

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-21:19

APPLICANTS: Raman Sandhu on behalf of the owner John Kemp

SUBJECT PROPERTY: Municipal address **62 Erie Ave., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: "D" (Urban Protected Residential - One and Two Family Dwellings etc.) district

PROPOSAL: To permit the conversion of an existing 2.5 storey single detached dwelling to create a second dwelling unit and to permit the construction of an exterior open stairway to the second floor, notwithstanding that:

1. No parking spaces shall be permitted instead of 1 parking space per dwelling unit (to require 2 parking spaces) for a dwelling converted under Section 19 of the Zoning By-law.
2. An open stairway shall be permitted to project 0.9m into the northerly side yard instead of the required maximum projection of 0.4m for an open stairway into a required side yard.
3. The minimum front yard landscaped area shall be 23% instead of the minimum required 50% landscaped area.

NOTES:

1. The variances are written generally as requested by the applicant. However, due to the depth of the driveway/parking space, which is approximately 2.5m, it was determined that the driveway was insufficient for parking and that no parking spaces can be provided. In addition, it was determined that a variance for the proposed open stairway would be required for encroachment into the side yard and also a variance for the minimum front yard landscaped area.
2. Variance #3 is intended to address an existing situation.

This application will be heard by the Committee as shown below:

DATE: Thursday, February 18th, 2021
TIME: 3:50 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

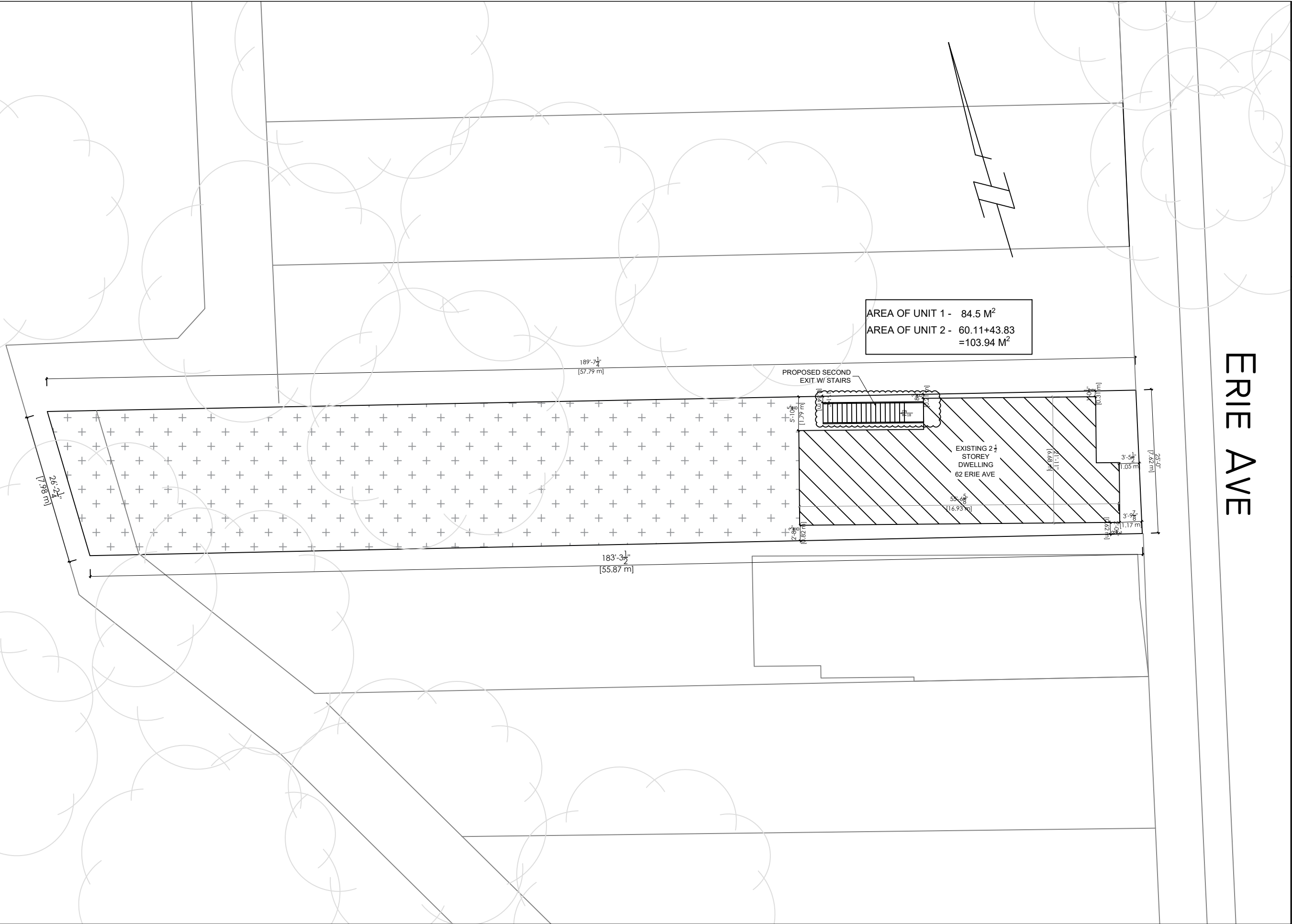
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: February 2nd, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



General Notes

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* ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK.


* THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE CONSULTANT.

* DRAWINGS ARE NOT TO BE SCALED.

P.ENG STAMP

LICENSED PROFESSIONAL ENGINEER
H.SINGH
100156144
12/14/2020
PROVINCE OF ONTARIO

No.	Revision/Issue	Date

MARVEL
ENGINEERING

15 BURT DR
BRAMPTON, ON, L6X 5H9
289-700-0287
Email:ramancivil@outlook.com

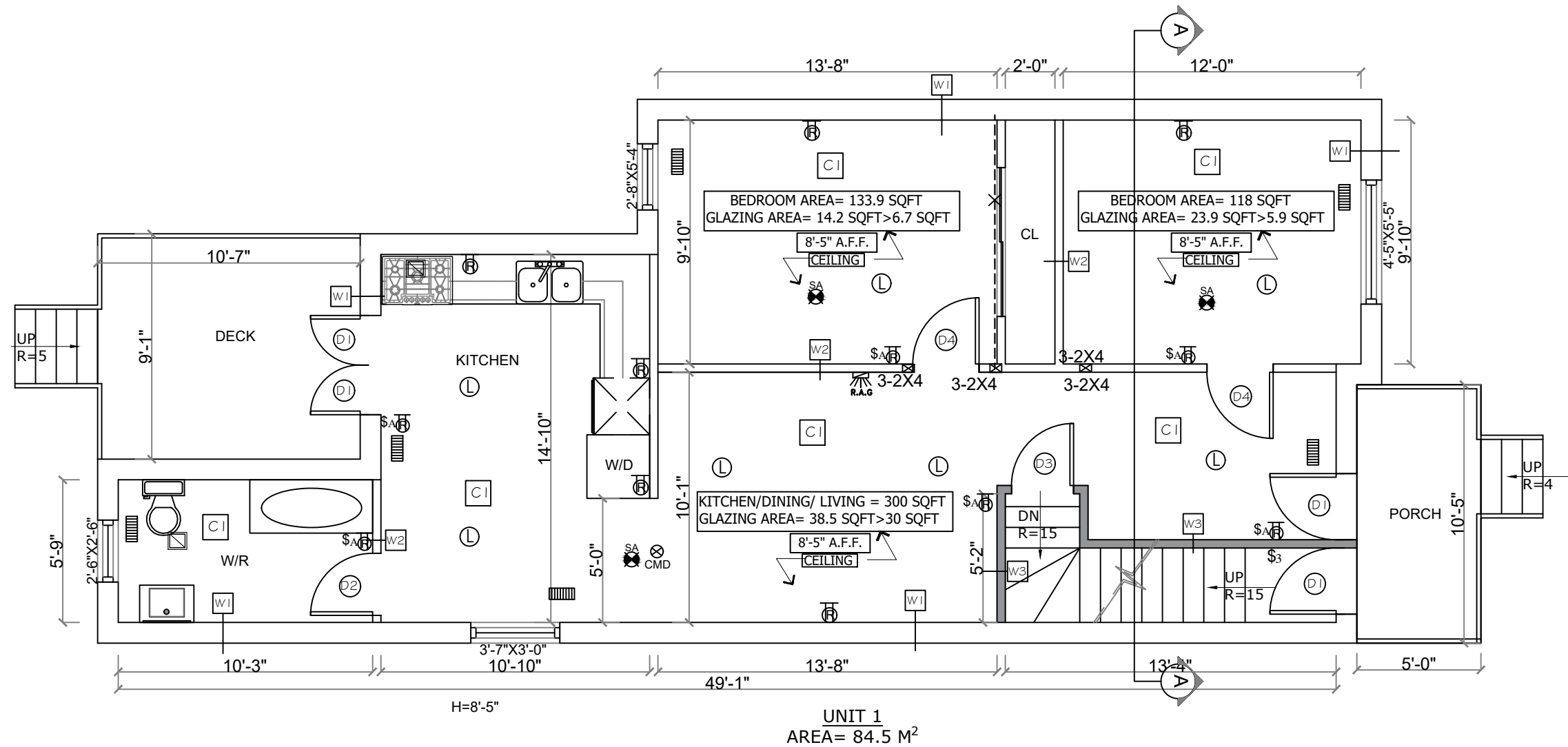
Project Name and Address

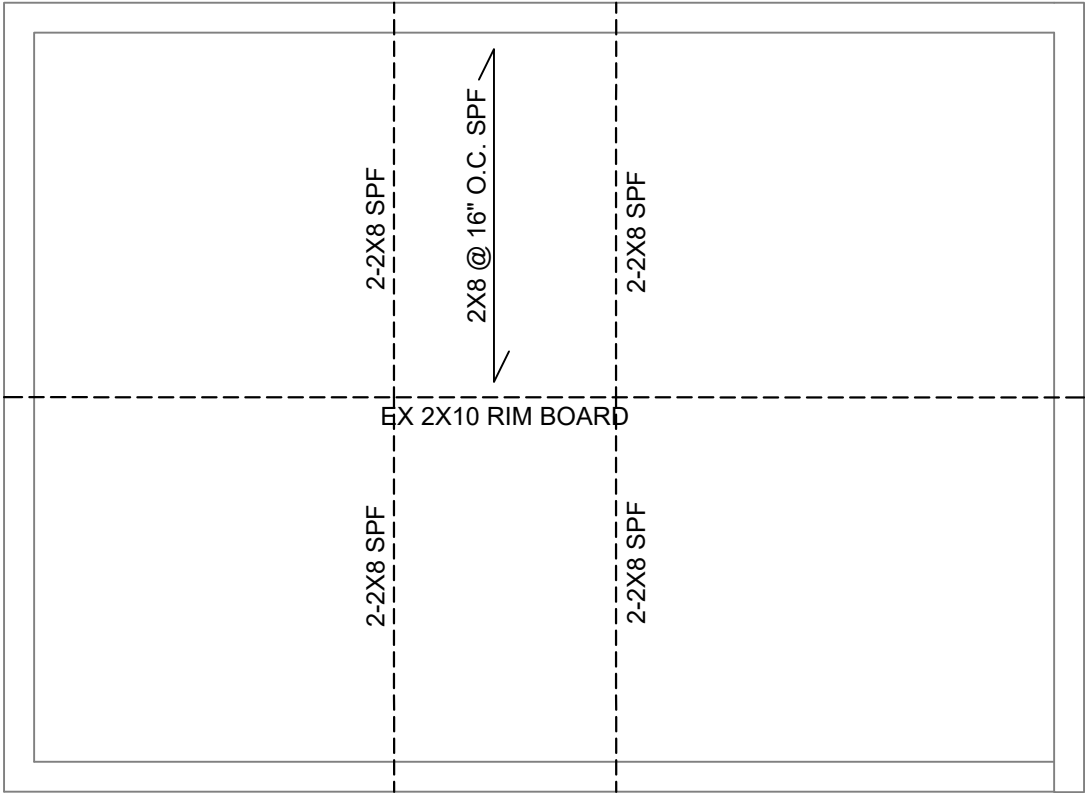
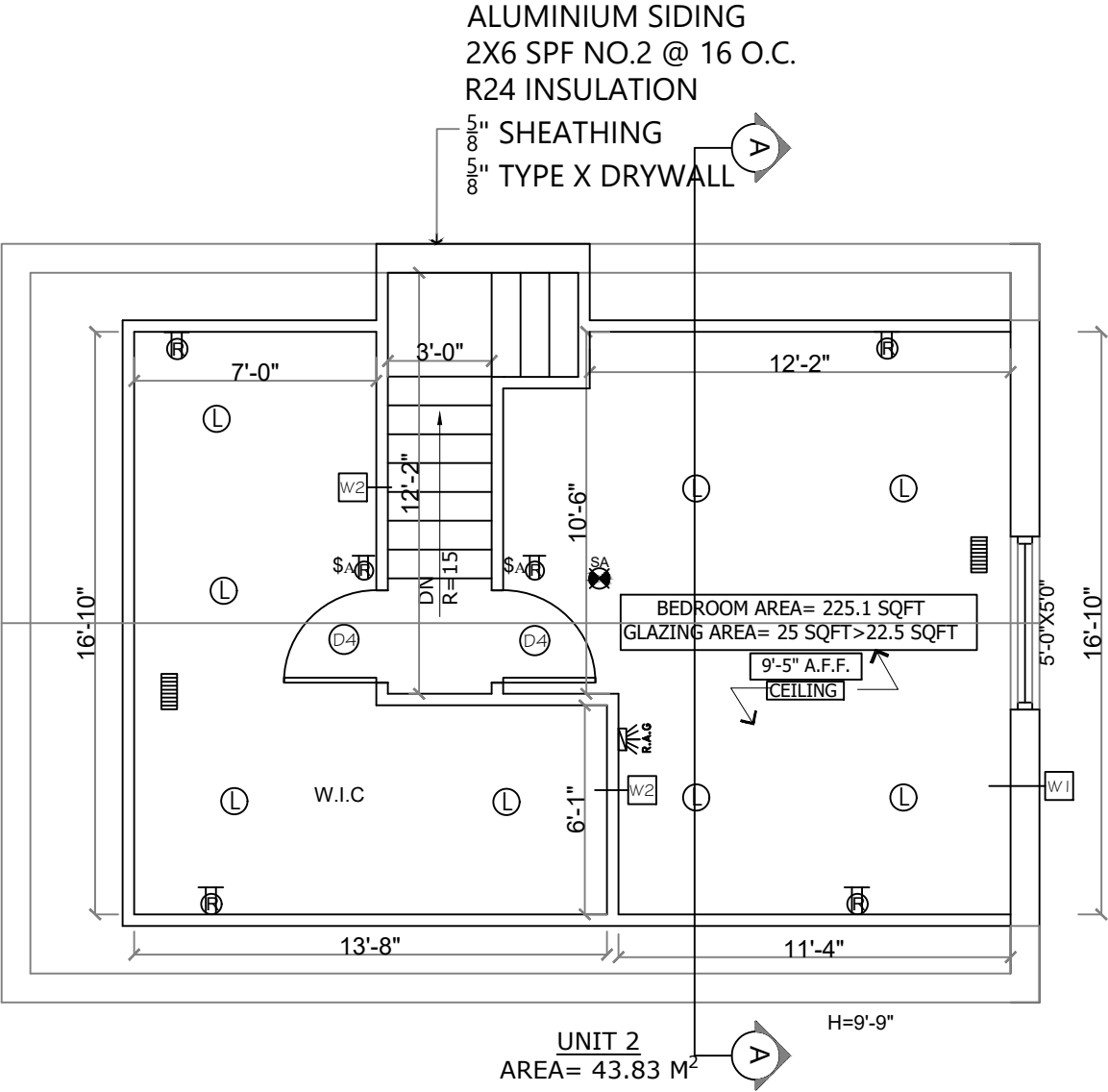
62 Erie Ave
Hamilton, ON L8N 2W6

Drawing Title

SITE PLAN

Project SECOND UNIT	Sheet SP1.01
Date OCT 20, 2020	
Scale 1/16"=1'-0"	





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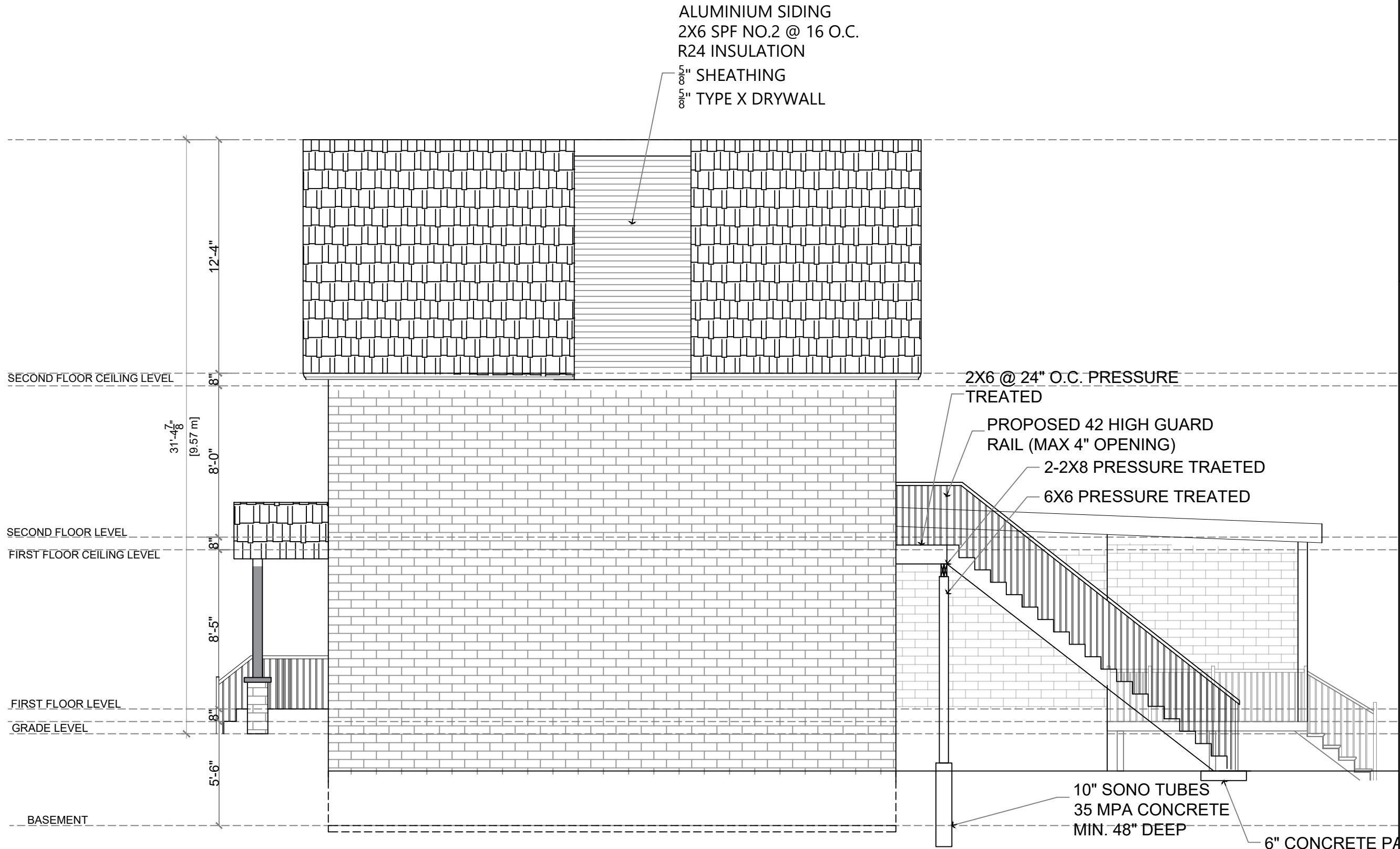
Project Name and Address

62 Erie Ave
Hamilton, ON L8N 2W6

Drawing Title

PROP. THIRD FLOOR
PLAN

Project	Sheet
SECOND UNIT	A1.07
Date OCT 20, 2020	
Scale 3/16"=1'-0"	



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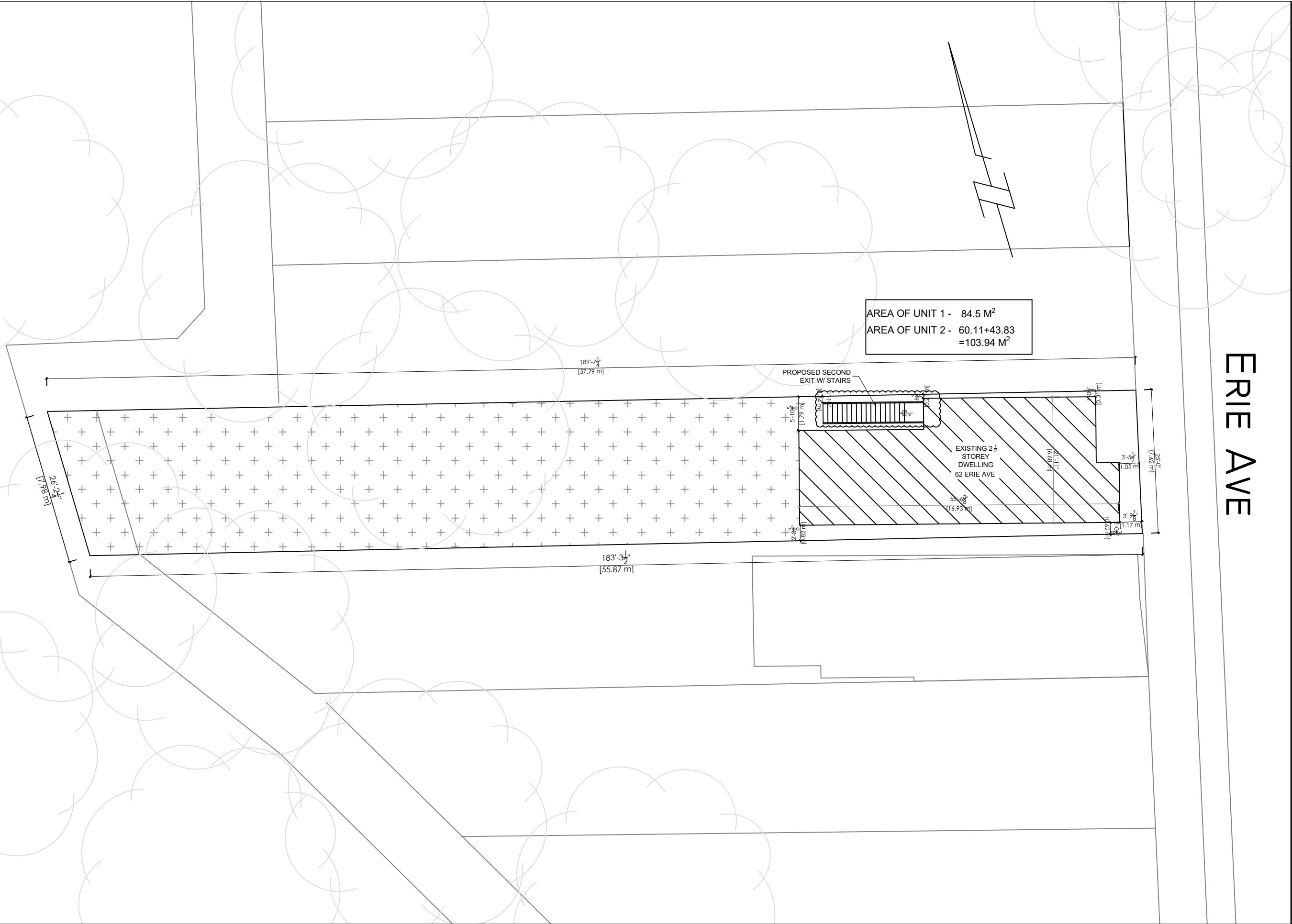
15 BURT DR
BRAMPTON, ON, L6X 5H9
289-700-0287
Email:ramancivil@outlook.com

Project Name and Address

62 Erie Ave
Hamilton, ON L8N 2W6

Drawing Title
SIDE ELEVATION

Project	Sheet
SECOND UNIT	A2.01
Date OCT 20, 2020	
Scale 3/16"=1'-0"	



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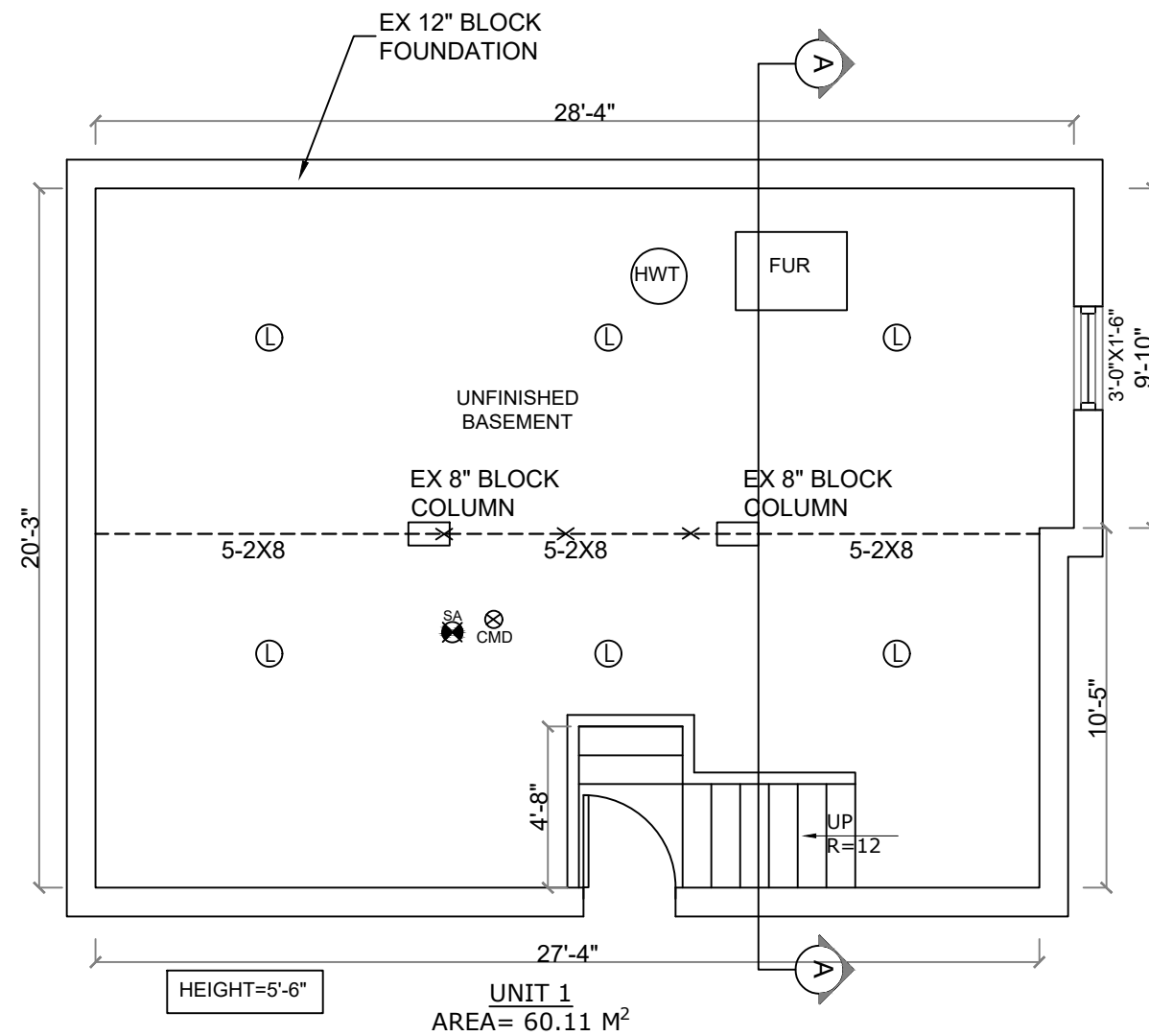
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62 Erie Ave
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Date OCT 20, 2020	
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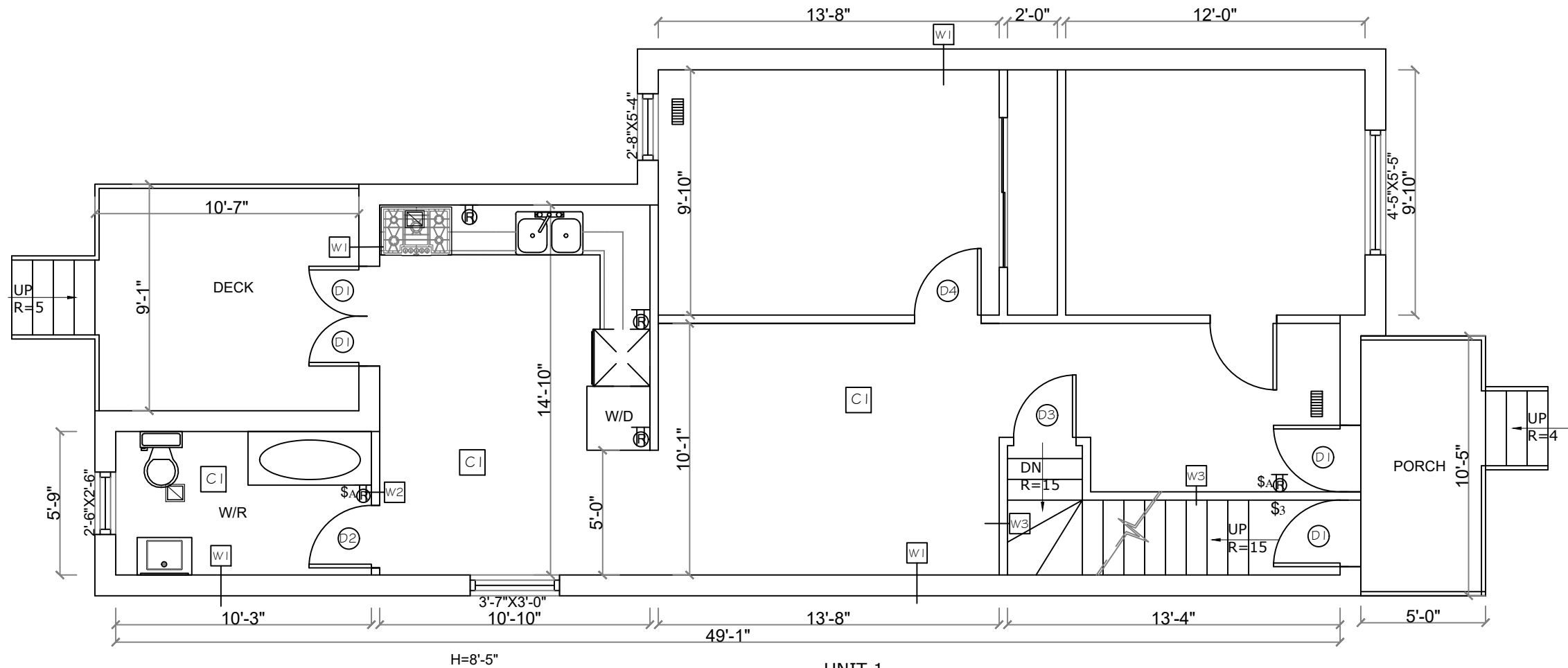
Hamilton, ON L8N 2W6

Drawing Title

EX. BASEMENT FLOOR

PLAN

Project	Sheet
SECOND UNIT	A1.01
Date	
Scale	
OCT 20, 2020	
1/4"=1'-0"	



UNIT 1
AREA= 84.5 M²

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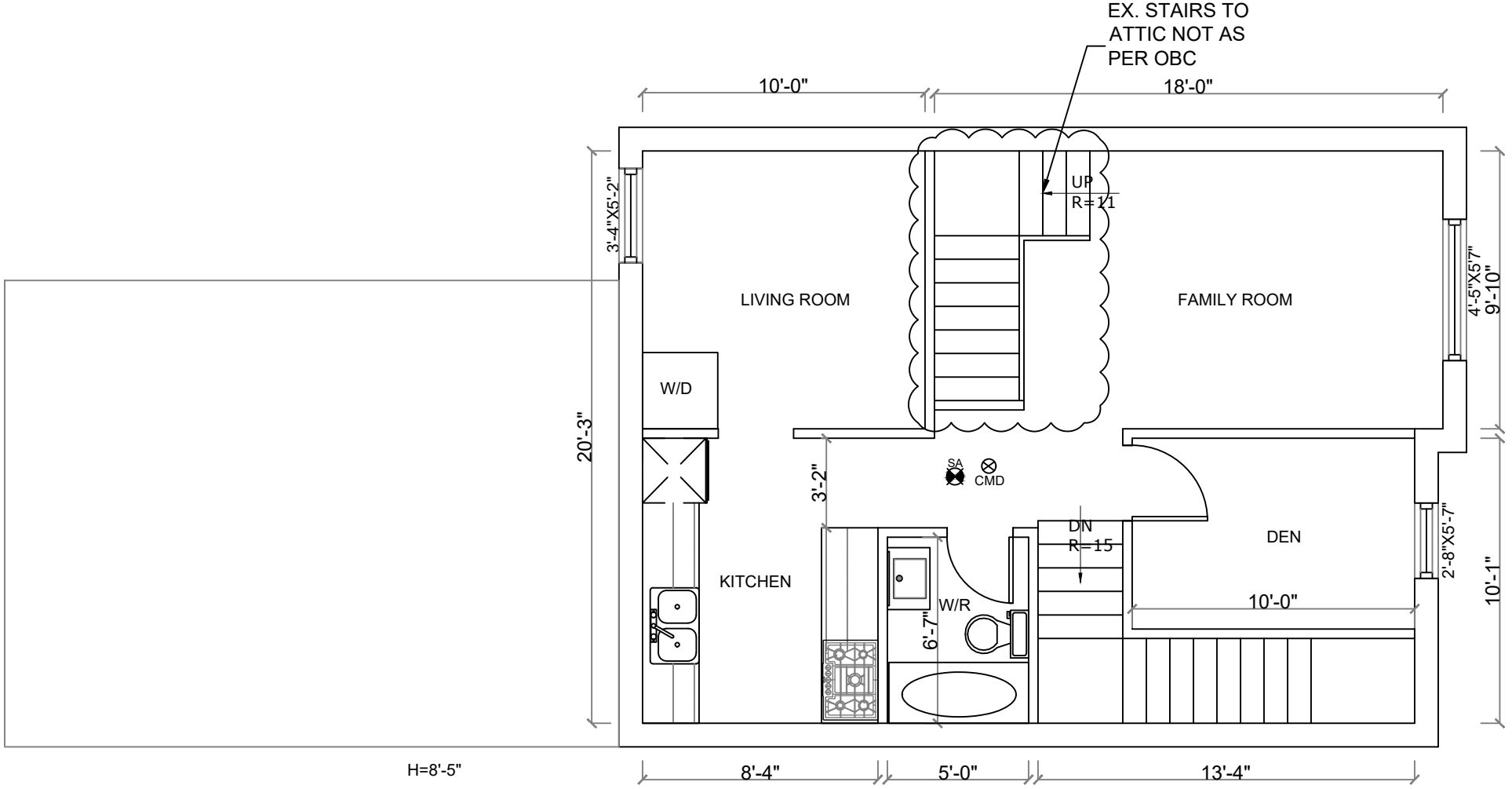
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BRAMPTON, ON, L6X 5H9
289-700-0287
Email:ramancivil@outlook.com

Project Name and Address

62 Erie Ave
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Drawing Title
EX. FIRST FLOOR PLAN

Project SECOND UNIT	Sheet A1.02
Date OCT 20, 2020	
Scale 1/4"=1'-0"	



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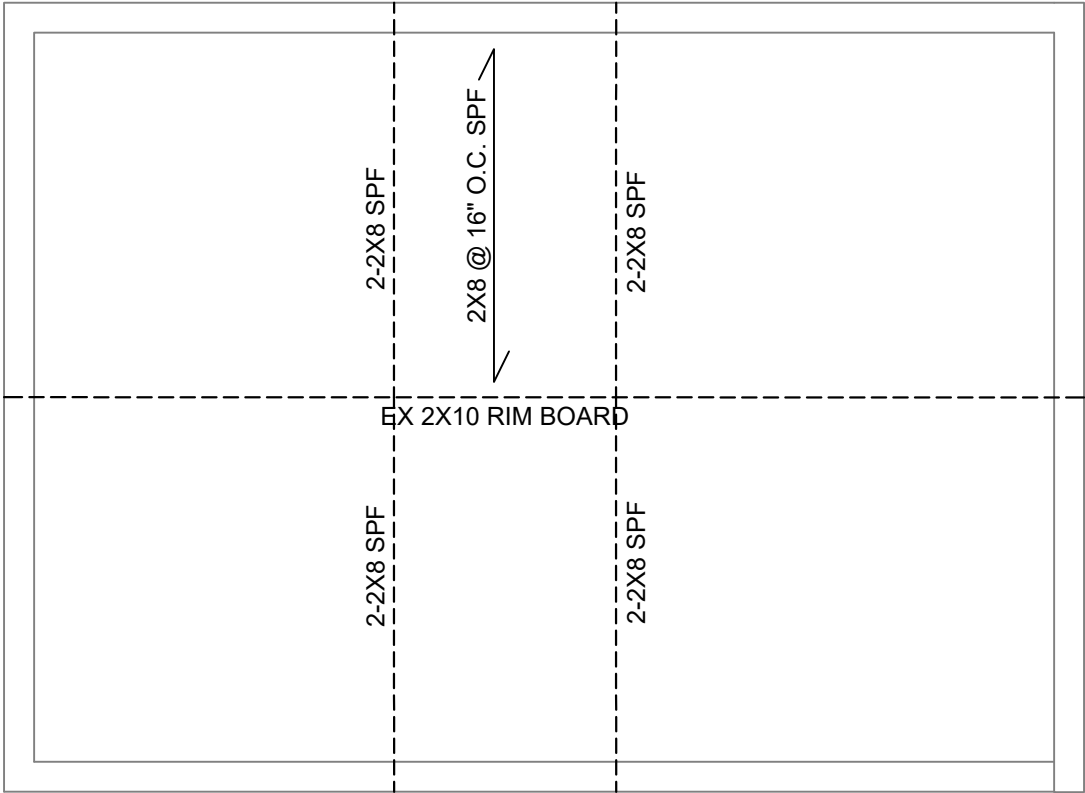
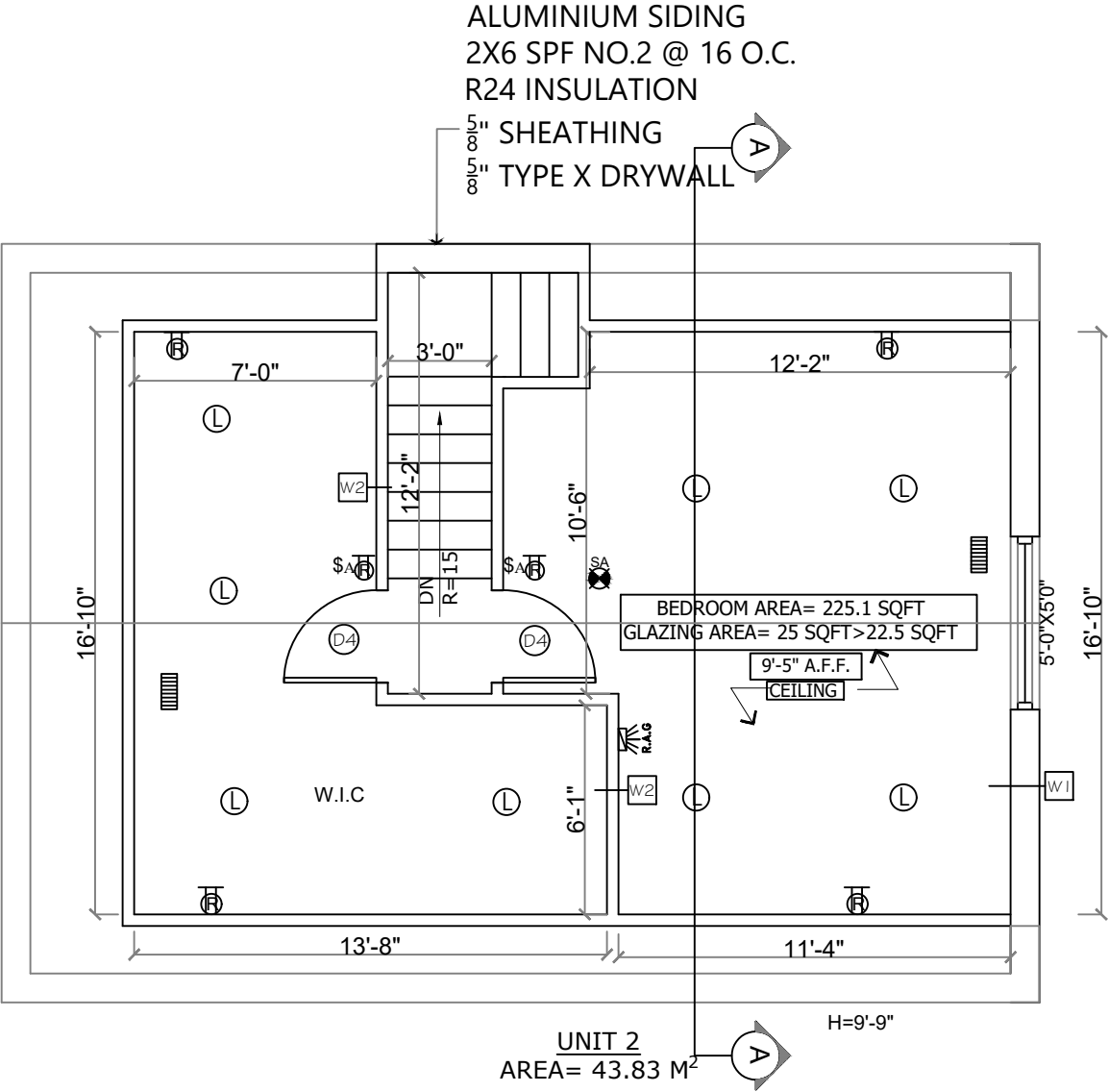
Project Name and Address

62 Erie Ave
Hamilton, ON L8N 2W6

Drawing Title

EX. SECOND FLOOR PLAN

Project SECOND UNIT	Sheet A1.03
Date OCT 20, 2020	
Scale 1/4"=1'-0"	



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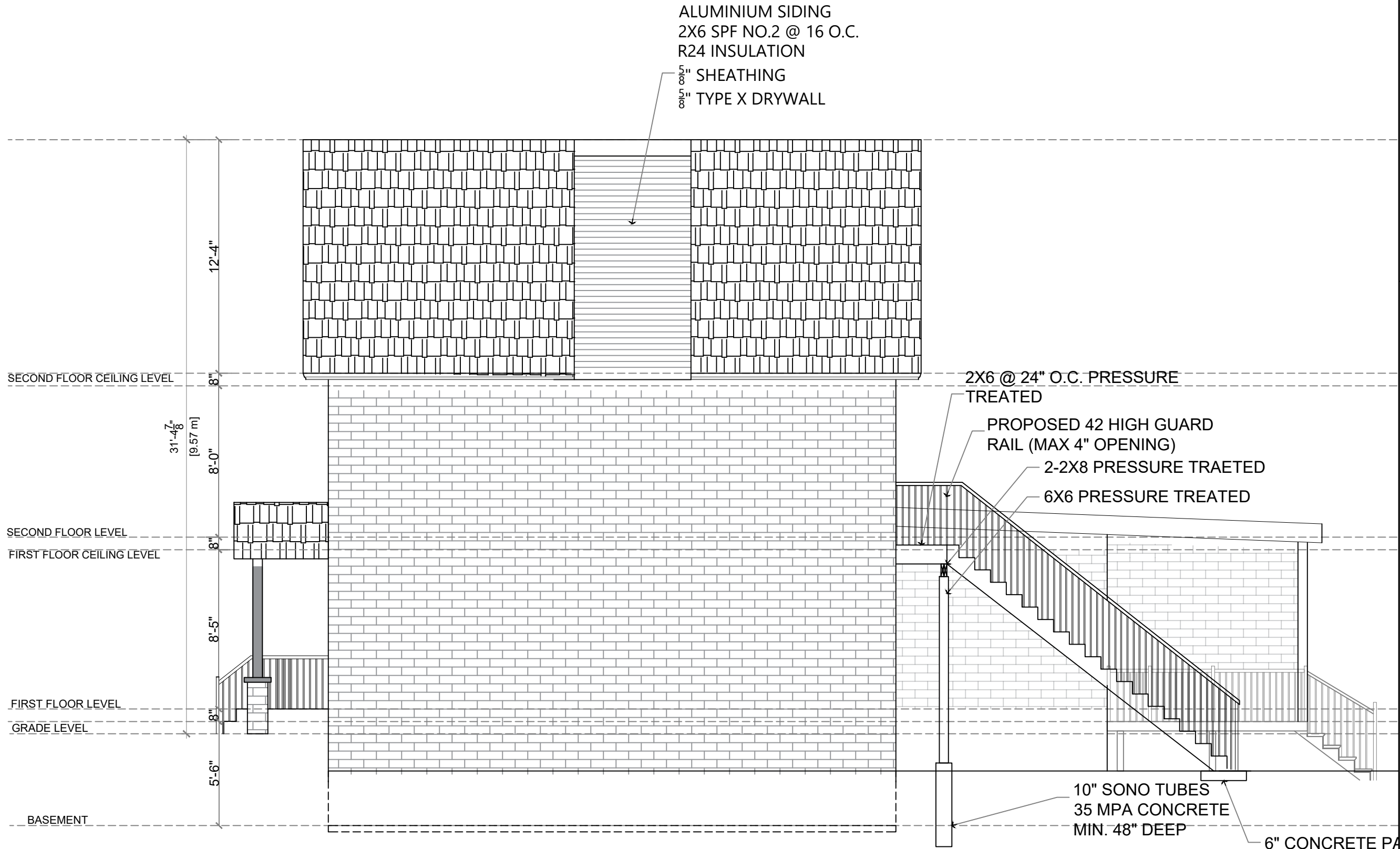
Project Name and Address

62 Erie Ave
Hamilton, ON L8N 2W6

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PROP. THIRD FLOOR
PLAN

Project	Sheet
SECOND UNIT	A1.07
Date OCT 20, 2020	
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Drawing Title
SIDE ELEVATION

Project	Sheet
SECOND UNIT	A2.01
Date OCT 20, 2020	
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LEGENDS AND NOTES

- W1

EXISTING EXTERIOR WALL
 - 4" EXTERIOR BRICK/ SIDING
 - MOISTURE BARRIER
 - 2X4 SPF#2 STUDS WALL W/ 6MIL POLY
 - R12 BATT INSULATION.
 - 6MIL POLY VAPOR BARRIER
 - 1/2" GYPSUM BOARD

W2

PARTITION WALL: 1/2" GYPSUM BOARD, 2"X4" STUDS @ 16" O.C.

W3

OBC SB-3 RATING- W6G (FRR- 45 MIN, STC- 50)
 - 38MM X 89MM WOOD STUDS SPACED 406 MM OR 610 MM O.C
 - 89 MM THICK ABSORPTIVE MATERIAL
 - RESILIENT METAL CHANNELS SPACED 610 MM O.C.
 - 12.7 MM TYPE X GYPSUM BOARD

D1

MIN. 32 X 78 DOOR- WEATHER STRIP W/ MIN. 14 SQ.FT GLASS AREA IN UPPER HALF OF THE DOOR


D2


MIN. 24 X 78 WOOD DOOR


D3


MIN. 30 X 78- 30 MIN FRR DOOR


D4


MIN. 30 X 78 WOOD DOOR
- AIR REGISTER COMPLIANCE WITH OBC DIV B 9.33.3.1(1)


EXHUAST FAN TO THE EXTERIOR


SMOKE ALARM


CARBON MONOXIDE DETECTOR


A THREE WAY SWITCH AT THE TOP AND BOTTOM OF THE STAIR TO A LIGHT FIXTURE.


SINGLE POLE SWITCH

RETURN AIR GRILL

SPRINKLER

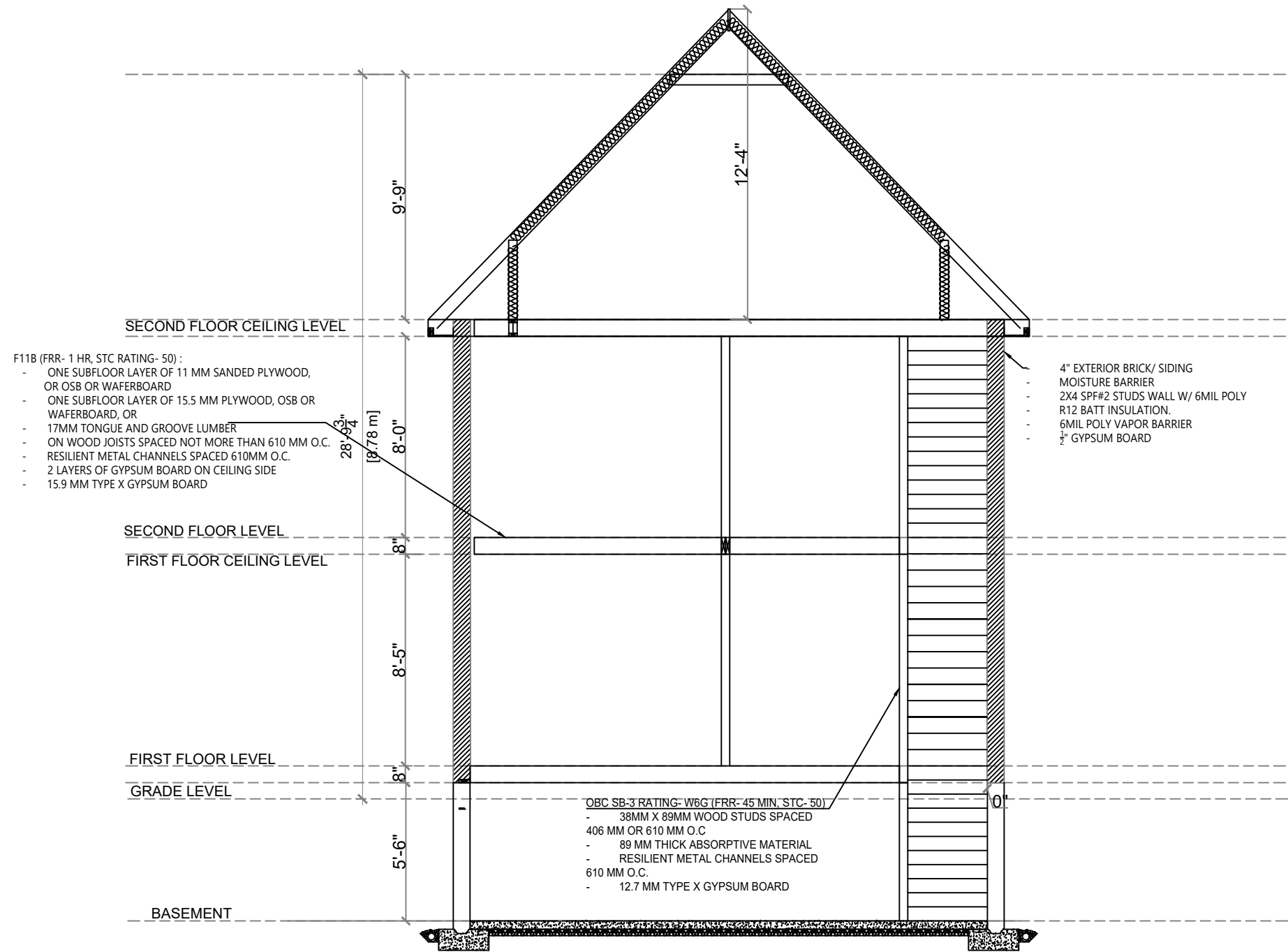
DUPLEX RECEPTACLE OUTLET

LIGHTING FIXTURE

EMERGENCY LIGHT
- CEILING ASSEMBLY
- C1

F11B (FRR- 1 HR, STC RATING- 50) :
 - ONE SUBFLOOR LAYER OF 11 MM SANDED PLYWOOD, OR OSB OR WAFERBOARD
 - ONE SUBFLOOR LAYER OF 15.5 MM PLYWOOD, OSB OR WAFERBOARD, OR
 - 17MM TONGUE AND GROOVE LUMBER
 - ON WOOD JOISTS SPACED NOT MORE THAN 610 MM O.C.
 - RESILIENT METAL CHANNELS SPACED 610MM O.C.
 - 2 LAYERS OF GYPSUM BOARD ON CEILING SIDE
 - 15.9 MM TYPE X GYPSUM BOARD
- General Notes
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- P.ENG STAMP
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|-----|----------------|------|
|-----|----------------|------|
-
- 15 BURT DR
BRAMPTON, ON, L6X 5H9
289-700-0287
Email:ramancivil@outlook.com
- Project Name and Address

62 Erie Ave
Hamilton, ON L8N 2W6
- Drawing Title
LEGENDS & NOTES
- | | |
|------------------------|-------|
| Project
SECOND UNIT | A3.01 |
| Date
OCT 20, 2020 | |
| Scale
3/16"=1'-0" | |



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Hamilton, ON L8N 2W6

Drawing Title

LEGENDS & NOTES

Project	Sheet
SECOND UNIT	A3.02
Date	
OCT 20, 2020	
Scale	
3/16"=1'-0"	



Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

**PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.**

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

Application for Minor Variance or for Permission

1. Name of Owner JOHN KEMP Telephone No. [REDACTED]
FAX NO. [REDACTED] E-mail address. [REDACTED]

2. Address [REDACTED]
[REDACTED] Postal Code [REDACTED]

3. Name of Agent RAMAN SANDHU Telephone No. [REDACTED]
FAX NO. [REDACTED] E-mail address. [REDACTED]

4. Address [REDACTED]
Postal Code [REDACTED]

_____ Postal Code _____

_____ Postal Code _____

6. Nature and extent of relief applied for:

Number of parking spaces available is 1 instead of 2 required

7. Why it is not possible to comply with the provisions of the By-law?

Due to lesser area of driveway

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

62 Erie Ave

9. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☐

Other

9.1 If Industrial or Commercial, specify use

9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes _____ No ☒ Unknown _____

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes _____ No ☒ Unknown _____

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

BASED ON EXPERIENCE AND NEIGHBORHOOD

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes _____ No ☒

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

2020-12-16
Date

Signature Property Owner

Print Name of Owner

10. Dimensions of lands affected:

Frontage 7.62 m
Depth 56.83 m
Area 435.17 sq.m
Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands:
(Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: GROSS FLOOR AREA- 188.4 sq.m
NO. OF STOREYS- 3
WIDTH- 6.68 m
LENGTH- 16.93 m
Proposed: GROSS FLOOR AREA- 188.4 sq.m
NO. OF STOREYS- 3
WIDTH- 6.68 m
LENGTH- 16.93 m

12. Location of all buildings and structures on or proposed for the subject lands;
(Specify distance from side, rear and front lot lines)

Existing: FRONT YARD SETBACK- 1.05 m
REAR YARD SETBACK- 38.09 m
SIDE YARD (LEFT)- 0.62 m

SIDE YARD (RIGHT)- 0.21 m

Proposed: FRONT YARD SETBACK- 1.05 m

REAR YARD SETBACK- 38.09 m

SIDE YARD (LEFT)- 0.62 m

SIDE YARD (RIGHT) - 0.21 m

13. Date of acquisition of subject lands:

14. Date of construction of all buildings and structures on subject lands:

15. Existing uses of the subject property: Residential SFD

16. Existing uses of abutting properties:

17. Length of time the existing uses of the subject property have continued:

18. Municipal services available: (check the appropriate space or spaces)

Water ☒

Connected

Sanitary Sewer

☒

Connected

Storm Sewers

☒

19. Present Official Plan/Secondary Plan provisions applying to the land:

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
ZONING CODE - D

21. Has the owner previously applied for relief in respect of the subject property?

Yes

☒ No

If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

☒ No

23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps