

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: FL/A-21:08

APPLICANTS: John Harsevoort on behalf of the owners K. & A. Lynch

SUBJECT PROPERTY: Municipal address **960 Garden Ln., Flamborough**

ZONING BY-LAW: Zoning By-law 05-200, as Amended by By-law 15-173

ZONING: "S1" (Settlement Residential) district

PROPOSAL: To permit the construction of a front yard foyer addition and a 2nd storey addition above the garage of the existing single detached dwelling notwithstanding that;

1. A minimum of 7.0 m setback shall be provided to the proposed front foyer addition instead of the minimum required front yard setback of 7.5 m; and
2. A minimum of 0.9 m side yard setback shall be provided on the southerly side lot line instead of the minimum required 3.0 m.

Notes:

A minimum of 0.6 m encroachment into any required yard to a maximum of half the distance of required yard is required to be provided. No details have been provided; therefore, further variances may be required.

This application will be heard by the Committee as shown below:

DATE: Thursday, February 18th, 2021
TIME: 2:25 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

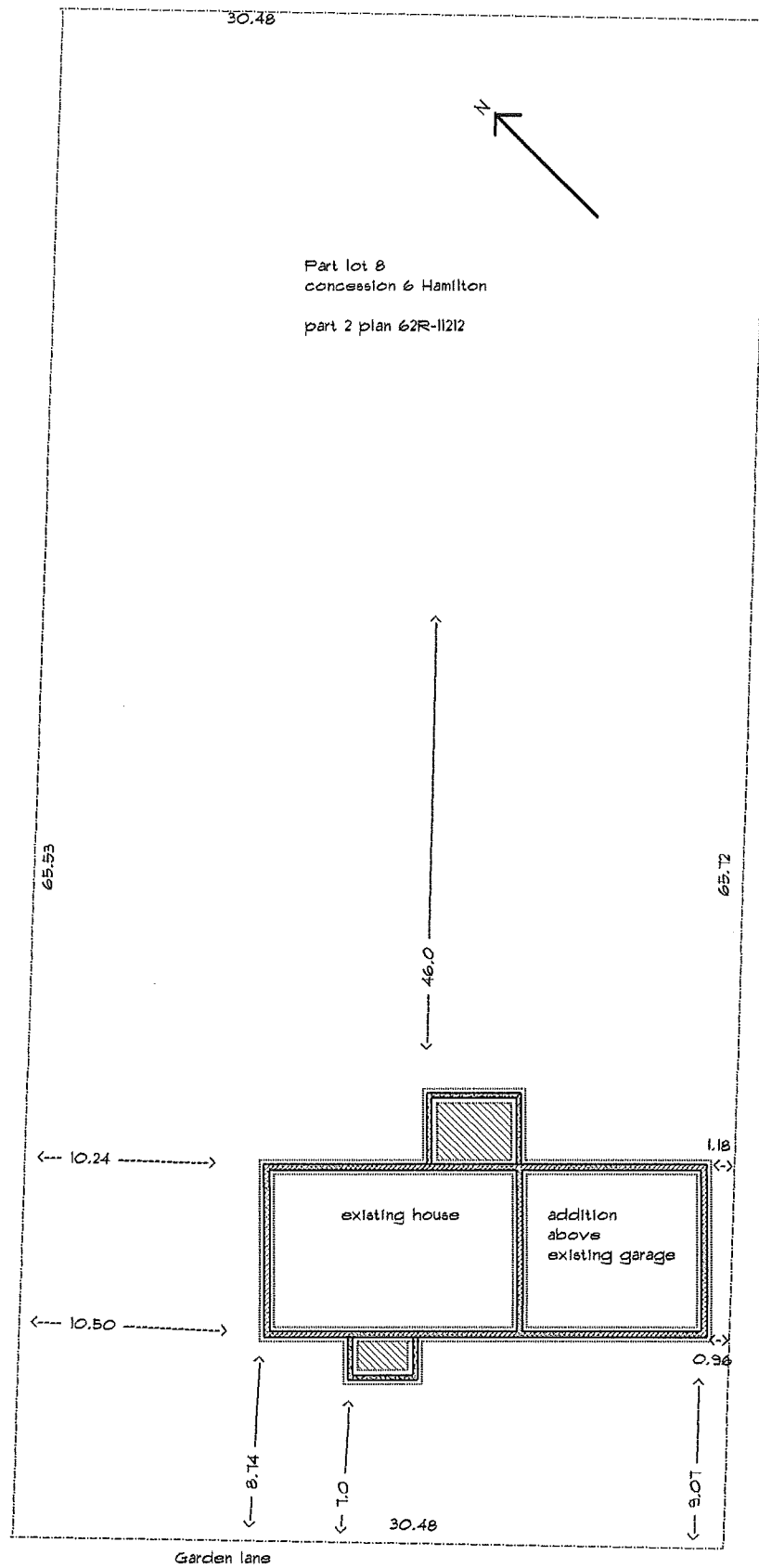
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: February 2nd, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

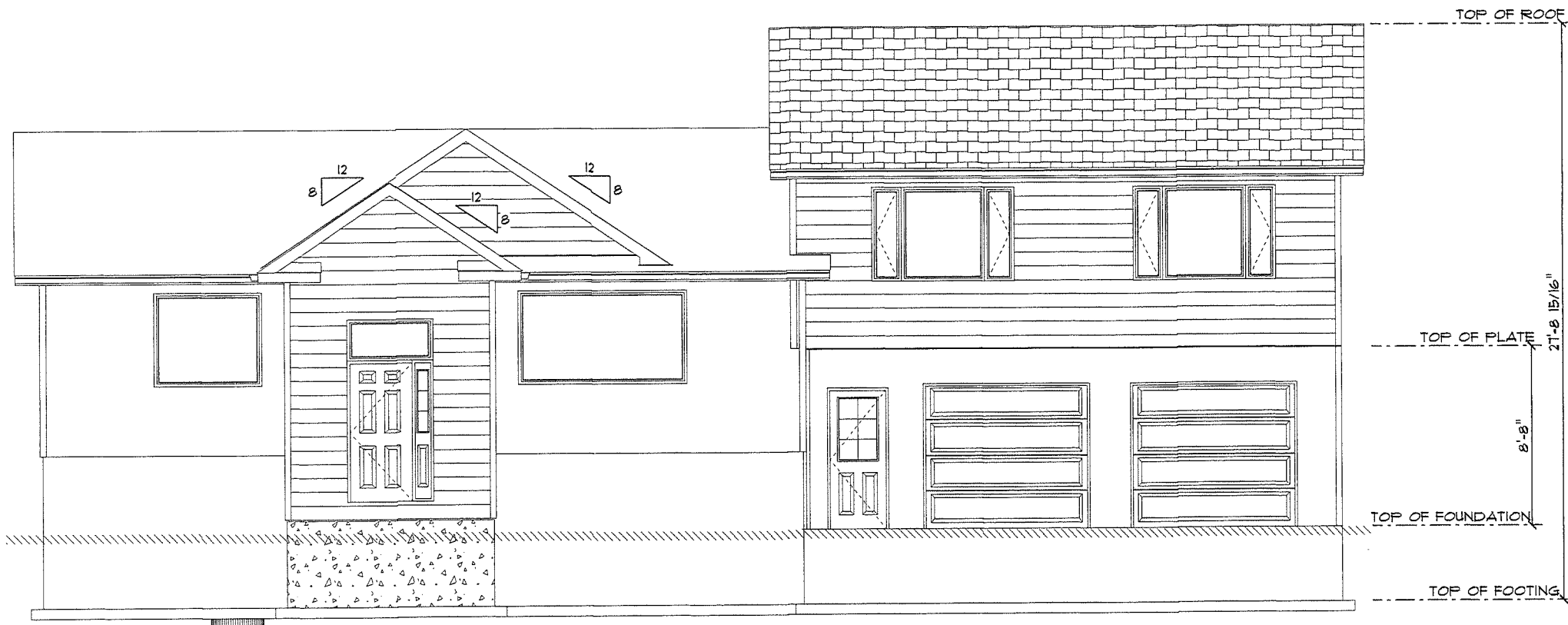
Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



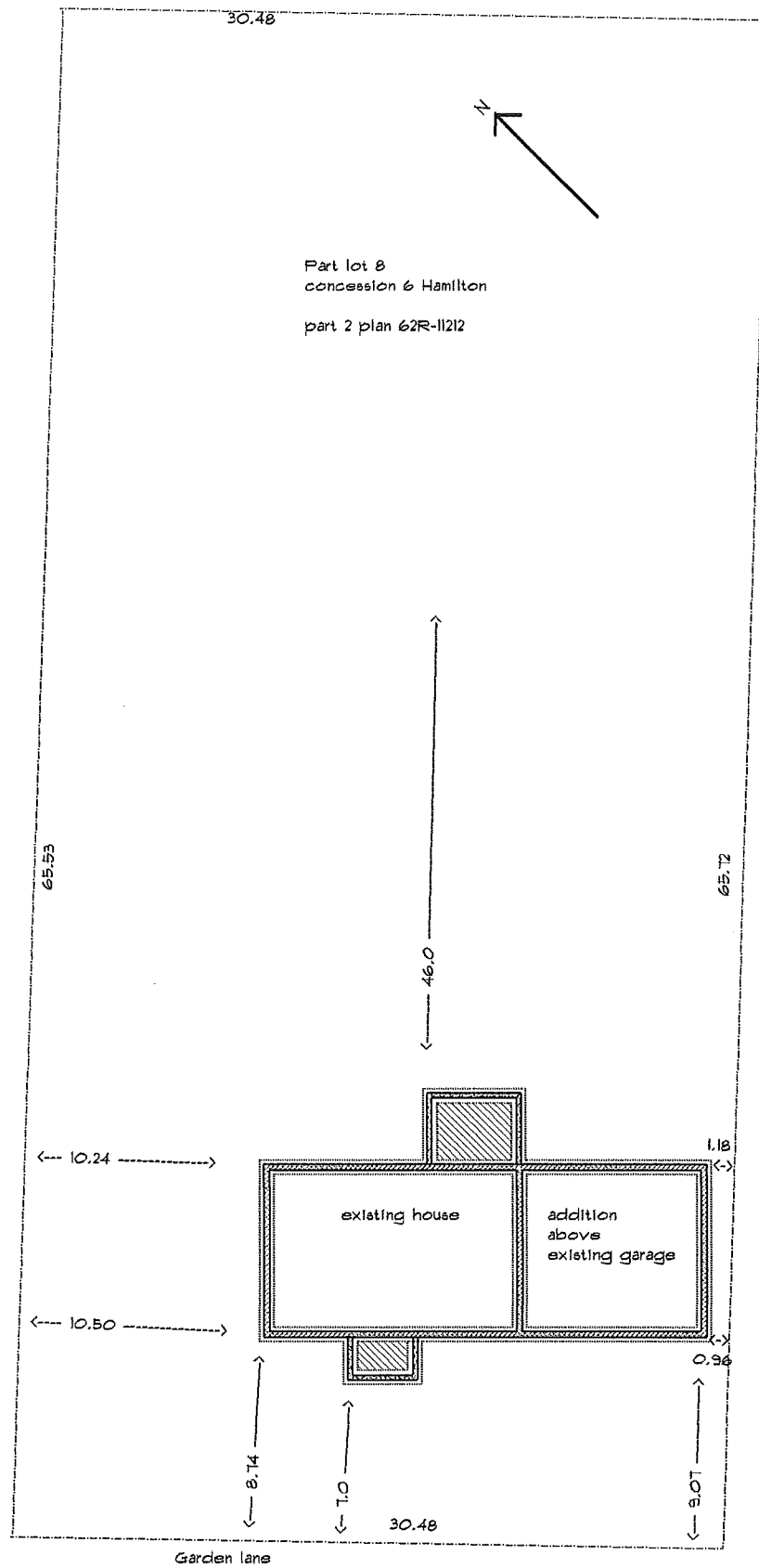
Scale 1:300



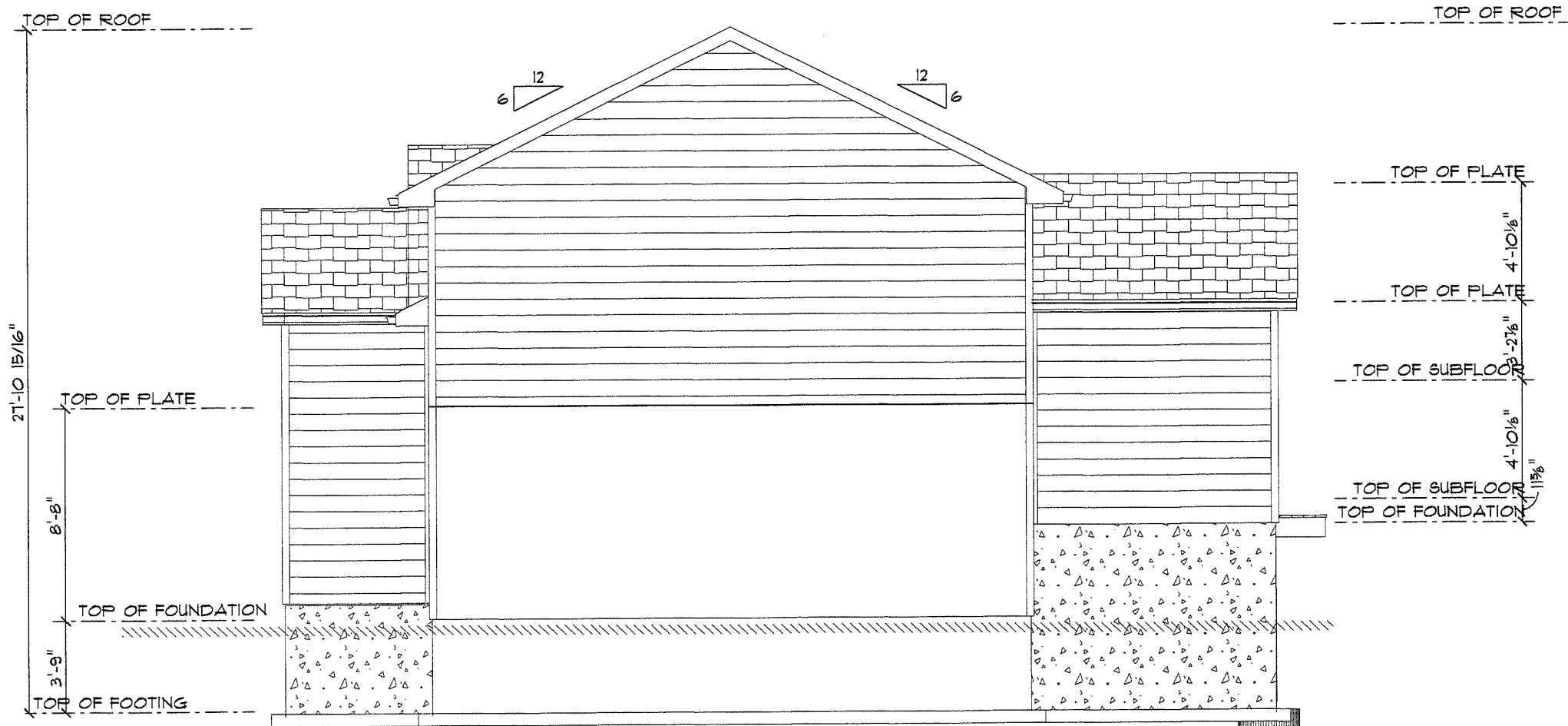
Rear elevation



Front elevation



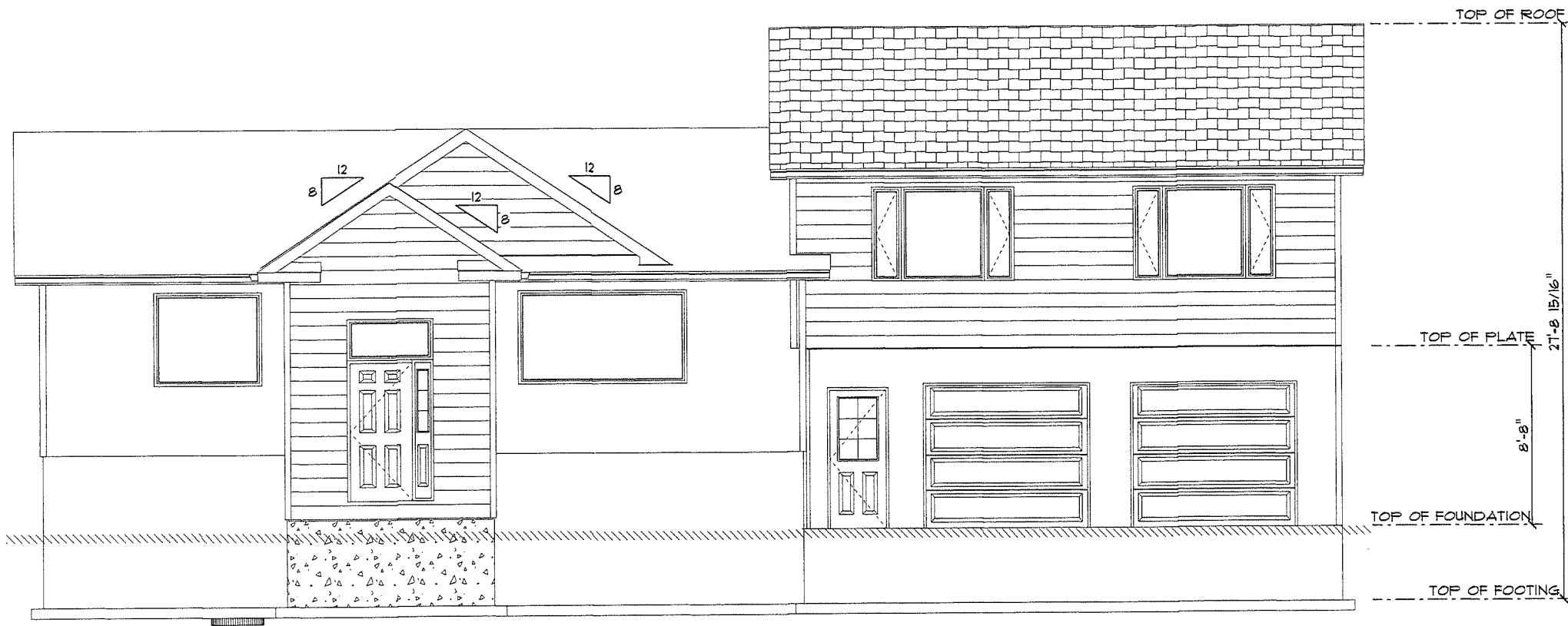
Scale 1:300



Right side elevation



Rear elevation



Front elevation



Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED <u>DEC 22 2020</u>
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

- Name of Owner Kyle & Ainsley LYNCH Telephone No. [REDACTED]
FAX NO. _____ E-mail address. [REDACTED]
- Address [REDACTED] Postal Code [REDACTED]
- Name of Agent John Harsevoort Telephone No. [REDACTED]
FAX NO. _____ E-mail address [REDACTED]
- Address [REDACTED] Postal Code [REDACTED]

Note: Unless otherwise requested all communications will be sent to the agent, if any.

- Names and addresses of any mortgagees, holders of charges or other encumbrances:
SCOTIABANK WATERLOO, DUNDAS, ONTARIO
76 DUNDAS STREET EAST Postal Code L9H 0C2

Postal Code _____

6. Nature and extent of relief applied for:
 1)- to allow for a reduced side yard requirement to 0.96m
 2)- to allow for a reduced front yard requirement to 7.0m
7. Why it is not possible to comply with the provisions of the By-law?
 1)- plan to build an addition above the existing garage which currently is at 0.96m
 2)- plan to build a front foyer to the existing house.
8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):
 part of Lot 8 concession 6 east Flamborough
9. PREVIOUS USE OF PROPERTY
- Residential ☒ Industrial ☐ Commercial ☐
 Agricultural ☐ Vacant ☐
 Other
- 9.1 If Industrial or Commercial, specify use
- 9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
 Yes ☐ No ☒ Unknown ☐
- 9.3 Has a gas station been located on the subject land or adjacent lands at any time?
 Yes ☐ No ☒ Unknown ☐
- 9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
 Yes ☐ No ☒ Unknown ☐
- 9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
 Yes ☐ No ☒ Unknown ☐
- 9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
 Yes ☐ No ☒ Unknown ☐
- 9.7 Have the lands or adjacent lands ever been used as a weapon firing range?
 Yes ☐ No ☒ Unknown ☐
- 9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
 Yes ☐ No ☒ Unknown ☐

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes _____ No X _____ Unknown _____

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes _____ No X _____ Unknown _____

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?
home owners and neighbors recollections

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes _____ No _____

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

2020/12/06
Date

Signature Property Owner

KYLE LYNCH
Print Name of Owner

10. Dimensions of lands affected:

Frontage 30.48 m
Depth 65.53 m
Area 2,000 m2
Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands:
(Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: one storey frame dwelling with attached garage

length 18.91m width 7.36m height 5.67 m

Proposed: a split level frame dwelling with the upper level above the existing garage.

length 18.91 m width 12.24 m height 5.67 m

Type text here _____

12. Location of all buildings and structures on or proposed for the subject lands;
(Specify distance from side, rear and front lot lines)

Existing: Front 8.74m side 10.24m 0.96m rear 49.0m

Proposed: front 7.0m side 10.24m 0.96m rear 46.08m

13. Date of acquisition of subject lands:

NOVEMBER 2017

14. Date of construction of all buildings and structures on subject lands:

15. Existing uses of the subject property: SFD

16. Existing uses of abutting properties: SFD

17. Length of time the existing uses of the subject property have continued:

18. Municipal services available: (check the appropriate space or spaces)

Water _____ Connected _____
Sanitary Sewer _____ Connected _____
Storm Sewers _____

19. Present Official Plan/Secondary Plan provisions applying to the land:

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
R-1 or S-1

21. Has the owner previously applied for relief in respect of the subject property?

Yes

No X

If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No X

23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps