

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: GL/A-21:24

APPLICANTS: Owner Richard Katz
Agent Peter Ostermeir

SUBJECT PROPERTY: Municipal address **1481 Fletcher Rd., Glanbrook**

ZONING BY-LAW: Zoning By-law 05-200, as Amended by By-law 19-062

ZONING: A1 district (Agricultural)

PROPOSAL: To to permit the expansion of an existing single detached dwelling building comprising a 96.63 square metre addition for an attached garage , notwithstanding that,

1. The minimum southerly side yard shall be 1.4 metres instead of the minimum required 3.0 metre side yard.

NOTES:

1. The application is written as requested by the applicant.
2. The lot area for the property is recognized as legal non-complying as it predated the creation of the A1 Zone under Zoning By-law 05-200.

This application will be heard by the Committee as shown below:

DATE: Thursday, February 18th, 2021
TIME: 2:15 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

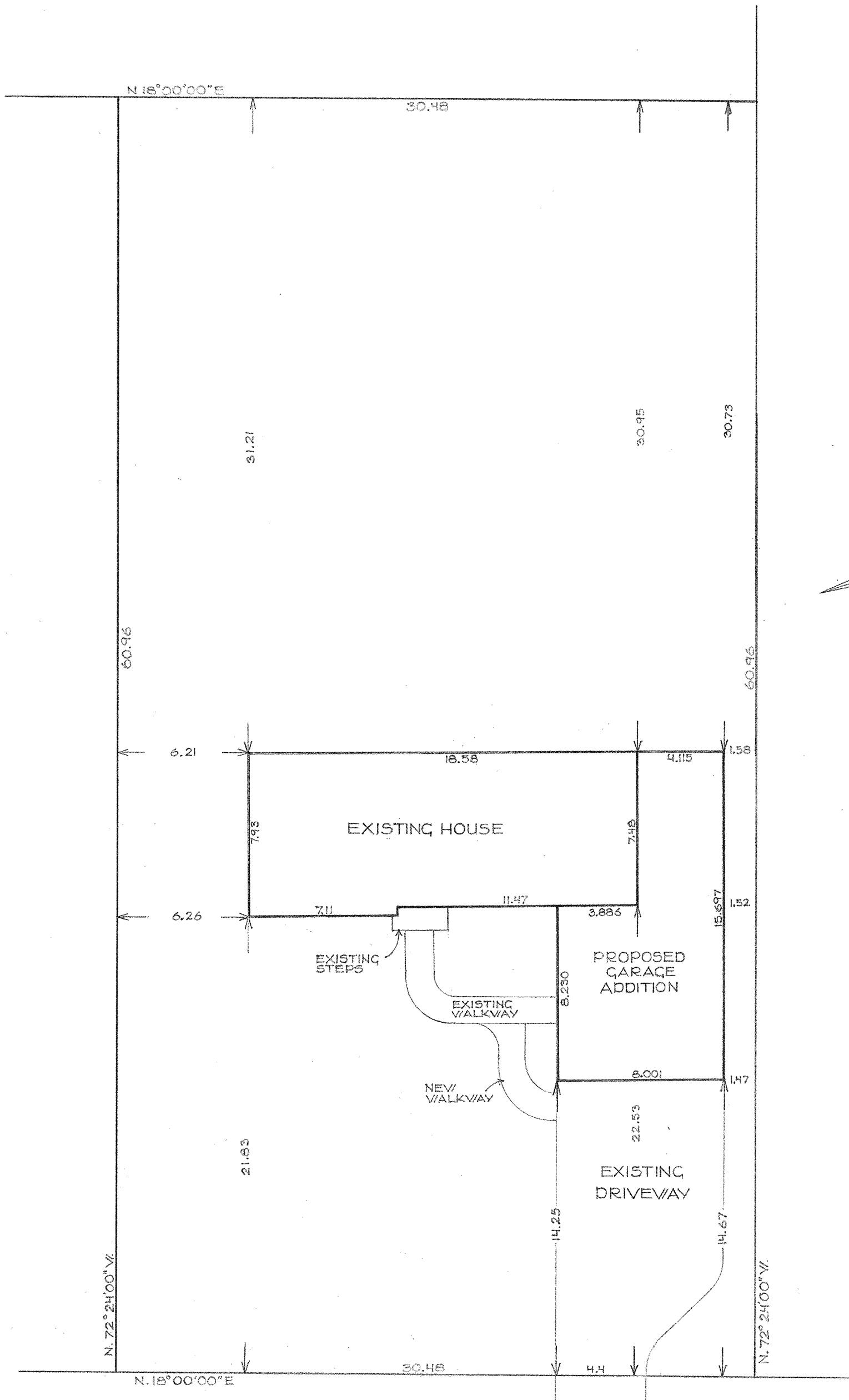
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: February 2nd, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



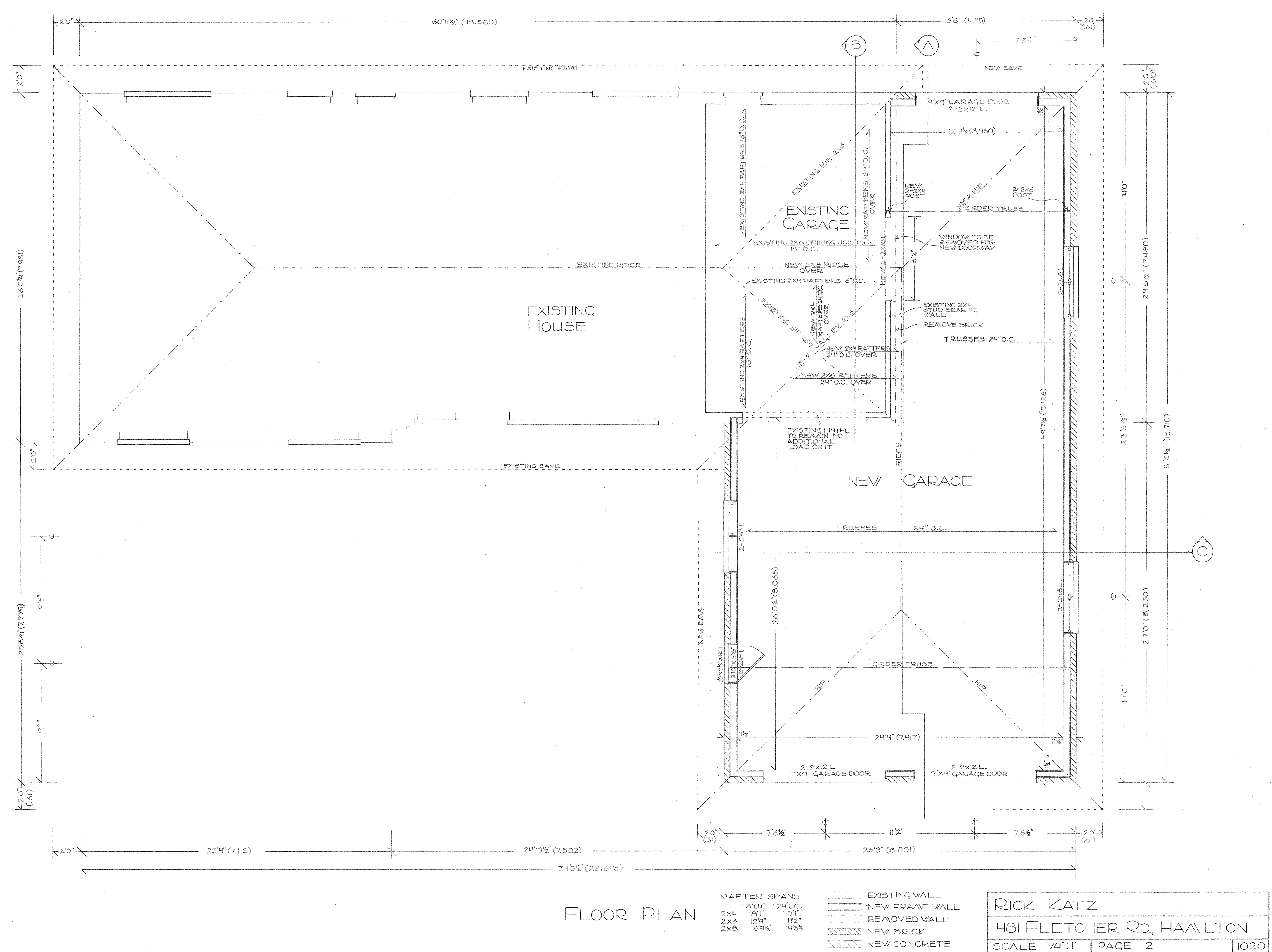
FLETCHER RD.

SITE PLAN INFORMATION FROM LEGAL PROPERTY
DESCRIPTION & SITE MEASUREMENTS

LOT AREA
EXISTING HOUSE & GARAGE AREA
RATIO OF EXISTING LOT COVERAGE TO LOT AREA
PROPOSED GARAGE ADDITION AREA
TOTAL PROPOSED LOT COVERAGE
RATIO OF PROPOSED TOTAL LOT COVERAGE TO LOT AREA

1858.01 m²
142.19 m²
7.65%
96.63 m²
238.81 m²
12.85%

SITE PLAN	
RICK KATZ	
1481 FLETCHER RD. HAMILTON	
SCALE 1:200	11 20





Planning and Economic Development Department
Planning Division

Committee of Adjustment

City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

**CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO**

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner RICHARD KATZ Telephone No. [REDACTED]
FAX NO. [REDACTED] E-mail address. [REDACTED]
2. Address [REDACTED] Postal Code [REDACTED]
3. Name of Agent Peter Ostermiller Telephone No. [REDACTED]
FAX NO. [REDACTED] E-mail address. [REDACTED]
4. Address [REDACTED] Postal Code [REDACTED]

Note: Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:
N/A

Postal Code _____

Postal Code _____

6. Nature and extent of relief applied for:
Side Yard Set Back
7. Why it is not possible to comply with the provisions of the By-law?
Necessary Garage Space
8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):
1481 Fletcher Rd Hamilton Ont
9. PREVIOUS USE OF PROPERTY
- Residential ☒ Industrial ☐ Commercial ☐
Agricultural ☐ Vacant ☐
Other ☐
- 9.1 If Industrial or Commercial, specify use

- 9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes ☐ No ☒ Unknown ☐
- 9.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes ☐ No ☒ Unknown ☐
- 9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes ☐ No ☒ Unknown ☐
- 9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes ☐ No ☒ Unknown ☐
- 9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes ☐ No ☒ Unknown ☐
- 9.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes ☐ No ☒ Unknown ☐
- 9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes ☐ No ☒ Unknown ☐

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes _____ No ☒ Unknown _____

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes _____ No ☒ Unknown _____

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Same Owner Since 1985

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed. DNA.

Is the previous use inventory attached? Yes _____ No _____

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

DEC 04/2020

Date

Signature Property Owner

RICHARD KATZ

Print Name of Owner

10. Dimensions of lands affected:

Frontage 30.48 m

Depth 60.96

Area 1858.01 M²

Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: 142.19 m²

Proposed: 238.8 m²

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: 14.25 Front 30.95 Back

1.47 Right Side 6.26 Left Side

- Proposed: _____
13. Date of acquisition of subject lands: 1985
14. Date of construction of all buildings and structures on subject lands: 1959
15. Existing uses of the subject property: Single Family
16. Existing uses of abutting properties: Single Family
17. Length of time the existing uses of the subject property have continued: 61 years
18. Municipal services available: (check the appropriate space or spaces)
Water no Connected _____
Sanitary Sewer no Connected _____
Storm Sewers no
19. Present Official Plan/Secondary Plan provisions applying to the land: _____
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land: _____
21. Has the owner previously applied for relief in respect of the subject property?
Yes No
If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes No
23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps