

## **NOTICE OF PUBLIC HEARING** **Minor Variance**

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**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
- 

**APPLICATION NO.:** HM/A-21:21

**APPLICANTS:** Agent Raman Sandhu  
Owner John Kemp

**SUBJECT PROPERTY:** Municipal address **103 Grant Ave., Hamilton**

**ZONING BY-LAW:** Hamilton Zoning By-law 6593, as Amended

**ZONING:** D district (Urban Protected Residential One and Two Family)

**PROPOSAL:** To the construction of a 3rd storey dormer addition along with a stair alteration on the northerly side lot line of the existing Two-Family Dwelling notwithstanding that;

1. A minimum side yard width of 0.0 m shall be provided on the northerly side lot line instead of the minimum required 2.7 m side yard width; and
2. A minimum side yard width of 0.9 m shall be provided on the southerly side lot line instead of the minimum required 2.7 m side yard width; and
3. No parking shall be provided on site instead of the minimum required 2 parking spaces; and

This application will be heard by the Committee as shown below:

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**DATE:** Thursday, February 21st, 2021  
**TIME:** 3:55 p.m.  
**PLACE:** Via video link or call in (see attached sheet for details)  
To be streamed at  
[www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)  
for viewing purposes only

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### **PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

## MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

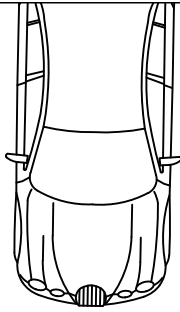
- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

DATED: February 2nd , 2021.

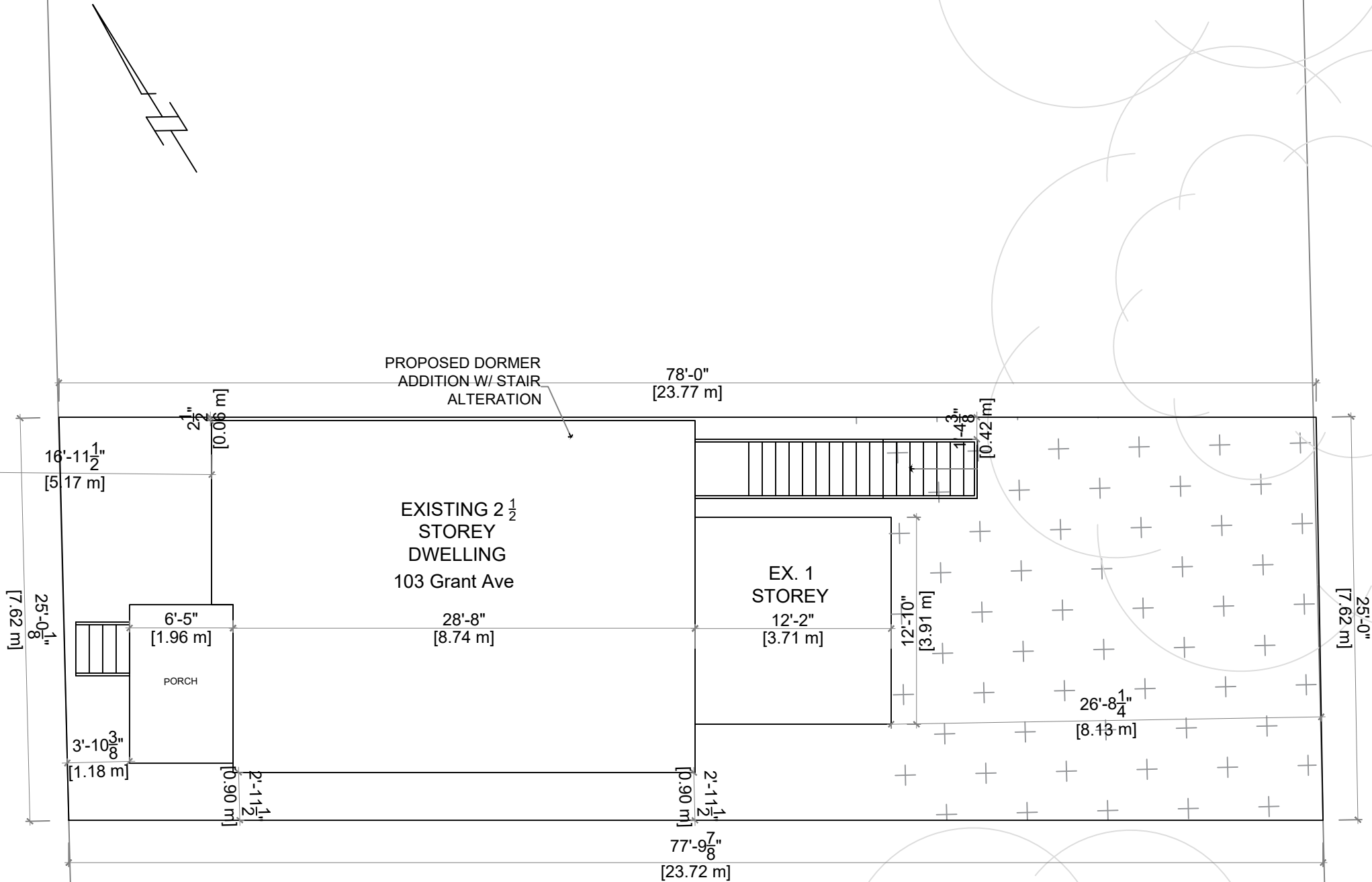
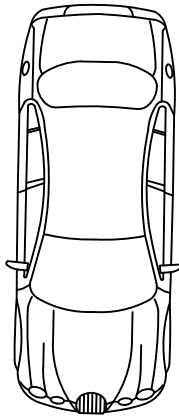
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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

***Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.***



GRANT AVE



#### General Notes

\* CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK SITE AND REPORT DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING.  
\* ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK.  
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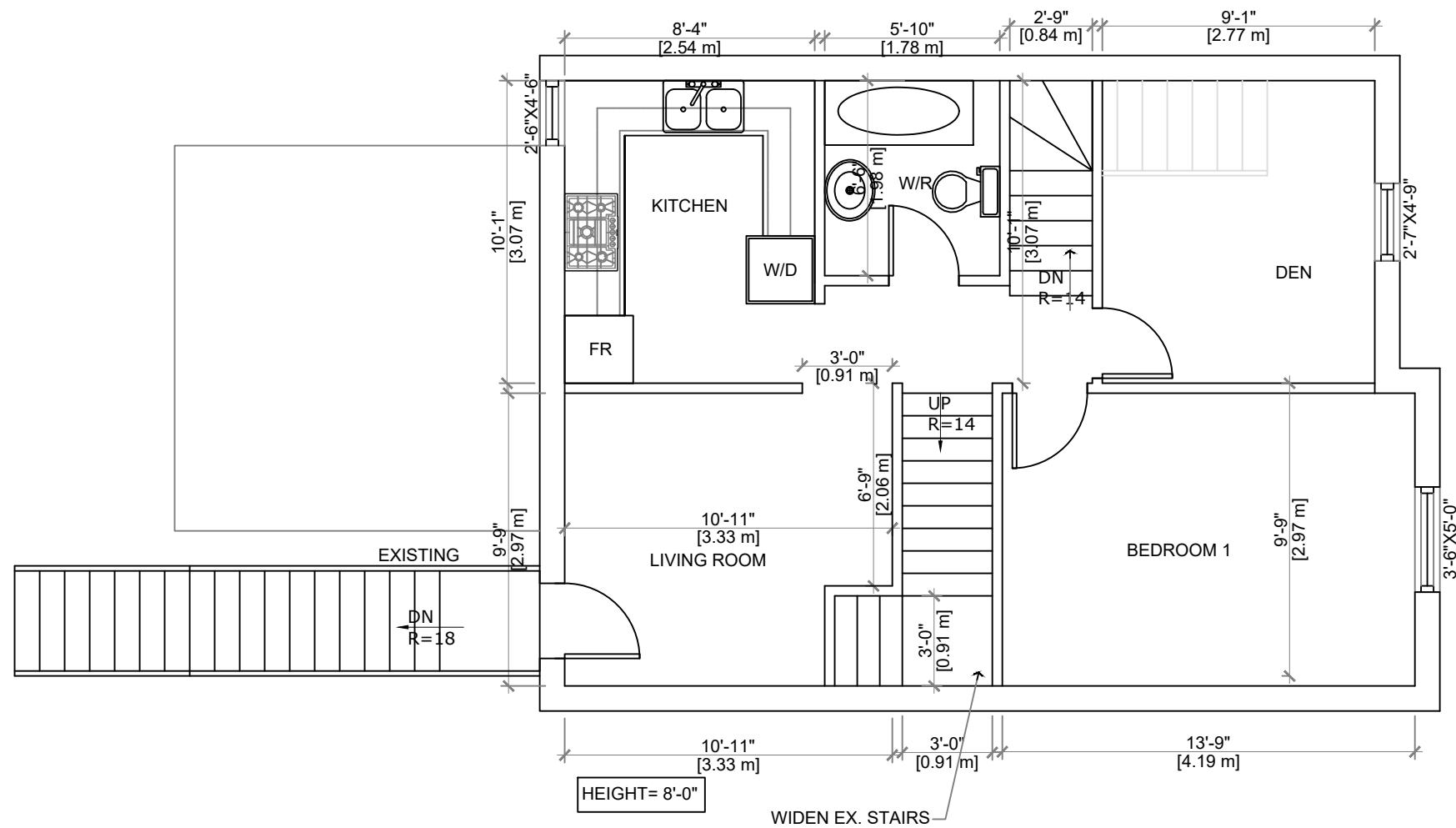


15 BURT DR  
BRAMPTON, ON, L6X 5H9  
289-700-0287  
Email:ramancivil@outlook.com

Project Name and Address  
  
103 Grant Ave  
Hamilton, ON L8N 2X6

Drawing Title  
**SITE PLAN**

Project SECOND UNIT	Sheet  <b>SP1.01</b>
Date OCT 26, 2020	
Scale 3/32"=1'-0"	



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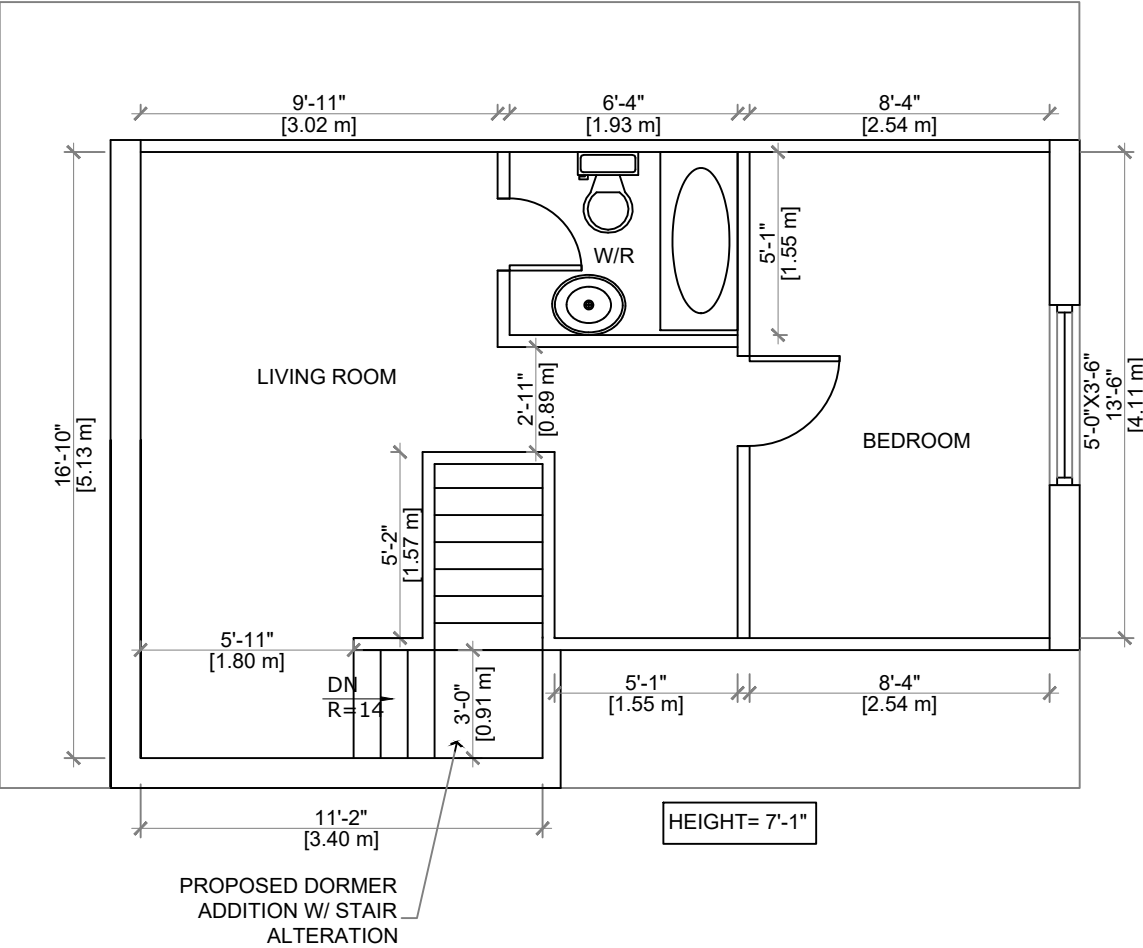
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Project Name and Address

103 Grant Ave  
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Drawing Title  
PROP. SECOND FLOOR  
PLAN

Project	Sheet
SECOND UNIT	A1.05
Date OCT 26, 2020	
Scale 3/16"=1'-0"	



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LICENSED PROFESSIONAL ENGINEER  
H.SINGH  
100156144  
12/16/2020  
PROVINCE OF ONTARIO

No.	Revision/Issue	Date

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ENGINEERING

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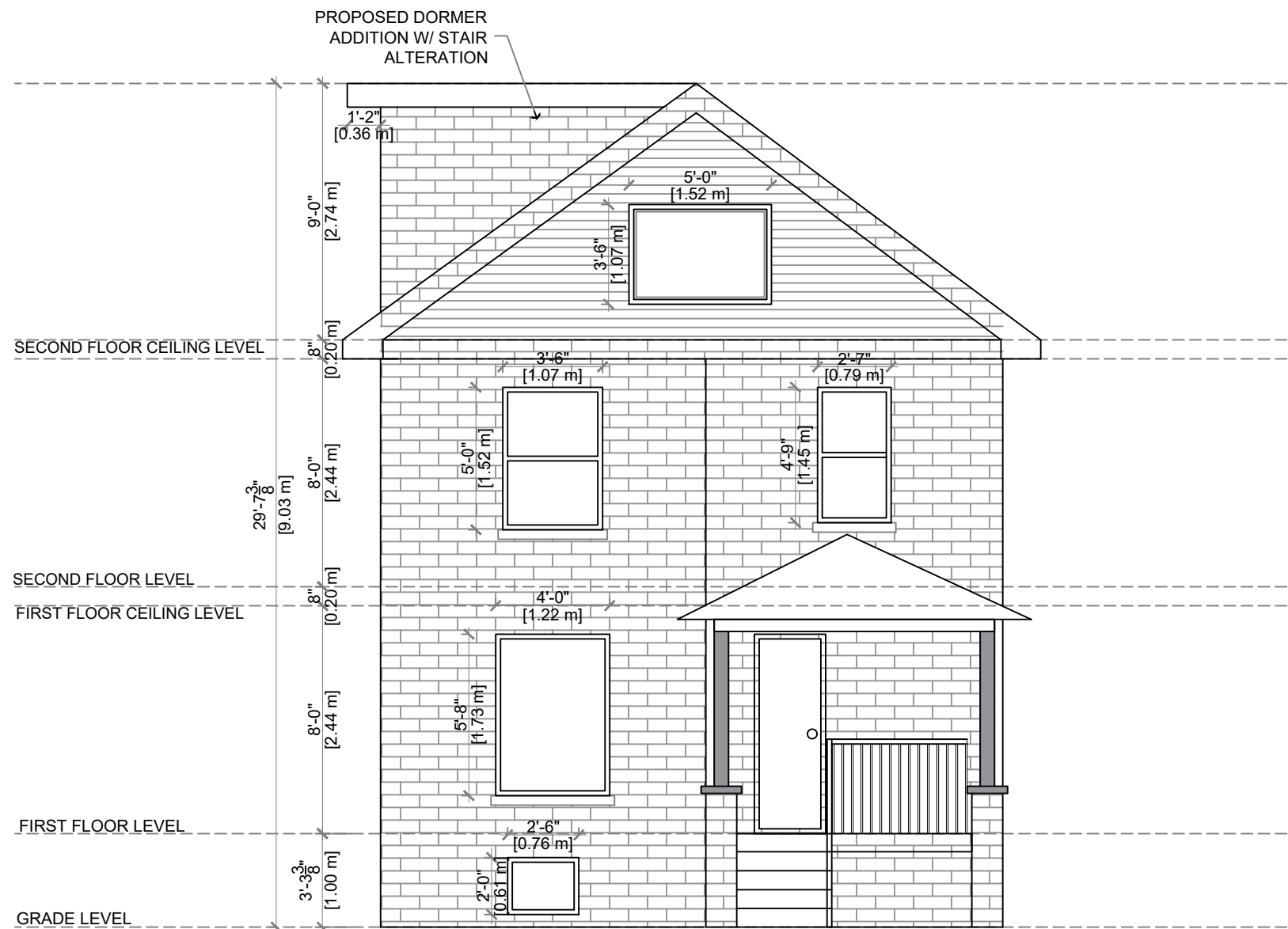
Project Name and Address

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Drawing Title

PROP. ATTIC FLOOR PLAN

Project SECOND UNIT	Sheet  A1.06
Date OCT 26, 2020	
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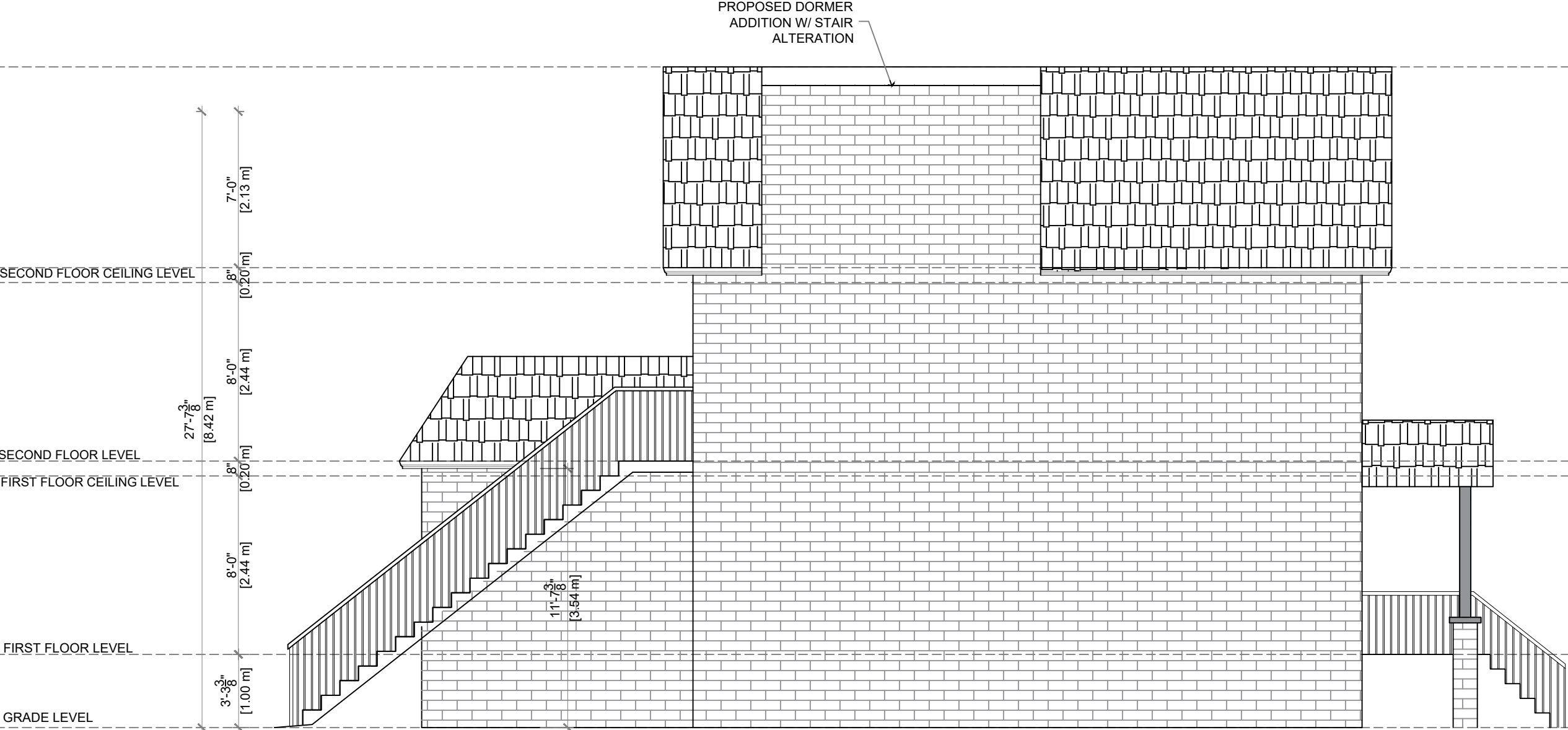
Project Name and Address

103 Grant Ave  
Hamilton, ON L8N 2X6

Drawing Title

FRONT ELEVATION

Project SECOND UNIT	Sheet  <b>A2.01</b>
Date OCT 26, 2020	
Scale 3/16"=1'-0"	



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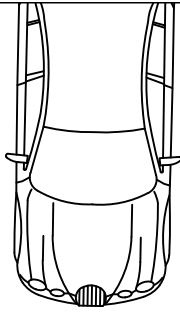
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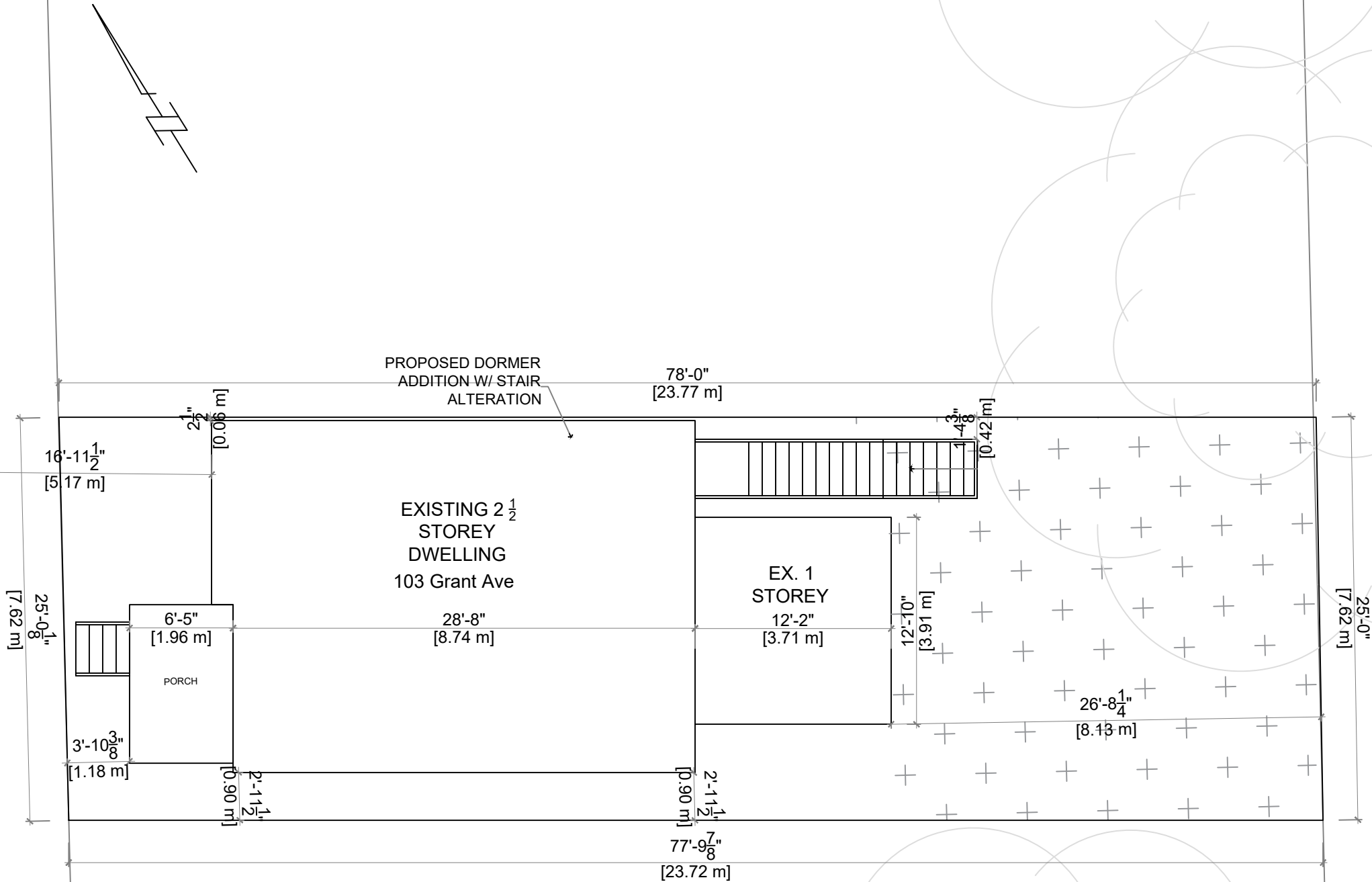
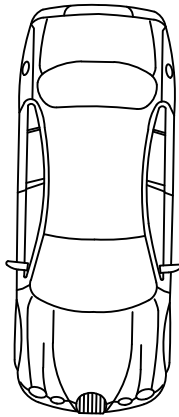
Drawing Title

SIDE ELEVATION

Project SECOND UNIT	A2.02
Date OCT 26, 2020	
Scale 3/16"=1'-0"	



GRANT AVE



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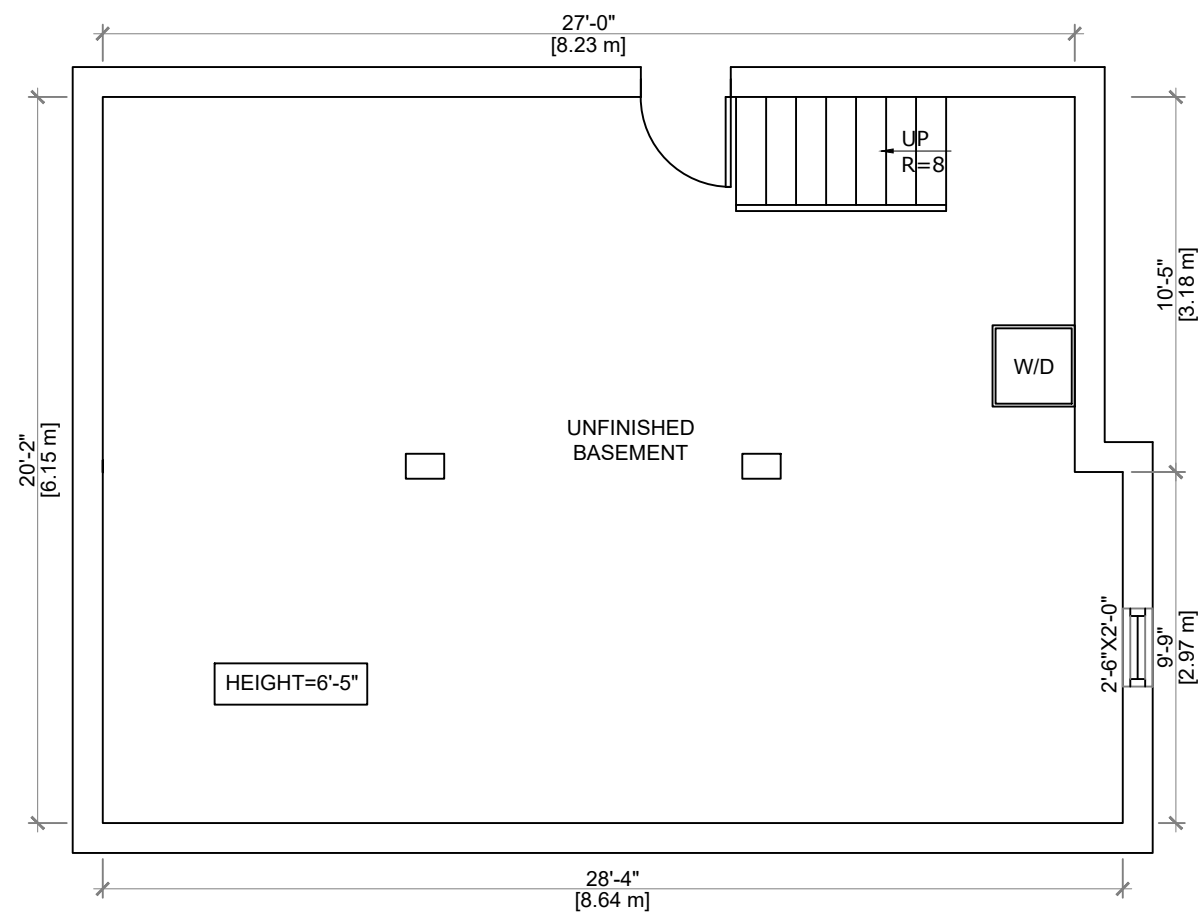
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**SITE PLAN**

Project SECOND UNIT	Sheet  <b>SP1.01</b>
Date OCT 26, 2020	
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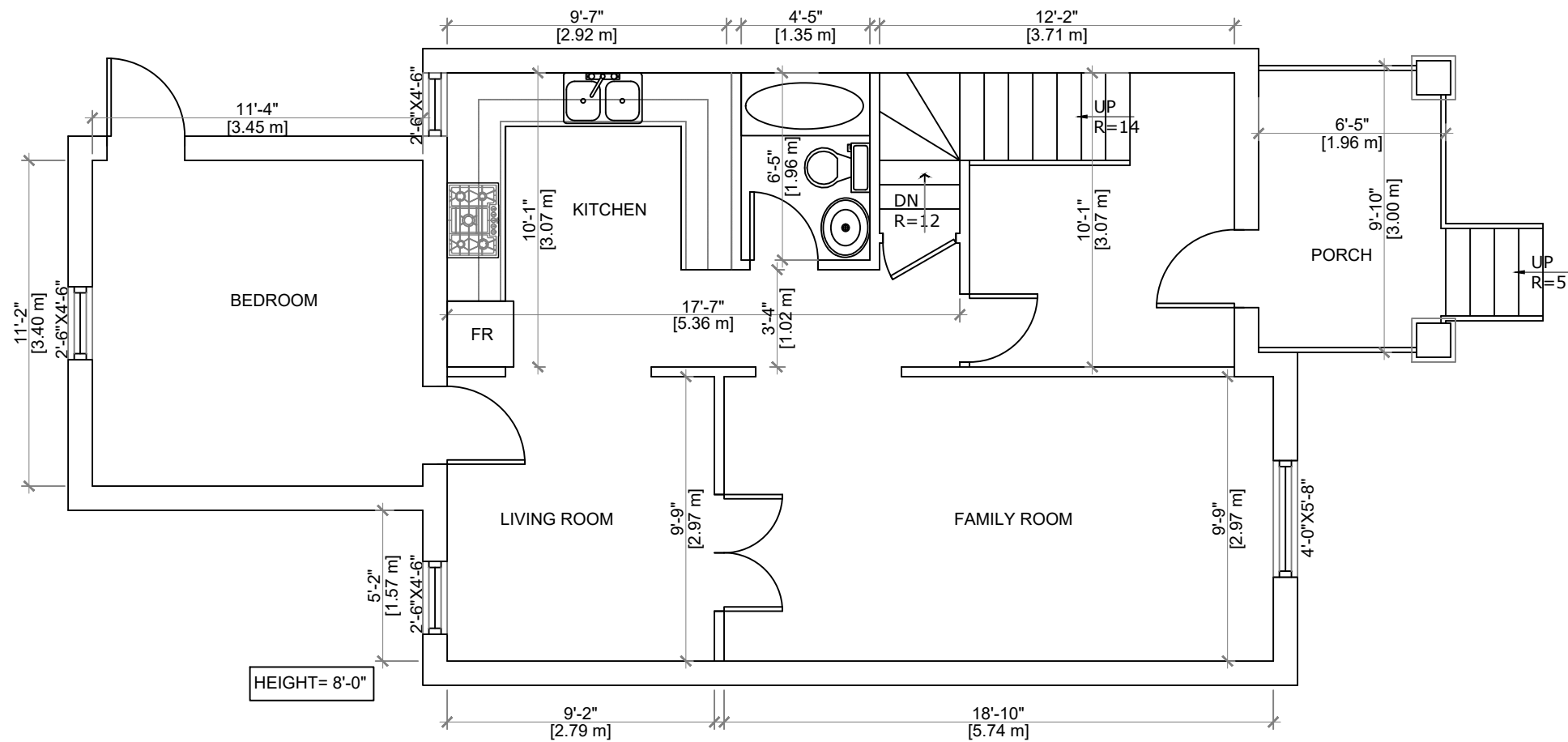
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Project Name and Address

103 Grant Ave  
Hamilton, ON L8N 2X6

Drawing Title  
EX. BASEMENT FLOOR  
PLAN

Project SECOND UNIT	A1.01
Date OCT 26, 2020	
Scale 3/16"=1'-0"	



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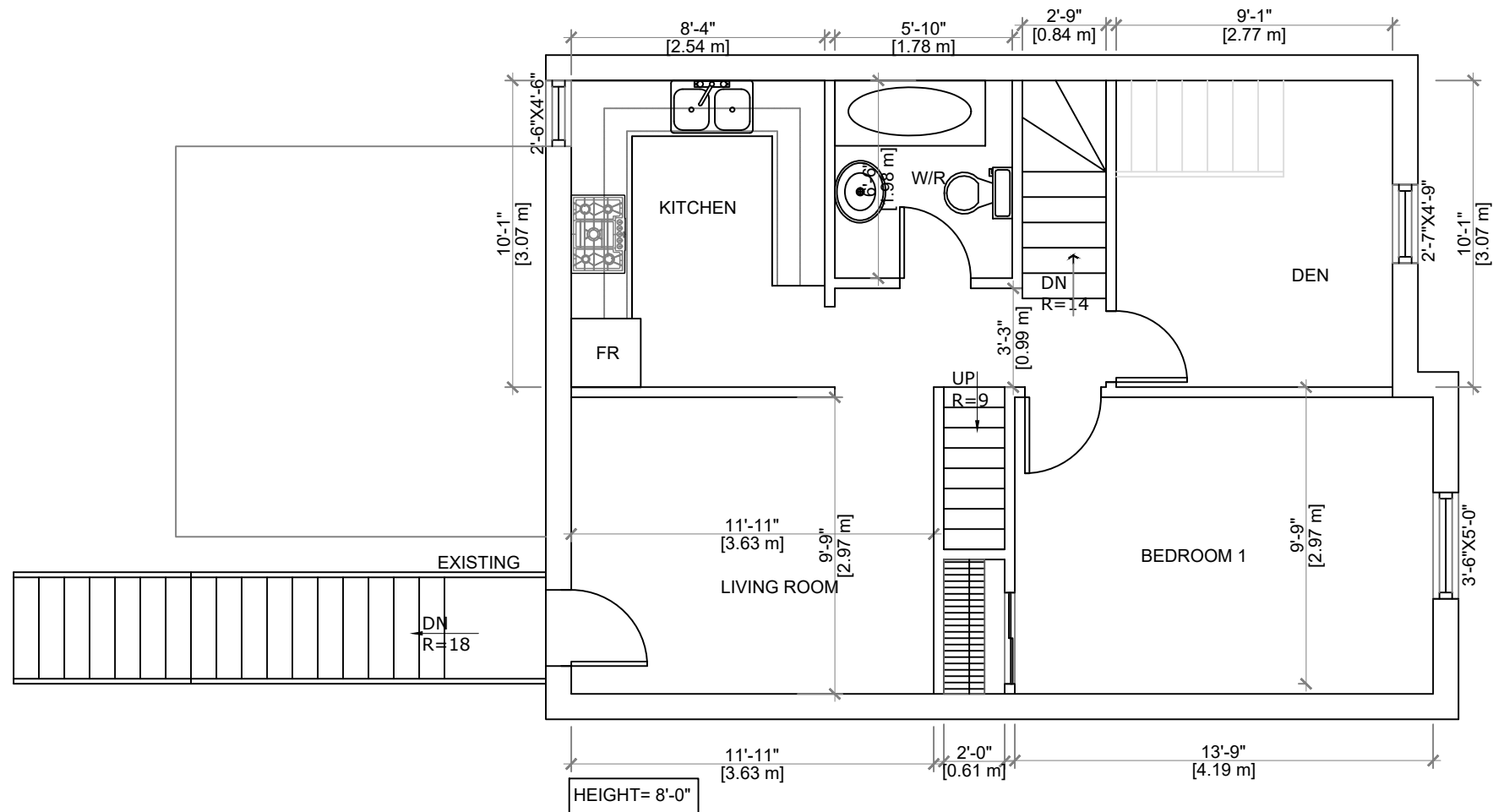
Project Name and Address

103 Grant Ave  
Hamilton, ON L8N 2X6

Drawing Title

EX. FIRST FLOOR PLAN

Project SECOND UNIT	Sheet  <b>A1.02</b>
Date OCT 26, 2020	
Scale 3/16"=1'-0"	



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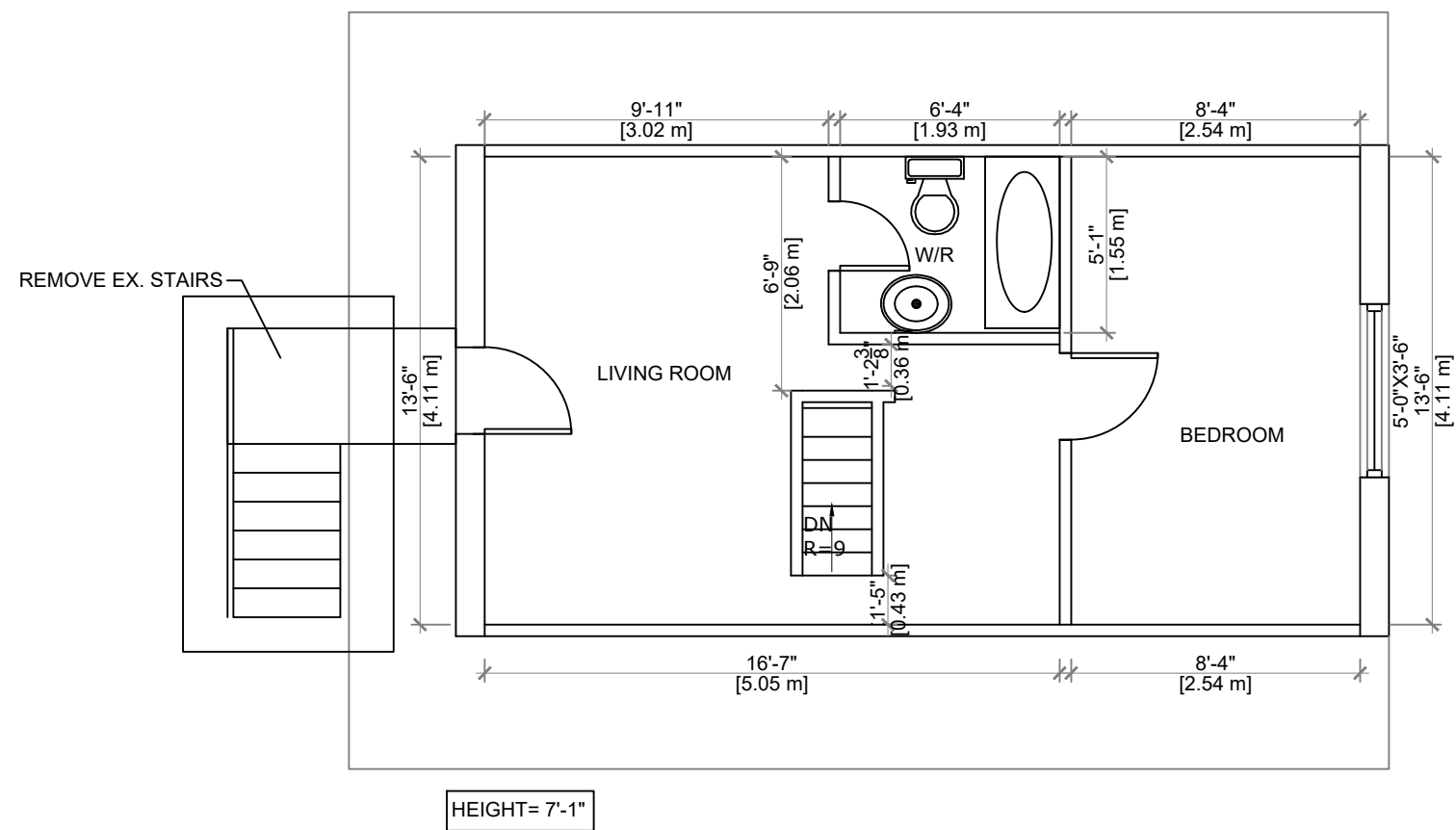
Project Name and Address

103 Grant Ave  
Hamilton, ON L8N 2X6

Drawing Title

EX. SECOND FLOOR PLAN

Project SECOND UNIT	Sheet  <b>A1.03</b>
Date OCT 26, 2020	
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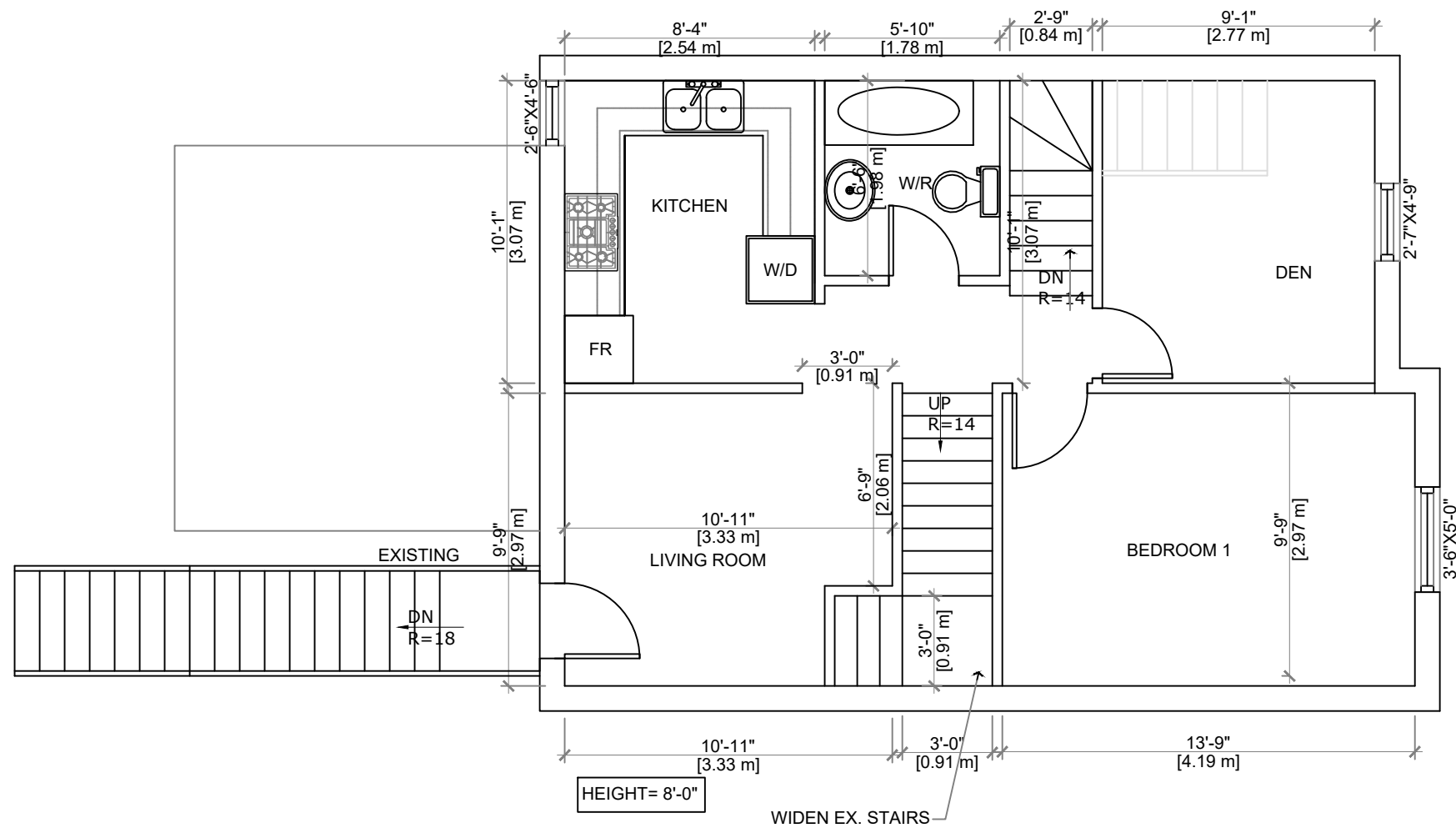
Project Name and Address

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Hamilton, ON L8N 2X6

Drawing Title

EX. ATTIC FLOOR PLAN

Project	Sheet
SECOND UNIT	A1.04
Date OCT 26, 2020	
Scale 3/16"=1'-0"	



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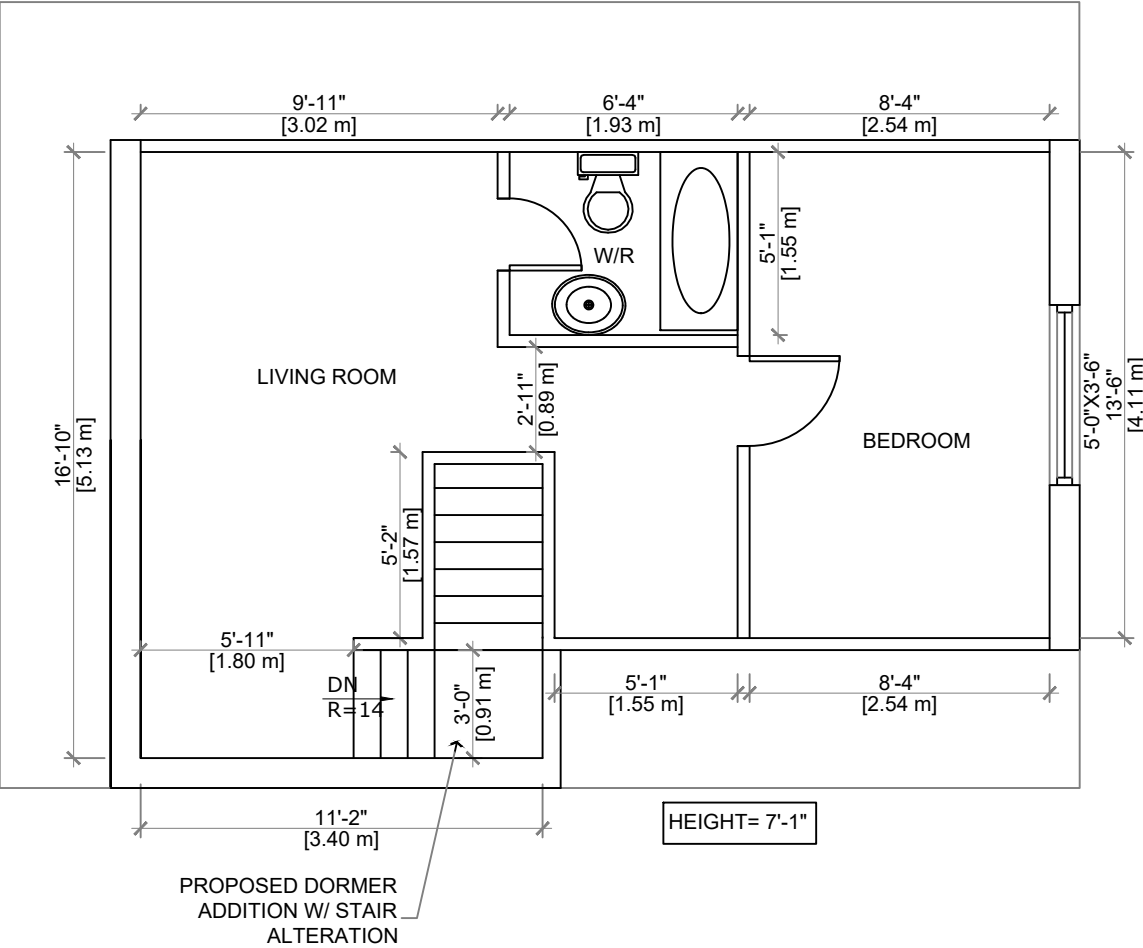
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Project Name and Address

103 Grant Ave  
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Drawing Title  
PROP. SECOND FLOOR  
PLAN

Project SECOND UNIT	Sheet  <b>A1.05</b>
Date OCT 26, 2020	
Scale 3/16"=1'-0"	



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LICENSED PROFESSIONAL ENGINEER  
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100156144  
12/16/2020  
PROVINCE OF ONTARIO

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MARVEL  
ENGINEERING

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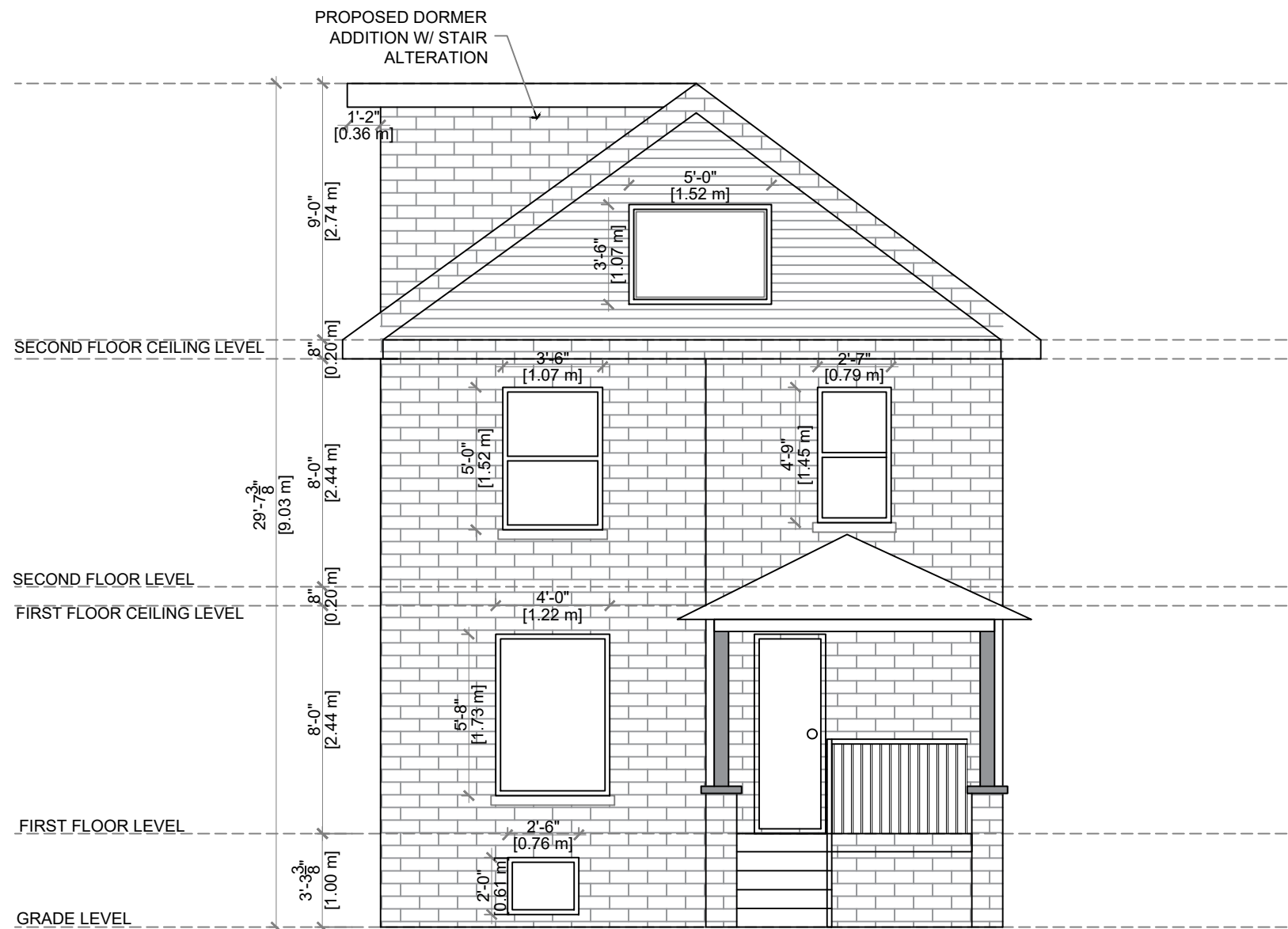
Project Name and Address

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Drawing Title

PROP. ATTIC FLOOR PLAN

Project SECOND UNIT	Sheet  <b>A1.06</b>
Date OCT 26, 2020	
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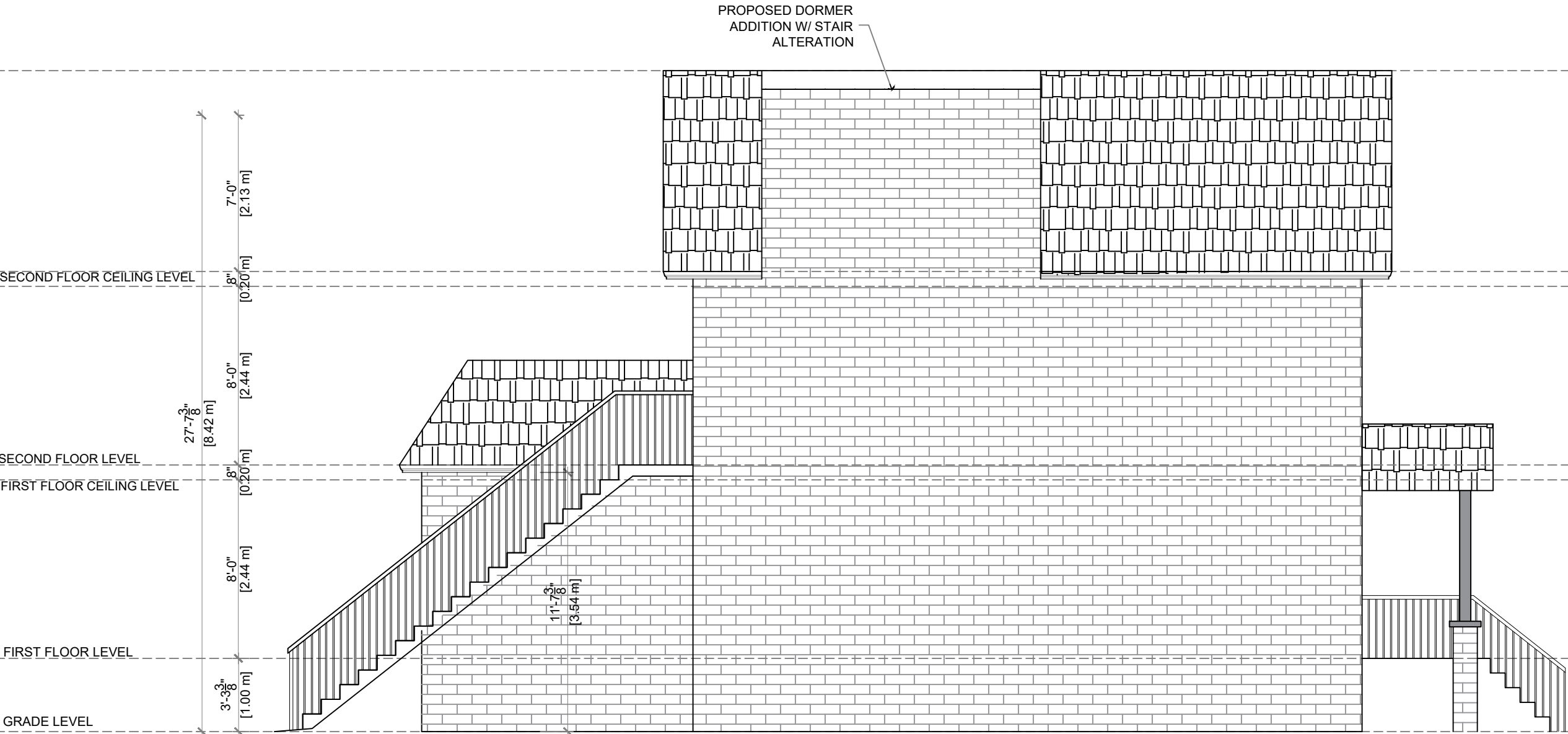


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103 Grant Ave  
Hamilton, ON L8N 2X6

Drawing Title  
**FRONT ELEVATION**

Project SECOND UNIT	Sheet  <b>A2.01</b>
Date OCT 26, 2020	
Scale 3/16"=1'-0"	



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**MARVEL ENGINEERING**

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Project Name and Address

103 Grant Ave  
Hamilton, ON L8N 2X6

Drawing Title

**SIDE ELEVATION**

Project	Sheet
SECOND UNIT	<b>A2.02</b>
Date	
Scale	

OCT 26, 2020  
3/16"=1'-0"





Hamilton

Planning and Economic Development Department  
Planning Division

**Committee of Adjustment**

City Hall  
5<sup>th</sup> floor 71 Main Street West  
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221  
Fax (905) 546-4202

**PLEASE FILL OUT THE FOLLOWING PAGES AND  
RETURN TO THE CITY OF HAMILTON PLANNING  
DEPARTMENT.**

**FOR OFFICE USE ONLY.**

APPLICATION NO. \_\_\_\_\_ DATE APPLICATION RECEIVED \_\_\_\_\_

PAID \_\_\_\_\_ DATE APPLICATION DEEMED COMPLETE \_\_\_\_\_

SECRETARY'S  
SIGNATURE \_\_\_\_\_

**CITY OF HAMILTON  
COMMITTEE OF ADJUSTMENT  
HAMILTON, ONTARIO**

***The Planning Act***

**Application for Minor Variance or for Permission**

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner JOHN KEMP Telephone No. [REDACTED]  
FAX NO. \_\_\_\_\_ E-mail address. [REDACTED]
2. Address [REDACTED]  
[REDACTED] Postal Code \_\_\_\_\_
3. Name of Agent RAMAN SANDHU Telephone No. [REDACTED]  
FAX NO. \_\_\_\_\_ E-mail address. [REDACTED]
4. Address [REDACTED]  
\_\_\_\_\_ Postal Code [REDACTED]

**Note:** Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:  
\_\_\_\_\_  
\_\_\_\_\_ Postal Code \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_ Postal Code \_\_\_\_\_

6. Nature and extent of relief applied for:

- Minimum floor area of a dwelling unit;
- Minimum lot area;
- Minimum number of parking spaces;
- Minimum side yard (for a dormer addition).

7. Why it is not possible to comply with the provisions of the By-law?

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8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

103 Grant Ave

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9. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☐

Other

9.1 If Industrial or Commercial, specify use

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9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐



9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes \_\_\_\_\_ No ☒ Unknown \_\_\_\_\_

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes \_\_\_\_\_ No ☒ Unknown \_\_\_\_\_

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?  
**BASED ON EXPERIENCE AND NEIGHBORHOOD**

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes \_\_\_\_\_ No ☒

#### ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

2020-12-16  
Date

  
Signature ~~Property~~ Owner

JOHN KEMP  
Print Name of Owner

10. Dimensions of lands affected:

Frontage 7.62 m  
Depth 23.77 m  
Area 180.95 sq.m  
Width of street \_\_\_\_\_

11. Particulars of all buildings and structures on or proposed for the subject lands:  
(Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: GROSS FLOOR AREA- 156.98 sq.m  
NO. OF STOREYS- 3  
WIDTH- 6.65 m  
LENGTH- 12.85 m  
Proposed: GROSS FLOOR AREA- 156.98 sq.m  
NO. OF STOREYS- 3  
WIDTH- 6.65 m  
LENGTH- 12.85 m

12. Location of all buildings and structures on or proposed for the subject lands;  
(Specify distance from side, rear and front lot lines)

Existing: FRONT YARD SETBACK- 2.81 m  
REAR YARD SETBACK- 6.44 m  
SIDE YARD (LEFT)- 0.06 m

SIDE YARD (RIGHT)- 0.90 m

Proposed: FRONT YARD SETBACK- 2.81 m

REAR YARD SETBACK- 6.44 m

SIDE YARD (LEFT)- 0.06 m

SIDE YARD (RIGHT)- 0.90 m

13. Date of acquisition of subject lands:

14. Date of construction of all buildings and structures on subject lands:

15. Existing uses of the subject property: Residential SFD

16. Existing uses of abutting properties:

17. Length of time the existing uses of the subject property have continued:

18. Municipal services available: (check the appropriate space or spaces)

Water ☒

Connected

Sanitary Sewer ☒

Connected

Storm Sewers ☒

19. Present Official Plan/Secondary Plan provisions applying to the land:

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:  
ZONING CODE - D

21. Has the owner previously applied for relief in respect of the subject property?

Yes

☒ No

If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

☒ No

23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

**NOTE:** It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps