

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: FL/A-21:48

APPLICANTS: Zoltan Engineering on behalf of the owner 1541270 Ontario Inc.

SUBJECT PROPERTY: Municipal address **1129 Hwy 5, Flamborough**

ZONING BY-LAW: Zoning By-law 05-200, as Amended by By-law 15-173

ZONING: "E2" (Rural Industrial) district

PROPOSAL: To permit the construction of a new 148.0 sq. m. canopy for the existing Motor Vehicle Gas Bar notwithstanding that.

1. The minimum front yard shall be 1.0 metres for the proposed replacement canopy instead of the minimum required 7.5 metre front yard.

NOTES:

1. The E2 (Rural Industrial) Zone permits existing uses which existed at the date of passing of the Zoning By-law.

2. The requested canopy to replace an existing 76 square metre canopy for zoning purposes is treated as a principal structure rather than an accessory structure.

3. The Zoning By-law defines a Motor Vehicle Gas Bar as:

Motor Vehicle Gas Bar shall mean a use on a lot, where fuel or lubricants are offered for sale but where no provision is made for the repair or maintenance of motor vehicles and may include the sale of foods and convenience items but shall not include a Motor Vehicle Service Station or a Motor Vehicle Wrecking Establishment.

This application will be heard by the Committee as shown below:

DATE: Thursday, March 4th, 2021
TIME: 1:20 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: February 16th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

DRAWING LEGEND

PROPERTY LINE

SURFACE COVER (EXISTING)

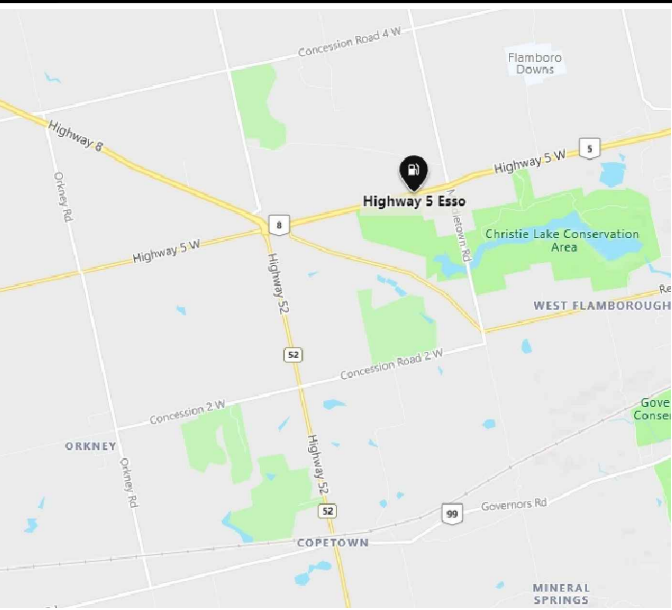
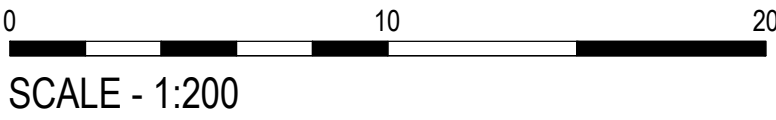
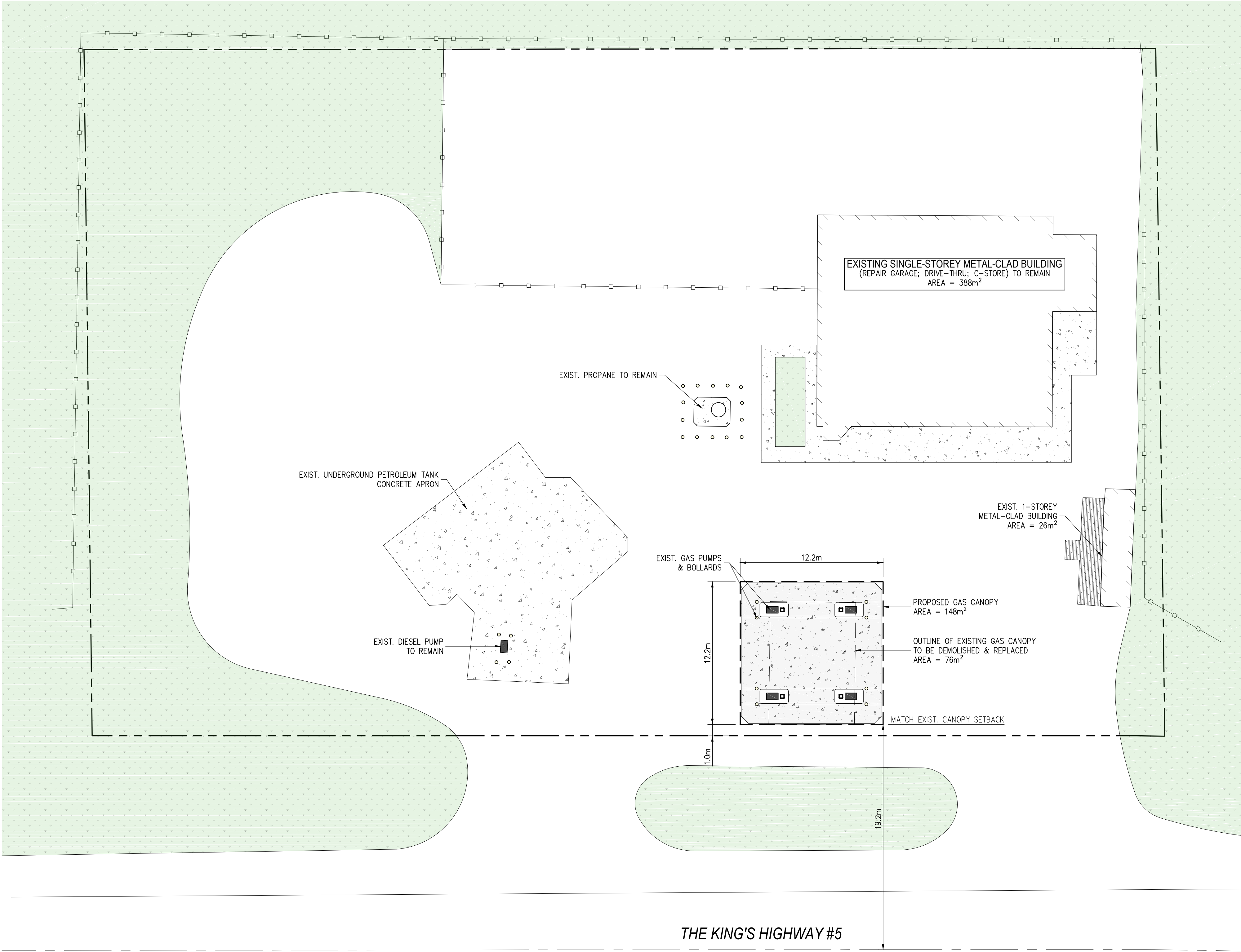
SURFACE COVER (PROPOSED)

HYDRO POLE / LIGHT POLE

FIRE HYDRANT

WOOD FENCE (EXISTING)

WOOD FENCE (PROPOSED)



KEY MAP

THESE DESIGN DOCUMENTS ARE PREPARED SOLELY FOR THE USE BY THE PARTY WITH WHOM THE DESIGN PROFESSIONAL HAS ENTERED INTO A CONTRACT AND THERE ARE NO REPRESENTATIONS OF ANY KIND MADE BY THE DESIGN PROFESSIONAL TO ANY PARTY WITH WHOM THE DESIGN PROFESSIONAL HAS NOT ENTERED INTO A CONTRACT.

DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY ERRORS AND OMISSIONS TO THE ENGINEER. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS MARKED AS "ISSUED FOR CONSTRUCTION", CERTIFIED AND DATED.

NORTH

LEGAL DESCRIPTION
PART 1, PLAT OF PART OF
LOT 35, CONCESSION 3
GEOGRAPHIC
TOWNSHIP OF BEVERLY
IN THE CITY OF HAMILTON

0	02DEC20	ISSUED FOR PERMIT
REV.	DATE	REMARKS

ZOLTAN
ENGINEERING

25-4380 SOUTH SERVICE ROAD
BURLINGTON, ON L7L 5Y6
(905) 331 - 8307
WWW.ZOLTANENGINEERING.COM

PROJECT TITLE

GAS CANOPY REPLACEMENT

1129 HIGHWAY #5
FLABOROUGH, ONTARIO

DRAWING TITLE

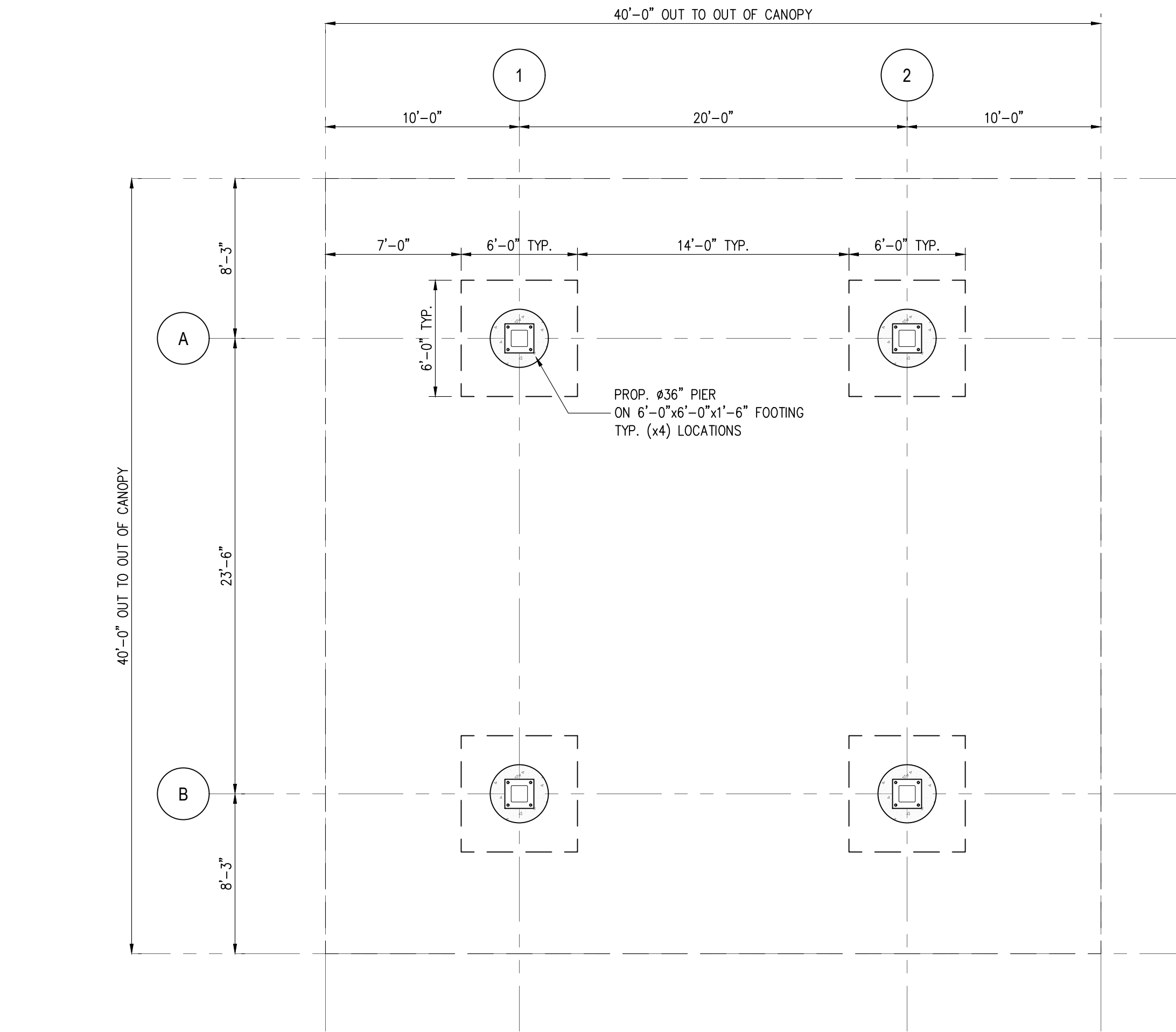
ARRANGEMENT PLAN

SCALE	1:200
DATE	02DEC20
DRAWN	EP
DESIGNED	ZL
CHECKED	ZL



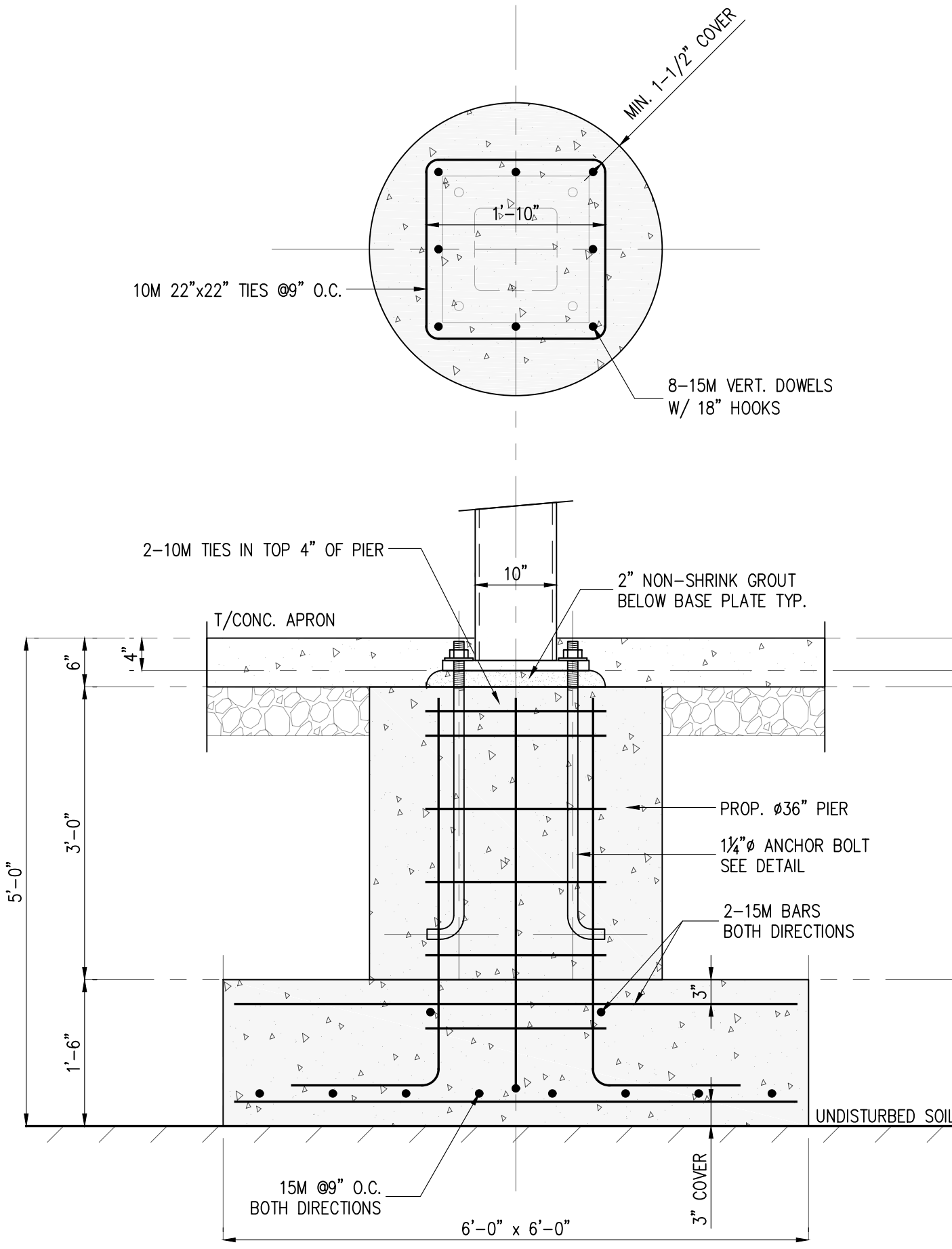
PROJECT NO. 20-247

SHEET NO. AP-1

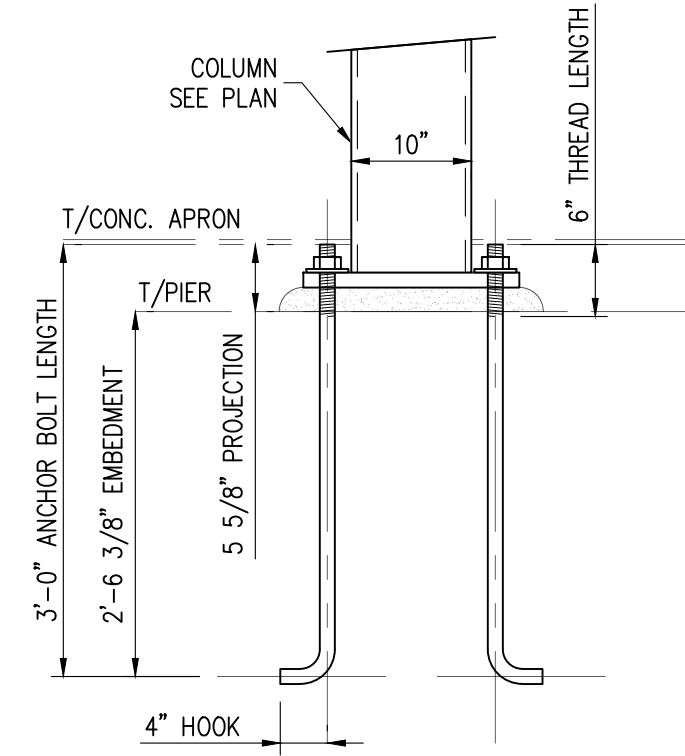


1 FRAMING PLAN
Scale: 3/16"=1'-0"

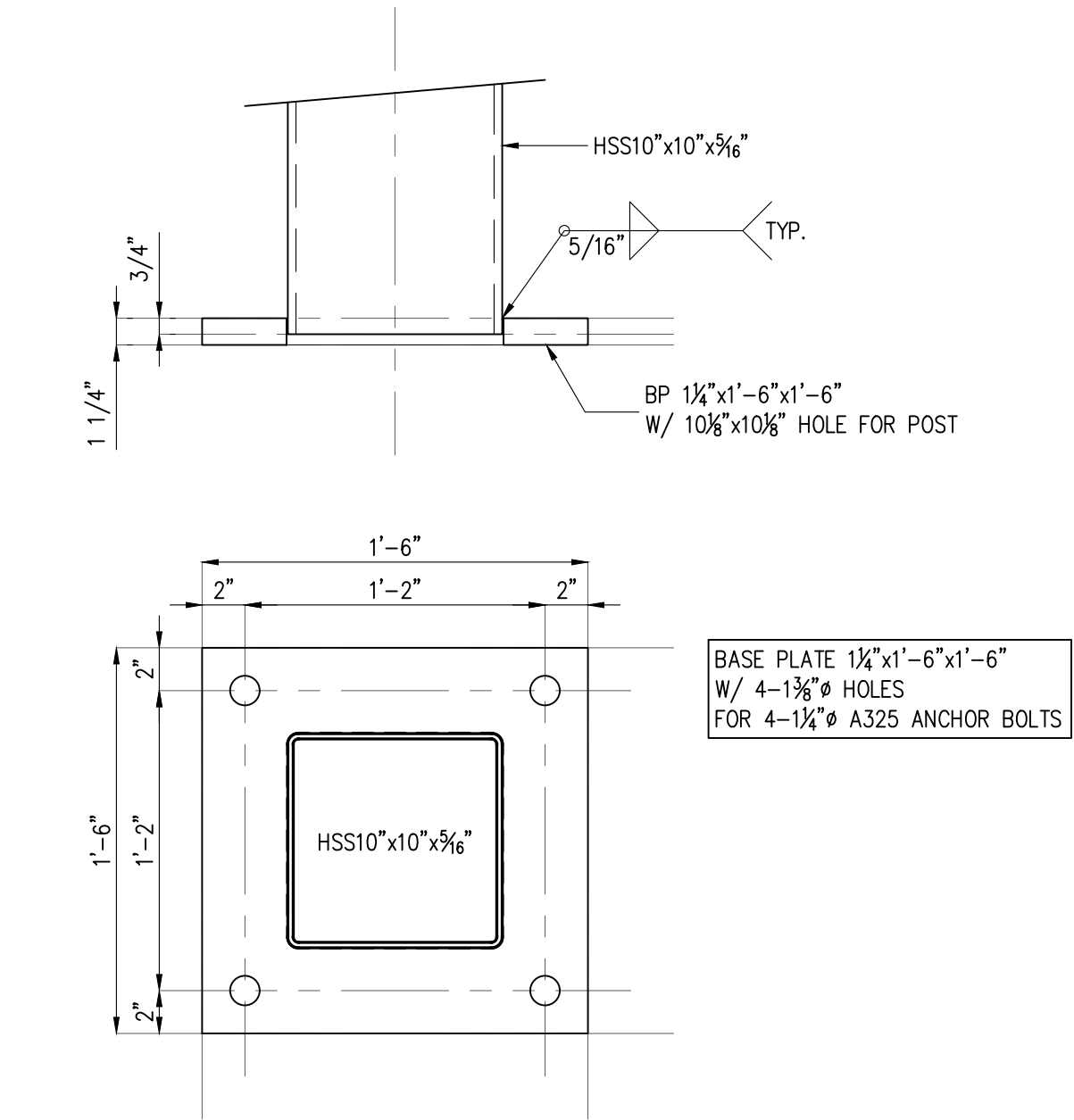
SOIL BEARING CAPACITY NOTE:
ASSUME BEARING CAPACITY OF SOIL 3000 PSF SLS OR 6000 PSF ULS TO BE CONFIRMED BY ENGINEER OR GEOTECHNICAL REPORT PRIOR TO POURING FOOTINGS.



2 FOUNDATION DETAIL
Scale: 3/4"=1'-0"



3 ANCHOR BOLT DETAIL
Scale: 3/4"=1'-0"



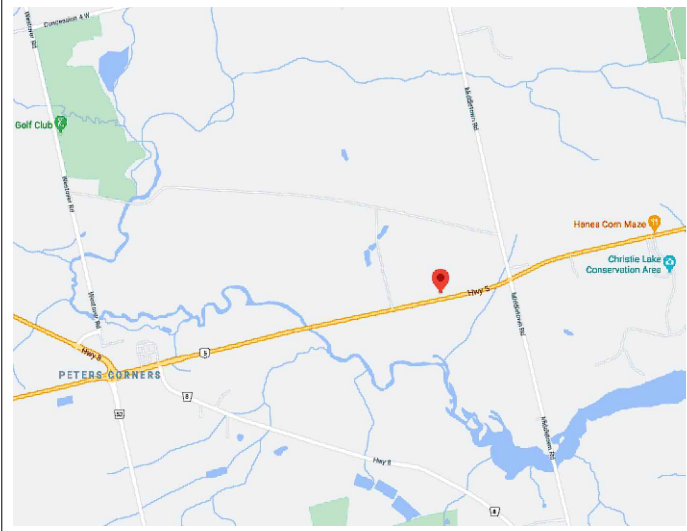
4 BASE PLATE DETAIL
Scale: 1-1/2"=1'-0"

CONCRETE

- ALL CONCRETE WORK TO CONFORM TO CSA STANDARDS A23.1-14, A23.2-14, & A23.3-14
- CONCRETE FLOOR AND FOUNDATIONS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 25 MPA AT 28 DAYS UNLESS NOTED OTHERWISE ON PLANS.
- ALL REINFORCING STEEL SHALL CONFORM TO CSA SPECIFICATION G30.18-M92 GRADE 400. FOR CONCRETE PROTECTION TO BARS SEE PLAN.
- SPACING AND CONCRETE COVER FOR REINFORCING STEEL SHALL CONFORM TO CSA A23.1 & CSA A23.2 UNLESS NOTED OTHERWISE:
 - CONCRETE CAST AGAINST EARTH: 75mm (3")
 - PIERS AND WALL: 40mm (1 1/2")
 - EXPOSED TO DE-ICING CHEMICALS: 60mm (2 1/2")
 - INTERIOR SLABS AND BEAMS: (1 1/2")
- CONCRETE PROPERTIES:
 - ALL CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 25 MPA MINIMUM UNLESS OTHERWISE SPECIFIED.
 - EXTERIOR CONCRETE SLABS TO BE CLASS C-2 CONCRETE (28 DAY COMPRESSIVE STRENGTH OF 32 MPA) WITH AIR ENTRAINMENT.
 - INTERIOR CONCRETE SLABS SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 25 MPA, 0.55 MAX. WATER-CEMENT RATIO.
 - CONCRETE MIX DESIGN SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO USE AT JOB SITE.
- LAP ALL REINFORCING BARS AT LEAST 20 DIAMETERS OR MINIMUM OF 1'-0" (300 mm) UNLESS NOTED OTHERWISE ON ALL PLANS.
- SLUMP OF CONCRETE TO BE 75 mm $\pm$ 25 mm (3" $\pm$ 1") OR AS OTHERWISE SPECIFIED. CONCRETE WITH 110 mm (4 1/2") SLUMP OR MORE IS TO BE REJECTED.
- INSTALL ANCHOR BOLTS OR MISCELLANEOUS ITEMS SUPPLIED BY OTHERS FOR INSTALLATION IN THE CONCRETE WORK.
- CONTROL JOINTS: IN CONCRETE SLABS ON GRADE, MAXIMUM SPACING 25'-0" (7500mm) AREAS NOT TO EXCEED 625 FT² IN FOUNDATION WALLS MORE THAN 82' (25M) LONG AT INTERVALS NOT TO EXCEED 49'-9" (15 M).

FOUNDATIONS

- ALL FOOTINGS SHALL BE FOUNDED ON NATURALLY CONSOLIDATED UNDISTURBED SOIL, CAPABLE OF SUSTAINING A LOAD (SEE PLAN) AT LEAST 2'-6" (750mm) BELOW ORIGINAL (NOT FILL) GRADE.
- FOOTING ELEVATIONS ARE BASED ON ESTIMATE ONLY, IF UPON EXCAVATING TO THE SPECIFIED ELEVATIONS IT IS FOUND THAT THE ABOVE CONDITIONS ARE NOT MET OR THAT THEY HAVE BEEN MET AT HIGHER ELEVATIONS, THE FOOTING ELEVATION MAY BE ADJUSTED WITH THE ENGINEER'S PERMISSION.
- MINIMUM DEPTH FOR EXTERIOR FOOTINGS IS 4'-0" (1200mm) BELOW FINISHED GRADE UNLESS NOTED OTHERWISE.
- CENTRE ALL CAPS AND FOOTINGS UNDER COLUMNS EXCEPT AS NOTED OTHERWISE ON THE PLANS.
- DURING COLD WEATHER, PROTECT SOIL BENEATH AND ADJACENT TO FOOTINGS FROM FREEZING. DO NOT CAST FOUNDATION ON FROZEN MATERIAL.
- CONTRACTOR IS RESPONSIBLE FOR MANAGING SURFACE & GROUND WATER DURING CONSTRUCTION AND TO ENSURE FOUNDATIONS ARE CAST ON DRY UNDISTURBED SOIL.
- UNLESS SPECIFIED BY THE ENGINEER, DO NOT EXCEED A RISE OF 7" IN A RUN OF 10" IN THE LINE OF SLOPE BETWEEN ADJACENT FOOTINGS OR ALONG STEPPED FOOTINGS. USE STEPS NOT EXCEEDING 24" (500mm) IN HEIGHT AND NOT LESS THAN 48" (1200mm) IN LENGTH.
- WHERE NECESSARY, THE CONTRACTOR SHALL LOWER FOOTINGS TO ACCOMMODATE DRAIN LINES, ETC.
- DO NOT PLACE BACKFILL AGAINST WALLS RETAINING EARTH (UNLESS DESIGNED FOR CANTILEVER) UNTIL FLOOR CONSTRUCTION AT TOP AND BOTTOM OF THE WALLS IS POURED AND SET.
- BACKFILLING AGAINST FOUNDATION WALLS TO BE DONE SO THAT THERE IS NEVER MORE THAN 1'-6" (450mm) DIFFERENCE IN LEVEL, ONE SIDE TO THE OTHER, EXCEPT AS NOTED IN PARAGRAPH 9, ABOVE.
- WHERE SLAB ON GRADE IS USED TO TIE THE TOP OF THE WALL RETAINING EARTH, ADEQUATE SHORING AND BRACING MUST BE PROVIDED WHILE FILL IS BEING PLACED AND COMPACTED, AND MUST BE LEFT IN PLACE UNTIL SLAB IS POURED AND GAINED 75% OF ITS ULTIMATE STRENGTH.



KEY MAP

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0	02DEC20	ISSUED FOR APPROVAL
REV.	DATE	REMARKS

ZOLTAN ENGINEERING
25-4380 SOUTH SERVICE ROAD
BURLINGTON, ON L7L 5Y6
(905) 331 - 8307
WWW.ZOLTANENGINEERING.COM

PROJECT TITLE

PROPOSED GAS CANOPY

1129 HIGHWAY #5
HAMILTON, ON.

DRAWING TITLE

FOUNDATION PLAN
PIER DETAIL
BASE PLATE & ANCHOR BOLT DETAILS

SCALE AS NOTED

DATE 02DEC20

DRAWN JA

DESIGNED ZL

CHECKED ZL

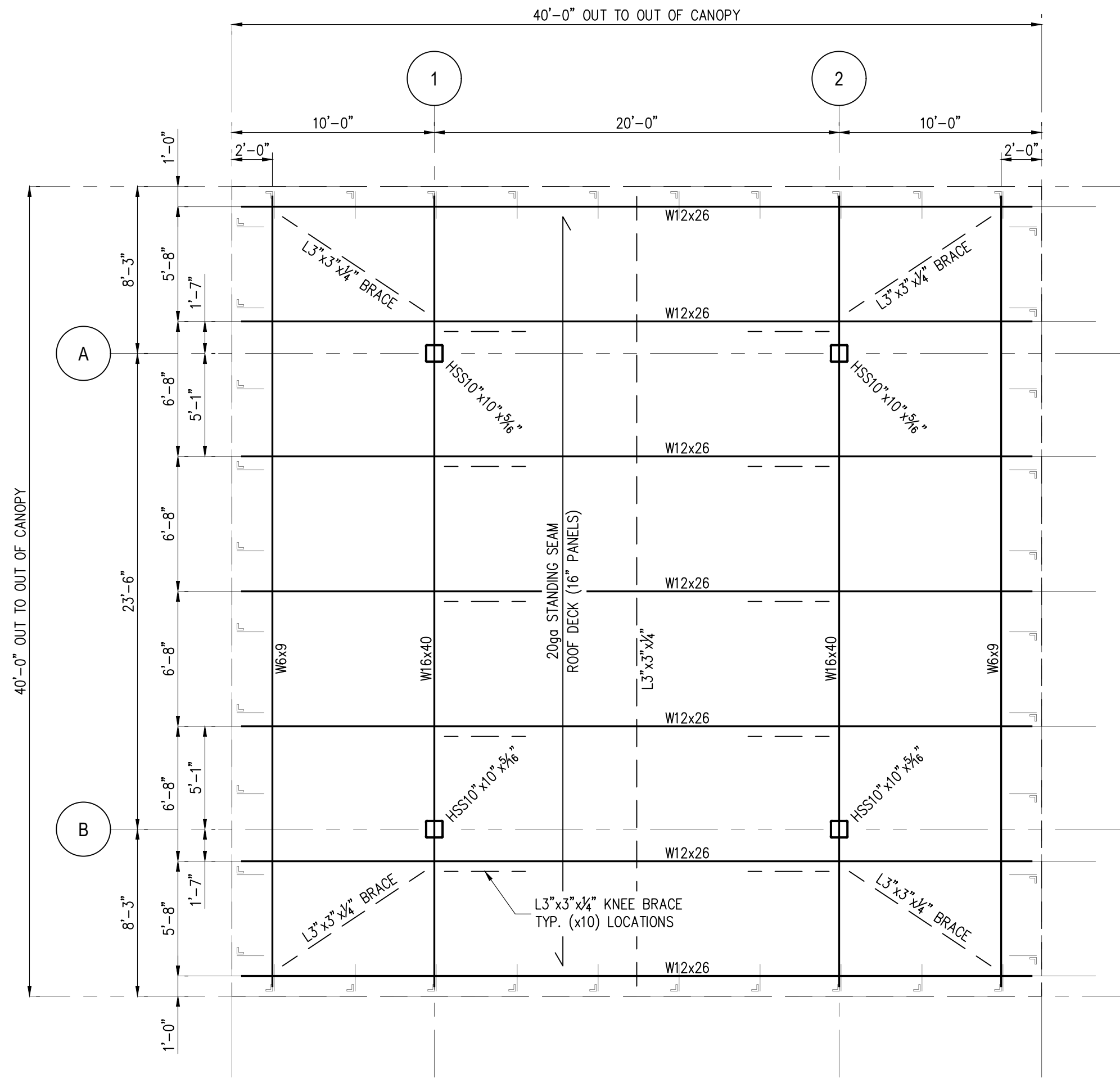
PROJECT NO.

20-247

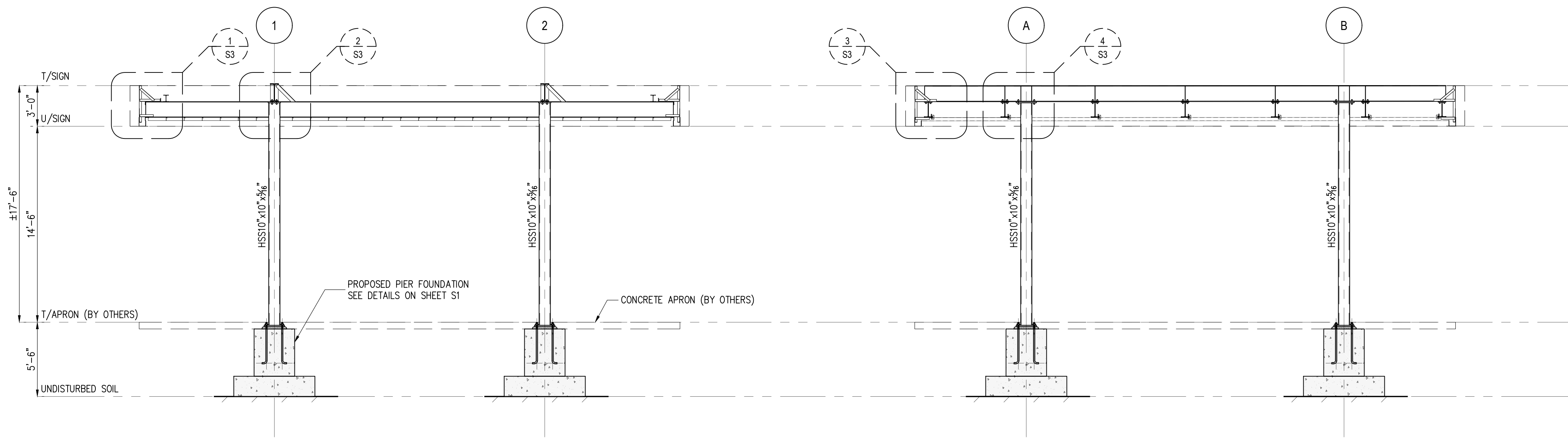
SHEET NO.

S1

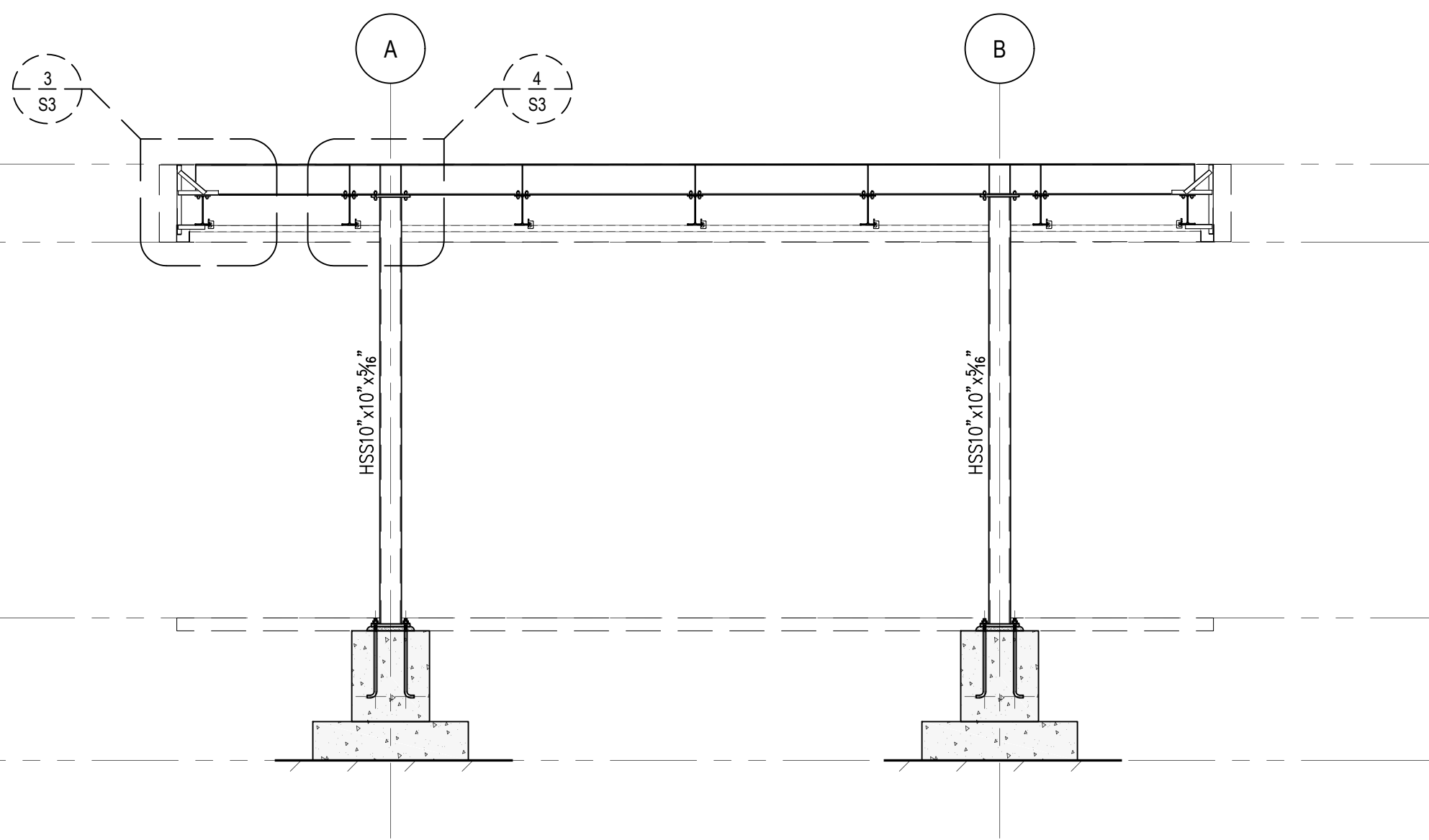




1 FRAMING PLAN
Scale: 3/16"=1'-0"



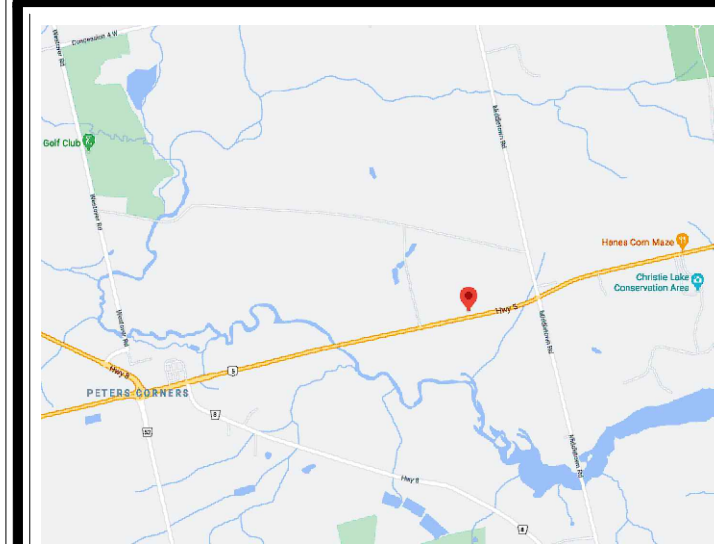
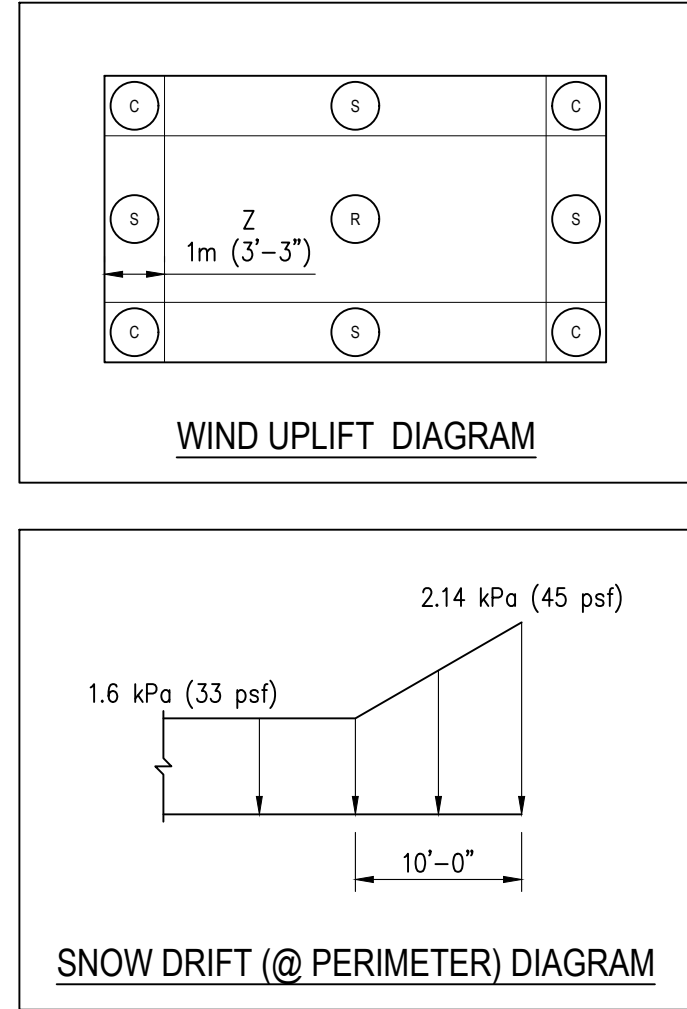
2 CROSS SECTION @ GRIDLINE A
Scale: 3/16"=1'-0"



3 CROSS SECTION @ GRIDLINE 2
Scale: 3/16"=1'-0"

DESIGN INFORMATION

CLIMATIC DATA			
OBC LOCATION:	Hamilton (Above Escarpment, West of Airport)		
Ss =	1.5 kPa		
Sr =	0.4 kPa		
q(1/50) =	0.46 kPa		
Importance:	Normal		
CANOPY ROOF LOADS			
SNOW LOAD =	1.60 kPa	33 psf	
DEAD LOAD =	0.56 kPa	12 psf	
SEISMIC DESIGN			
Sa(0.2) =	0.260	Sa(5.0) =	0.007
Sa(0.5) =	0.128	Sa(10.0) =	0.003
Sa(1.0) =	0.061	PGA=	0.168
Sa(2.0) =	0.028		
Rd =	1.5	*Conventional Construction of Moment Resisting Frames	
Ro =	1.3		
Site Class:	D		
WIND UPLIFT - AREA OF 0m ² FOR COMPONENT DESIGN			
CORNER ZONE, C	2.25 kPa	47 psf	
SIDE ZONE, S	1.33 kPa	28 psf	
ROOF ZONE, R	1.33 kPa	28 psf	



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PROPOSED GAS CANOPY

1129 HIGHWAY #5
HAMILTON, ON.

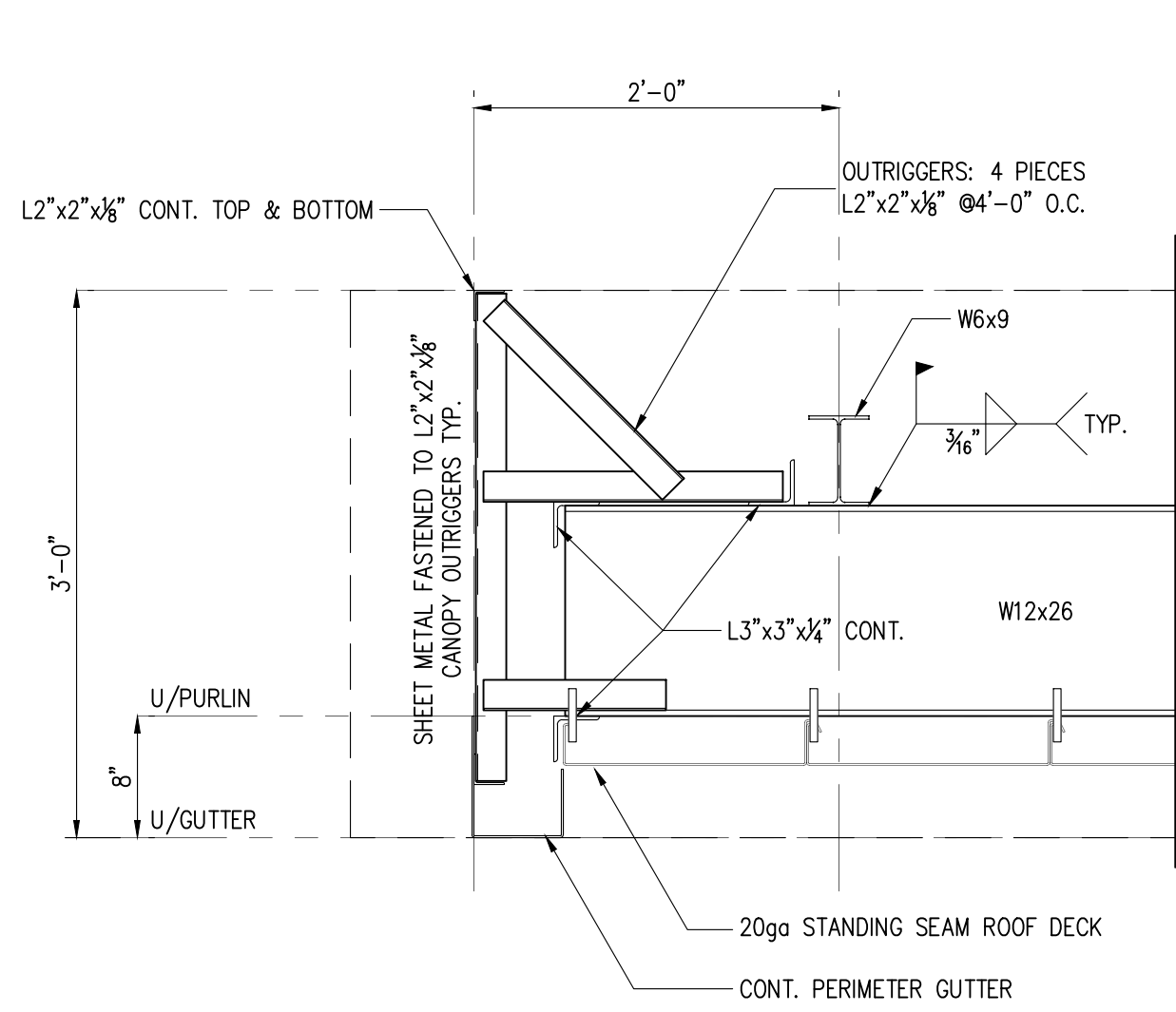
DRAWING TITLE

CANOPY FRAMING PLAN
CROSS SECTION

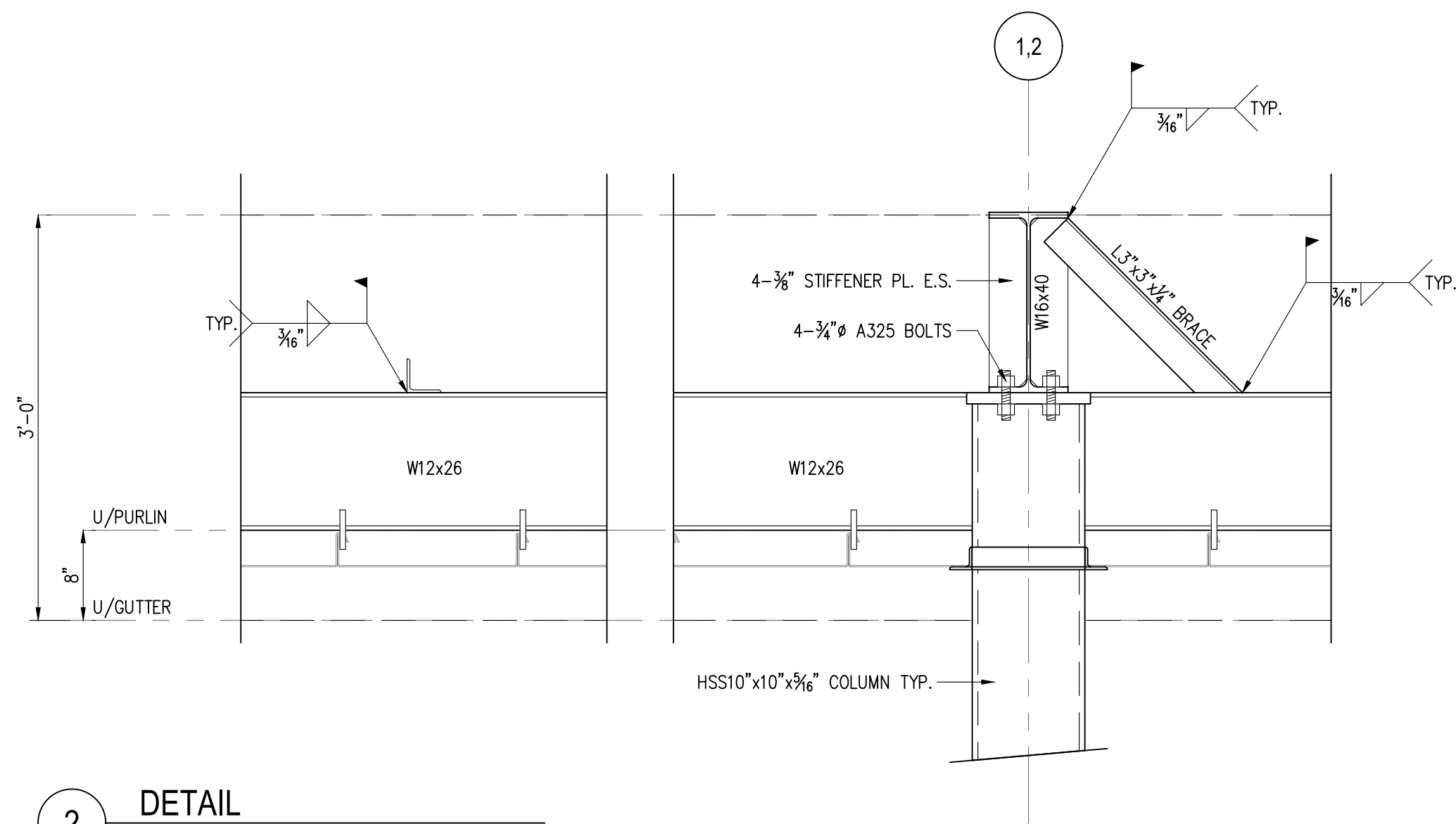
SCALE	AS NOTED
DATE	02DEC20
DRAWN	JA
DESIGNED	ZL
CHECKED	ZL



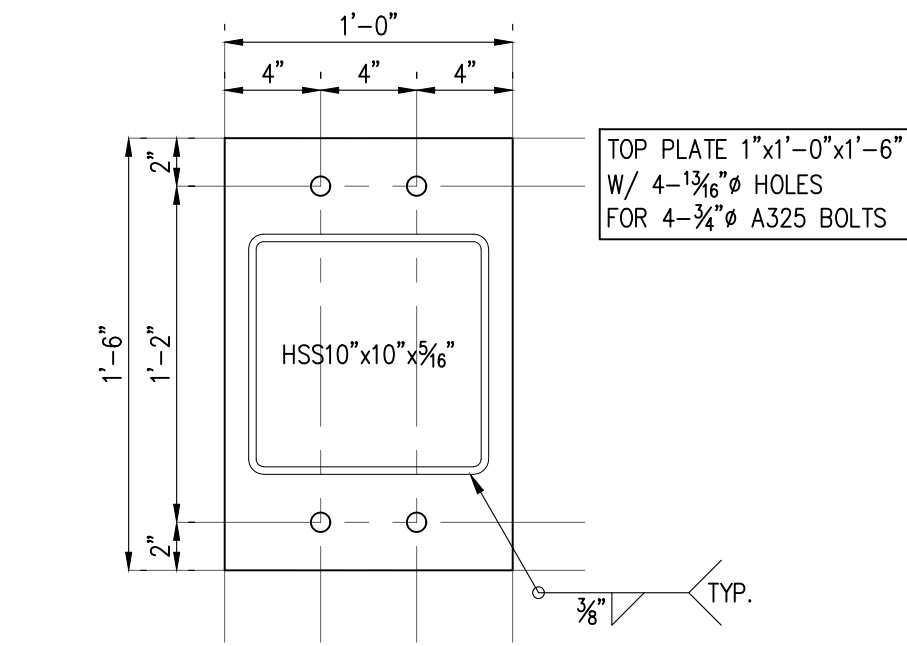
PROJECT NO. 20-247
SHEET NO. S2



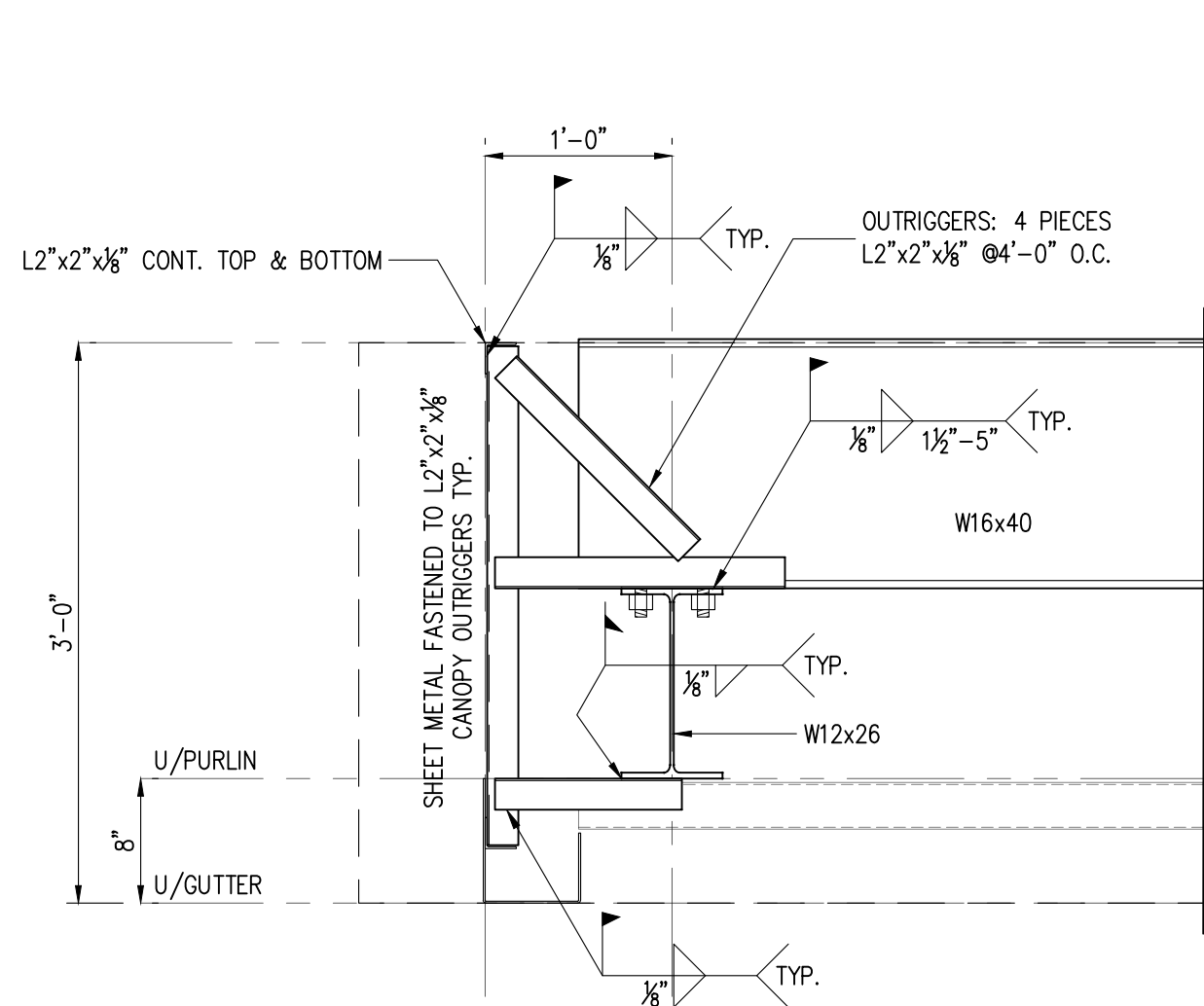
1 DETAIL
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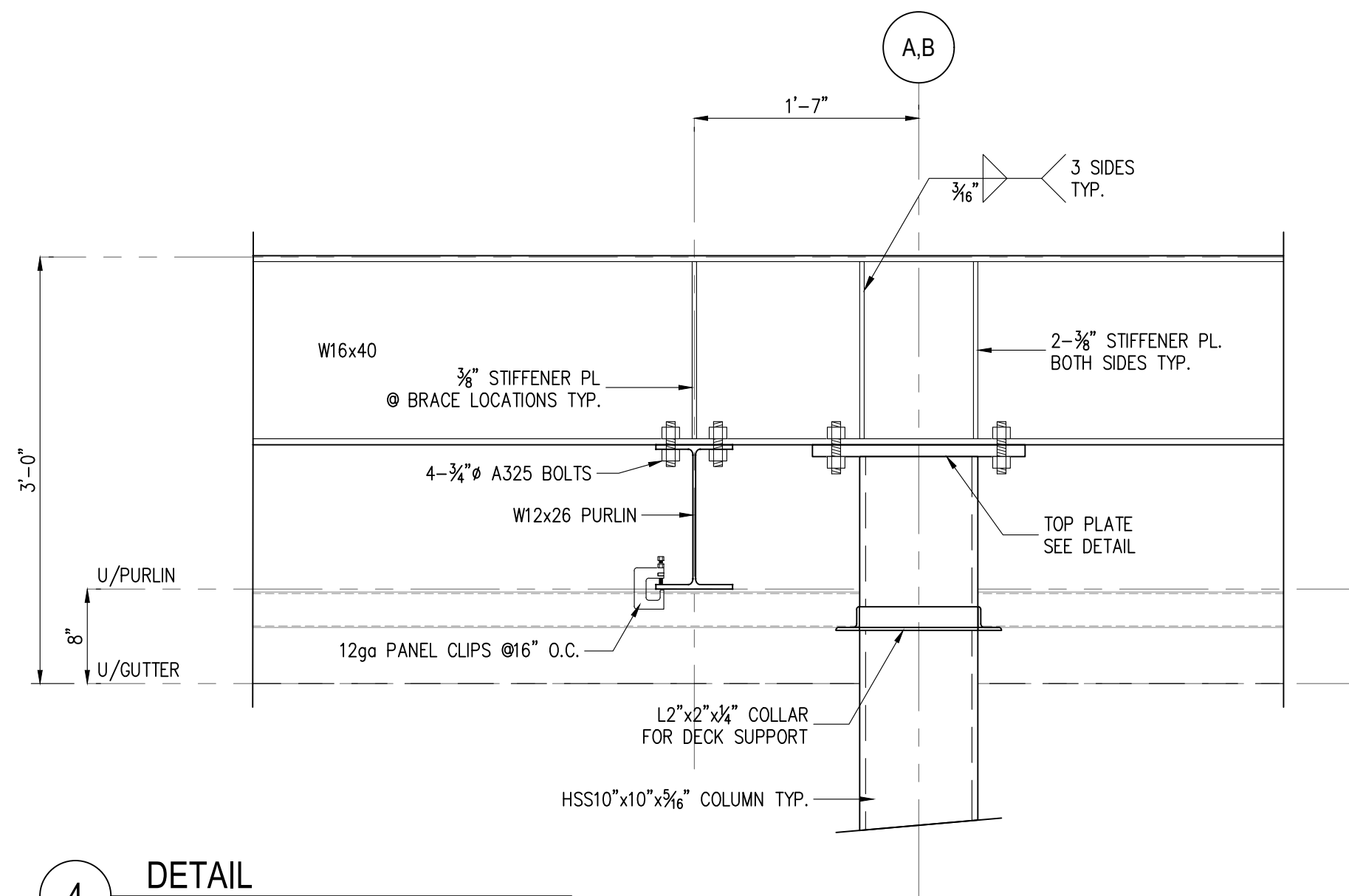
2 DETAIL
Scale: 1" = 1'-0"



5 TOP PLATE DETAIL
Scale: 1 1/2" = 1'-0"



3 DETAIL
Scale: 1" = 1'-0"



4 DETAIL
Scale: 1" = 1'-0"

GENERAL

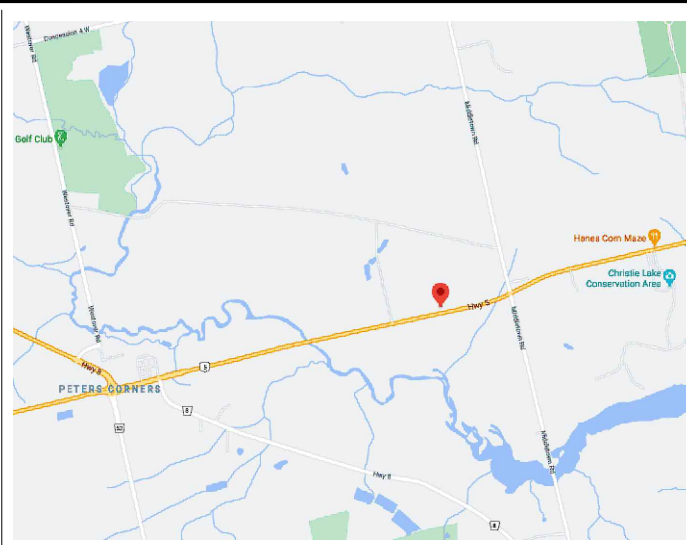
- THE DESIGN AND CONSTRUCTION OF ALL WORK ON THIS PROJECT IS TO CONFORM TO THE ONTARIO BUILDING CODE - 2012 INCLUDING ALL AMENDMENTS, AND THE RELEVANT LISTED CSA STANDARDS INCLUDING THE LATEST REVISIONS.
- READ STRUCTURAL DRAWINGS IN CONJUNCTION WITH ALL RELEVANT ARCHITECTURAL AND SERVICES DRAWINGS AND OTHER CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONED DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- DO NOT EXCEED DESIGN LIVE LOAD DURING CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS - O.REG. 213/91.
- THE CONTRACTOR SHALL RETAIN AN INDEPENDENT INSPECTION AND TESTING COMPANY TO ENSURE THAT ALL WORK IS DONE IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS. TESTING SHALL INCLUDE REINFORCING STEEL PLACEMENT, CONCRETE TESTS, SOIL BEARING AND COMPACTION TESTS, AND STRUCTURAL STEEL.
- IT IS THE RESPONSIBILITY OF BOTH THE OWNER AND THE CONTRACTOR TO NOTIFY THE ENGINEER OF REQUIRED INSPECTION AND TESTING. THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH A CONSTRUCTION SCHEDULE PRIOR TO STARTING THE WORK. GENERALLY, INSPECTION BY THE ENGINEER WILL BE REQUIRED FOR REBAR PRIOR TO CONCRETE PLACEMENT, FOOTING AND FOUNDATIONS PRIOR TO BACKFILLING, AND ABOVE GRADE FRAMING PRIOR TO INSTALLATION OF INTERIOR FINISHES.
- SITE VISITS AND REVIEWS BY THE DESIGN ENGINEER OR REPRESENTATIVE ARE INTENDED FOR THE PURPOSE OF ASCERTAINING GENERAL CONFORMANCE WITH THE DESIGN CONCEPT. THE SITE REVIEWS DO NOT MEAN THAT THE DESIGN ENGINEER HAS SEEN ALL OF THE CONSTRUCTION OR CONSTRUCTION PROCEDURES.
- REVIEW OF CONSTRUCTION BY THE DESIGN ENGINEER DOES NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY FOR ERRORS AND OMISSIONS AND FOR MEETING ALL THE REQUIREMENTS OF THE CONSTRUCTION AND CONTRACT DOCUMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY COSTS ASSOCIATED WITH THE REMOVAL OF FINISHES REQUIRED FOR INSPECTIONS OR TESTING THAT IS COVERED BEFORE INSPECTIONS ARE COMPLETED.
- SUBSTITUTIONS FROM SPECIFIED PRODUCTS AND MATERIALS MUST BE APPROVED BY THE ENGINEER PRIOR TO ORDERING OF MATERIALS. THE CONTRACTOR SHALL REIMBURSE ALL CONSULTANT FOR ADDITIONAL COSTS INCURRED AS A RESULT OF REVIEWING ANY CHANGES MADE TO THE CONTRACT DOCUMENTS.
- IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO DESIGN ALL SHORING AND TEMPORARY BRACING PER O.REG 213/91 AND THE CONTRACTOR SHALL RETAIN AN ENGINEER AS REQUIRED.

STEEL DECK NOTES

- GUTTERS & DOWNSPOUTS ARE DESIGNED BY OTHERS; STRUCTURAL DESIGN ASSUMED NO WATER STORAGE ON CANOPY!
- STANDING SEAM ROOF DECK SHALL BE P16 3"x16"-20ga STEEL PANELS BY METALWORKS OR APPROVED EQUIVALENT.
- STANDING SEAM ROOF DECK SHALL HAVE A MINIMUM OF 3 SPANS AND SHALL BE CONNECTED TO STRUCTURAL STEEL BY 12ga. PANEL CLIPS BY METALWORKS AT 16" O.C.
- MAXIMUM SLS LOAD CAPACITY OF THE 12ga. PANEL CLIP BY METALWORKS IS 1.2 KIP AS PER CERNY & IVEY ENGINEERS INC., ENGINEERING REPORT NO. 23215 - DATED JULY 14, 2003. PROVIDE SUFFICIENT NUMBER OF PANEL CLIPS AS TO NOT EXCEED THE ABOVE LOAD CAPACITY.

STRUCTURAL STEEL

- CONFORM TO THE REQUIREMENTS ON CAN/CSA S16-14.
- GENERAL REQUIREMENTS FOR ROLLED OR WELDED STRUCTURAL QUALITY STEEL / STRUCTURAL QUALITY STEEL:
 - STRUCTURAL WIDE FLANGE AND WELDED WIDE FLANGE SHAPES TO CONFORM TO CAN/CSA-G40.20/G40.21, GRADE 350W.
 - ANGLES, CHANNELS, AND PLATES TO CONFORM TO CAN/CSA-G40.20/G40.21, GRADE 300W.
 - HOLLOW STRUCTURAL SECTIONS TO CONFORM TO CAN/CSA-G40.20/G40.21, GRADE 350W, CLASS H.
 - RODS AND ANCHOR BOLTS TO CONFORM TO G40.21-300W.
 - STRUCTURAL BOLTS AND NUTS TO CONFORM TO ASTM A325M, WASHERS TO CONFORM TO ASTM F436M.
- CISC CANADIAN INSTITUTE OF STEEL CONSTRUCTION HANDBOOK OF STEEL CONSTRUCTION, 11TH EDITION
- CODE OF STANDARD PRACTICE FOR STRUCTURAL STEEL
- W47.1-09 (R2014) CERTIFICATION OF COMPANIES FOR FUSION WELDING OF STEEL
- CSA W59.1-13 WELDED STEEL CONSTRUCTION (METAL ARC WELDING). ELECTRODES TO BE E49XX.



KEY MAP

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PROPOSED GAS CANOPY

1129 HIGHWAY #5
HAMILTON, ON.

DRAWING TITLE

CANOPY FRAMING PLAN
CROSS SECTION

SCALE	AS NOTED
DATE	02DEC20
DRAWN	JA
DESIGNED	ZL
CHECKED	ZL



PROJECT NO.

20-247

SHEET NO.

S3



APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS
Registered Owners(s)	RAJNEET GILL 1541270 ONTARIO INC.	
Applicant(s)*	THOMAS LUKACS ZOLTAN ENGINEERING INC.	
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:
extension of legal non-conforming use (gas station)
5. Why it is not possible to comply with the provisions of the By-law?
it is an existing gas station
6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):
1129 HIGHWAY #5, FLAMBOROUGH (HAMILTON)
7. PREVIOUS USE OF PROPERTY
- | | | | | | |
|--------------|--------------------------|------------|--------------------------|------------|-------------------------------------|
| Residential | ☐ | Industrial | ☐ | Commercial | ☒ |
| Agricultural | ☐ | Vacant | ☐ | | |
- Other _____
- 8.1 If Industrial or Commercial, specify use gas station and auto repair garage
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes ☐ No ☒ Unknown ☐
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes ☒ No ☐ Unknown ☐
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes ☒ No ☐ Unknown ☐
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes ☒ No ☐ Unknown ☐
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes ☐ No ☐ Unknown ☒
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes ☐ No ☒ Unknown ☐
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes ☐ No ☒ Unknown ☐
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
Yes ☐ No ☒ Unknown ☐

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☒ Unknown ☐

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?
information provided by owner

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☒

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Jan 21/21
Date


Signature Property Owner

RAJNEET GILL
Print Name of Owner

10. Dimensions of lands affected:

Frontage	<u>91.5 m</u>
Depth	<u>58.7 m</u>
Area	<u>5371 m²</u>
Width of street	<u>7.5 m</u>

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

76 m² gas canopy, 5.5 m height
distance from front is 1 m, rear is 47 m and side 26 m

Proposed

148 m² gas canopy, 5.5 m height
distance from front is 1 m, rear is 45.5 m and side 24 m

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

76 m² gas canopy, 5.5 m height
distance from front is 1 m, rear is 47 m and side 26 m

Proposed:

148 m² gas canopy, 5.5 m height
distance from front is 1 m, rear is 45.5 m and side 24 m

13. Date of acquisition of subject lands:

14. Date of construction of all buildings and structures on subject lands:
more than 20 years ago

15. Existing uses of the subject property:
Gas station, C-store, auto repair garage
16. Existing uses of abutting properties:
tree nursery
17. Length of time the existing uses of the subject property have continued:
more than 20 years
18. Municipal services available: (check the appropriate space or spaces)
Water _____ Connected _____
Sanitary Sewer _____ Connected _____
Storm Sewers _____
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
21. Has the owner previously applied for relief in respect of the subject property?
☐ Yes ☒ No
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
☐ Yes ☒ No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.