postal Code [REDACTED]

Note: Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Postal Code _____

Postal Code _____

6. Nature and extent of relief applied for:

THE REQUIRED SETBACK IS 13.0m (42'-11³/₄) FROM THE COVERED PATIO TO THE REAR PROPERTY LINE AS PER CITY REQUIREMENTS. THE PROPOSED PORCH SIZING FROM THE PROPERTY LINE IS 11.36m (37'-3³/₈) THE COVERED PORCH ENCRACHES SETBACK BY 1.74m (5'-8³/₈). REQUIRE RELIEF FOR 1.74m ENCKOACHMENT

7. Why it is not possible to comply with the provisions of the By-law?

THE COVERED PORCH IS DESIGNED FOR A REASONABLE USAGE SIZE IT WILL BE ATTACHED TO THE EXISTING HOUSE EXTERIOR

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

BEING ALL OF LOT 27, REGISTERED PLAN 1035, KNOWN AS MUNICIPAL NO. 261 RUBINA ROAD (ANCASTER) CITY OF HAMILTON

9. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☐

Other

- 9.1 If Industrial or Commercial, specify use

- 9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

- 9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

- 9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

- 9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

- 9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes _____ No ☒ Unknown _____

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes _____ No ☒ Unknown _____

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

AGE OF EXISTING HOME AND NEIGHBOURHOOD

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes _____ No _____

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application, by reason of its approval to this Application.

Nov 30/2020
Date

Signature Property Owner

JADENELLA
Print Name of Owner

10. Dimensions of lands affected:

Frontage

25.908m

Depth

NORTHSIDE 42.818m SOUTHSIDE 43.796m

Area

1121.8 SM

Width of street

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: HOUSE AREA GROUND FLOOR AREA - 1 STOREY BUNGALOW 325.99m, WIDTH 21.95m, LENGTH 18.75m TAKEN FROM FURTHEST HOUSE EXTERIOR CORNERS - GARAGE SIDE OF HOUSE, HEIGHT 6.42m

Proposed: ADD COVERED PORCH 5.33m DEPTH x 12.17m LENGTH AS PER PLANS 63.45m² AT REAR OF HOUSE FINISHED HEIGHT OF ROOF 6.42m

12. Location of all buildings and structures on or proposed for the subject lands: (Specify distance from side, rear and front lot lines)

Existing: THERE ARE NO STRUCTURES ON THE EXISTING PROPERTY OTHER THAN THE EXISTING HOUSE. PLEASE SEE ATTACHED LEGAL LAND SURVEY

Proposed: _____

13. Date of acquisition of subject lands:

14. Date of construction of all buildings and structures on subject lands:

EXISTING HOME ESTIMATED BUILD 1970'S

15. Existing uses of the subject property: SINGLE FAMILY RESIDENTIAL
DWELLING

16. Existing uses of abutting properties: SINGLE FAMILY RESIDENTIAL
DWELLINGS

17. Length of time the existing uses of the subject property have continued:

18. Municipal services available: (check the appropriate space or spaces)

Water ☒ Connected ☒

Sanitary Sewer ☒ Connected ☒

Storm Sewers _____

19. Present Official Plan/Secondary Plan provisions applying to the land:

RESIDENTIAL

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

ANCASTER ZONING BY LAW NO. 87-57

21. Has the owner previously applied for relief in respect of the subject property?

Yes

No

If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps