

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-21:36

APPLICANTS: Webb Planning on behalf of the owner HWCDSB

SUBJECT PROPERTY: Municipal address **20 East Ave. S., Hamilton**

ZONING BY-LAW: Zoning By-law 05-200, as Amended by By-law 16-265

ZONING: "I1 and 292" (Neighbourhood Institutional) district

PROPOSAL: To permit the construction of a new 3 Storey Educational Establishment (St. Patrick Elementary School) notwithstanding that;

1. A maximum building height of 13.7 shall be provided instead of the maximum building height permitted under Subsection 8.1.3.2 b); and;

2. Parking shall be provided within 3.0 m of King Street West street line instead of the regulation in the By-Law, which states that parking spaces and aisles giving direct access to abutting parking spaces, excluding driveways extending directly from the street, shall not be located within 3.0 m of a street line; and

3. No planting strip shall be provided abutting King Street West and East Avenue South instead of the requirement in the By-Law, which states that parking spaces and aisles giving direct access to abutting parking spaces, excluding driveways extending directly from the street, shall provide a 3.0m wide planting strip being required and permanently maintained between the street line and the said parking spaces or aisles; and

4. A minimum aisle width of 3.0 m shall be provided abutting Victoria Street instead of the minimum required 6.0 m aisle width.

Notes:

These variances are necessary to facilitate Site Plan Application DA-19-071.

This application will be heard by the Committee as shown below:

DATE: Thursday, March 4th, 2021
TIME: 2:15 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

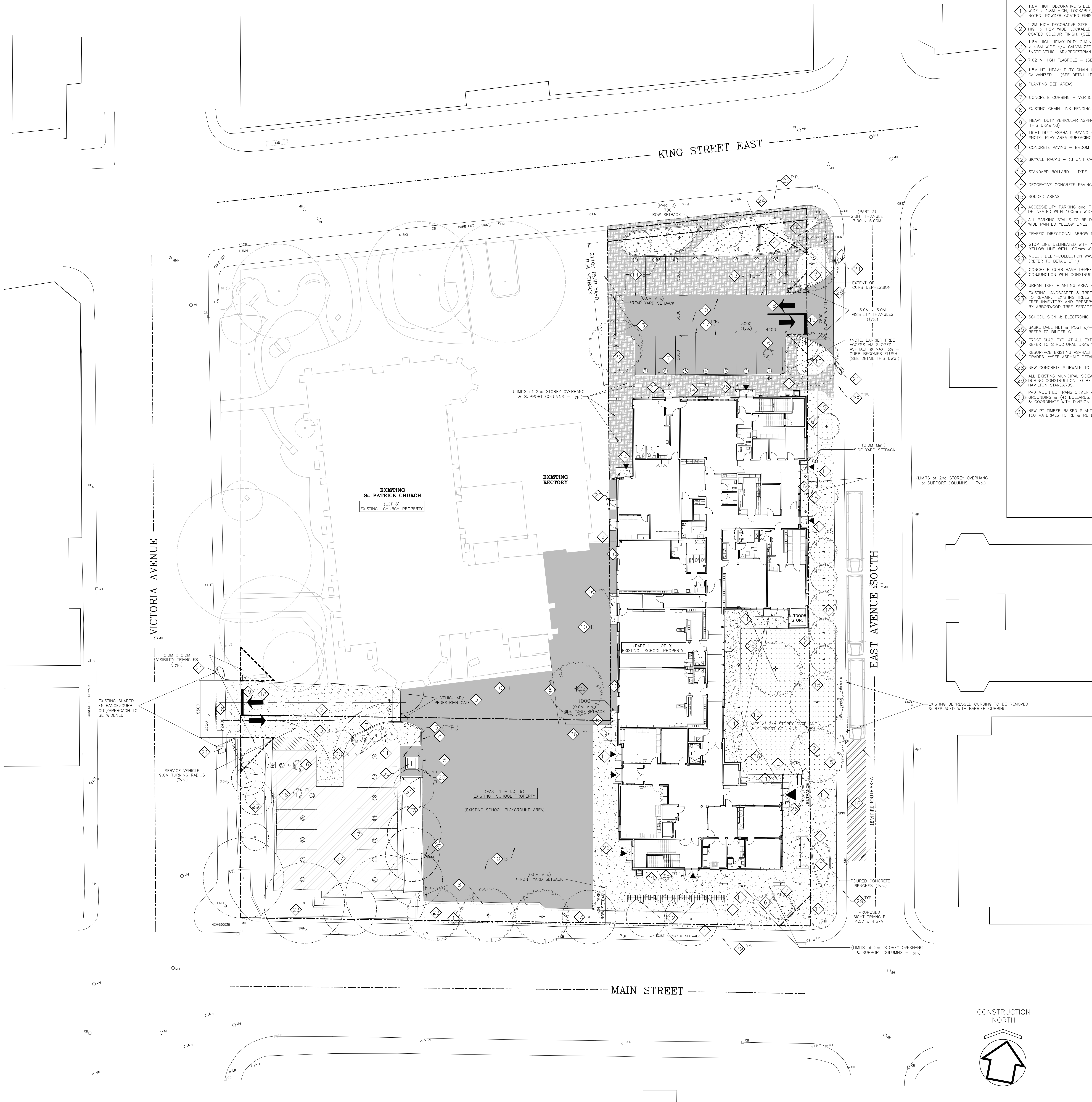
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: February 16th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



CONSTRUCTION NOTES:

- 1.8M HIGH DECORATIVE STEEL WIRE FENCE c/w 1.2M WIDE x 1.8M HIGH LOCKABLE METAL SWING GATES AS NOTED. POWDER COATED FINISH. (SEE DETAIL LP-1)
- 1.2M HIGH DECORATIVE STEEL WIRE FENCE c/w ONE 1.2M HIGH x 1.2M WIDE LOCKABLE METAL SWING GATE. POWDER COATED COLOUR FINISH. (SEE DETAIL LP-1)
- 1.8M HIGH HEAVY DUTY CHAIN LINK FENCING GATE, LOCKABLE x 4.5M WIDE c/w GALVANIZED FINISH. (SEE DETAIL LP-1)
- 7.62 M HIGH FLAGPOLE - (SEE DETAIL THIS DRAWING)
- 1.5M HT. HEAVY DUTY CHAIN LINK FENCING & GATES, GALVANIZED - (SEE DETAIL THIS DRAWING)
- PLANTING BED AREAS
- CONCRETE CURBING - VERTICAL - (SEE DETAIL THIS DWG.)
- EXISTING CHAIN LINK FENCING
- HEAVY DUTY VEHICULAR ASPHALT PAVING - (SEE DETAIL THIS DRAWING)
- LIGHT DUTY ASPHALT PAVING - (SEE DETAIL THIS DRAWING) *NOTE: PLAY AREA SURFACING (108)
- CONCRETE PAVING - BROOM FINISH. (SEE DETAIL THIS DWG.)
- BICYCLE RACKS - (8 UNIT CAPACITY) X 6 (SEE DETAIL LP-1)
- STANDARD BOLLARD - TYPE 1 - (SEE DETAIL THIS DWG.)
- DECORATIVE CONCRETE PAVING - (SEE DETAIL THIS DWG.)
- SODDED AREAS
- ACCESSIBILITY PARKING AND FIRE ROUTE AREA DELINEATED WITH 100mm WIDE LINES PAINTED YELLOW
- ALL PARKING STALLS TO BE DELINEATED WITH 100mm WIDE PAINTED YELLOW LINES
- TRAFFIC DIRECTIONAL ARROW DELINEATED YELLOW PAINT
- STOP LINE DELINEATED WITH 400mm WIDE PAINTED YELLOW LINE WITH 100mm WIDE LANE MARKINGS
- WOLK DEEP-COLLECTION WASTE MANAGEMENT SYSTEM. (REFER TO DETAIL LP-1)
- CONCRETE CURB RAMP DEPRESSION - TO BE READ IN CONJUNCTION WITH CONSTRUCTION NOTE #7.
- URBAN TREE PLANTING AREA - (REFER TO DETAIL LP-1)
- EXISTING UNDEGRADED & TREE PLANTING AREAS TO REMAIN. EXISTING TREES TO BE PROTECTED. REFER TO TREE INVENTORY AND PRESERVATION REPORT AS PREPARED BY ARBORWOOD TREE SERVICES
- SCHOOL SIGN & ELECTRONIC MESSAGE BOARD
- BASKETBALL NET & POST c/w CONC. FOOTING. REFER TO BINDER C.
- FROST SLAB, TYP. AT ALL EXTERIOR ENTRANCES. REFER TO STRUCTURAL DRAWINGS
- RESURFACE EXISTING ASPHALT PARKING, MATCH EXIST. GRADES. **SEE ASPHALT DETAIL NOTES THIS DRAWING.
- NEW CONCRETE SIDEWALK TO CITY OF HAMILTON STANDARDS
- ALL EXISTING MUNICIPAL SIDEWALK AND/OR CURB DAMAGED DURING CONSTRUCTION TO BE REPLACED TO CITY OF HAMILTON STANDARDS
- POD MOUNTED TRANSFORMER c/w CONCRETE VAULT, GROUNDING & (4) BOLLARDS REFER TO ELECTRICAL DWGS. & COORDINATE WITH DIVISION 15
- NEW PT-TIMBER RASPED PLANTER RETAINING WALL c/w 150 x 150 MATERIALS TO RE & RE EXISTING PLANTER.

GENERAL NOTES:

1. ALL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICIPAL SERVICES FOR APPROACH SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF PLANNING AND CHIEF PLANNER, PLANNING & ECONOMIC DEVELOPMENT DEPARTMENT.
2. FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO THE SATISFACTION OF THE CITY OF HAMILTON AND AT THE EXPENSE OF THE OWNER.
3. MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS OR MINUS 7.5M UNLESS OTHERWISE STATED.
4. ALL DRIVEWAYS FROM PROPERTY LINES FOR THE FIRST 7.5M SHALL BE WITHIN 5% MAXIMUM GRADE. THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN 10% MAXIMUM GRADES.
5. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS & APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - BUILDING PERMIT
 - SEWER AND WATER PERMITS
 - ROAD CUT PERMITS
 - RELOCATION OF SERVICES
 - APPROACH APPROVAL PERMITS
 - ENCROACHMENT AGREEMENTS (IF REQUIRED)
 - COMMITTEE OF ADJUSTMENT
6. ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEVARD RESTORED WITH 500 AT THE OWNER'S EXPENSE TO THE SATISFACTION OF THE GEOMATICS & CORRIDOR MANAGEMENT SECTION, PUBLIC WORKS DEPARTMENT.
7. FOR VISIBILITY TRIANGLES AT THE VEHICULAR ACCESS POINTS, THE FOLLOWING NOTE TO BE PROVIDED:
"5.0 METRE BY 5.0 METRE VISIBILITY TRIANGLES IN WHICH THE MAXIMUM HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT TO EXCEED A HEIGHT OF 0.70 METRES ABOVE THE CORRESPONDING PERPENDICULAR CENTRELINE ELEVATION OF THE ADJACENT STREET"
8. PROPOSED SIGNAGE SHALL CONFORM TO THE CITY'S SIGN BY-LAW No. 10 - 197.
9. LIGHTING MUST BE DIRECTED ON SITE AND MUST NOT SPILL OVER TO ADJACENT PROPERTIES OR STREETS.
10. THIS PROPERTY IS ELIGIBLE FOR MUNICIPAL RECYCLING AND ORGANICS COLLECTION SUBJECT TO THE SPECIFICATIONS OUTLINED IN THE SERVICE AGREEMENT BETWEEN HWCSB AND THE CITY.

UNDERTAKING FILE No. DA-19-071

RE: 20 EAST AVENUE SOUTH, HAMILTON

- (W) Hamilton-Wentworth Catholic District School Board, the owner(s) of the land, hereby undertake and agree without reservation,
- (a) to comply with all the content of this plan and drawing and not to vary therefrom;
- (b) to perform the facilities, works or matters mentioned in Section 41(7)(c) of the said Act, shown in this plan and drawing(s) in accordance with the conditions of approval as set out in the Letter of Approval dated _____;
- (c) to maintain to the satisfaction of the City and at my (our) sole risk and expense, all of the facilities, works or matters mentioned in Section 41(7)(c) of the said Act, shown in this plan and drawing, including removal of snow from access ramps and driveways, parking and loading areas and walkways and;
- (d) Notwithstanding current surface conditions, the property have been determined to be, are of archaeological potential. Although an archaeological assessment is not required by the City of Hamilton, the proponent is cautioned that during development activities, they should be aware of the potential for archaeological resources on the property. The Ontario Ministry of Tourism, Culture and Sport (MTCSS) should be notified immediately (416-314-7743), in the event that human remains are encountered during construction, the proponent should immediately contact MTCSS and the Registrar or Duty Registrar of the Cemetery Regulation Unit of the Ministry of Small Business and Customer Services (416-326-8392)

Dated this _____ day of _____, 20____
Witness (signature) _____ Owner(s) (signature) _____ (seal)
Witness (print) _____ Owner (print) _____
Address of Witness _____

SITE PLAN STATISTICS/DEVELOPMENT DETAILS

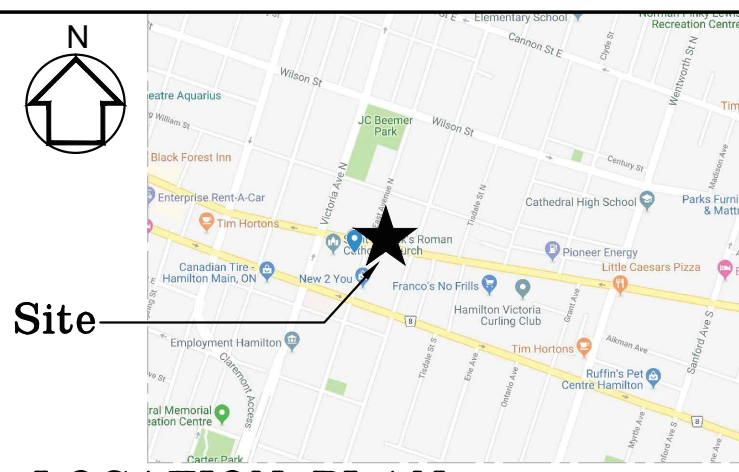
ITEM	
ZONING	11, 292 (INSTITUTIONAL) AS PER BY-LAW No. 05-200
NET LOT AREA	4,695.87 SM (square metres) (0.46ha)
BUILDING COVERAGE (MAXIMUM)	1,596 SM = 33.99%
BUILDING HEIGHT (MAXIMUM PERMITTED)	10.5 M (MAX. PROPOSED) 13.7 M
STORIES (MAXIMUM)	3
GROUND FLOOR AREA	1,596 SM
SECOND FLOOR AREA	1,811 SM
THIRD FLOOR AREA	1,304 SM
MECHANICAL ROOM AREA 50M	
TOTAL GROSS FLOOR AREA	4,711 SM
MINIMUM FRONT YARD REQUIRED (0.0M)	PROVIDED (S) = 5.33M
MINIMUM SIDE YARDS REQUIRED (0.0M)	PROVIDED (S) = 0.08M
MINIMUM REAR YARD REQUIRED (0.0M)	PROVIDED (R) = 1.2M
MINIMUM REAR YARD REQUIRED (0.0M)	PROVIDED (N) = 21.1M
PARKING SPACES REQUIRED FOR SCHOOL (X 1.25 PER CLASSROOM)	(22) X 1.25 = 28
PARKING SPACES REQUIRED FOR DAYCARE	0
PARKING SPACES PROVIDED	28
BARRIER FREE PARKING SPACES REQUIRED (2 / 100 SPACES AT 4.4M W x 5.8M L EACH)	1
BARRIER FREE PARKING SPACES PROVIDED (4.4M W x 5.8M L EACH) (MINIMUM)	3
LOADING SPACE REQUIRED AND PROVIDED	0
BICYCLE PARKING REQUIRED (2 PER CLASSROOM)	22 X 2 = 44
BICYCLE PARKING PROVIDED (*Short Term only)	48

TRAFFIC/FIRE ROUTE SIGNAGE

- BS BARRIER FREE DESIGNATED PARKING SPACE SIGN CITY OF HAMILTON BY-LAW No. 01-220
- NS FIRE ROUTE "NO STOPPING" c/w DIRECTIONAL ARROW(S) SIGN CITY OF HAMILTON BY-LAW No. 01-217
- SS STOP (R&1) REGULATORY SIGN 60cm x 60cm
- ALL REGULATORY SIGNS TO CURRENT ONTARIO TRAFFIC MANUAL STANDARD.
 - ALL SIGNS IN 18 GAUGE GALVANIZED STEEL ON "U" CHANNEL GALVANIZED STEEL POSTS.
 - ALL SIGNAGE TO BE INSTALLED/MAINTAINED ON SCHOOL PROPERTY.
 - TRAFFIC SIGNAGE SHALL COMPLY WITH THE STANDARDS AND SPECIFICATIONS of the City of Hamilton SIGN BY-LAW No. 06-243.

GENERAL NOTES:

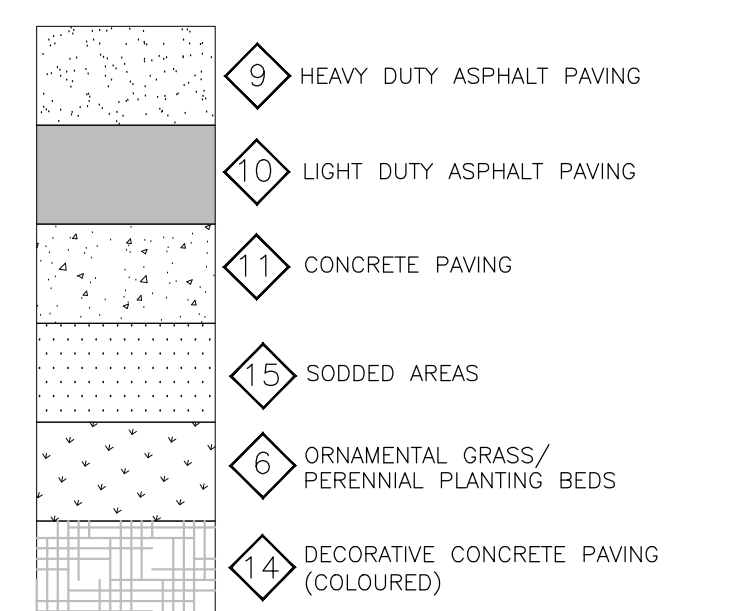
- *REFER TO SURVEY PLAN 62R - 21407 AS PREPARED BY A.T. MCMILLAN LIMITED - 69 JOHN STREET SOUTH, SUITE 230, HAMILTON, ON - L8N 2B9 (905-527-8050) DATED: JANUARY 24, 2019 AND DEPOSITED FEBRUARY 03, 2020.
- *THIS PLAN TO READ IN CONJUNCTION WITH ALL OTHER RELATED ARCHITECTURAL, ENGINEERING AND LANDSCAPE ARCHITECTURAL PLANS, CONSTRUCTION DETAILS, SUPPLEMENTAL INFORMATION AND SPECIFICATIONS.



LOCATION PLAN

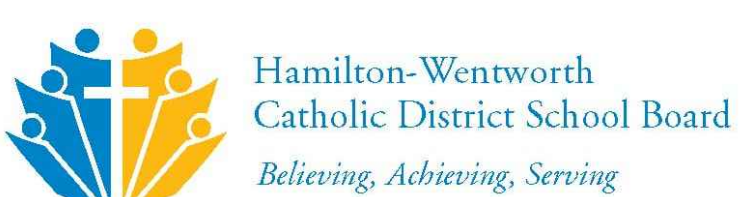
LEGEND

- PROPERTY LINE
- EXISTING CHAIN LINK FENCE LINE
- DECORATIVE ARCHITECTURAL WIRE FENCE
- POLE MOUNTED LIGHT FIXTURE
- BUILDING ENTRANCE LOCATION
- PAINTED DIRECTIONAL TRAFFIC ARROW
- PAINTED BARRIER FREE SYMBOL IN YELLOW
- BOLLARD TYPE 1
- EXISTING TREES
- PROPOSED NEW TREE PLANTING
- LIMITS OF 2nd STOREY OVERHANG
- 2nd STOREY SUPPORT COLUMNS



NO.	DATE	DESCRIPTION
4.	18/01/21	ISSUED/REVISED - 4th SUBMISSION
3.	21/09/20	ISSUED/REVISED - 3rd SUBMISSION
2.	06/02/20	ISSUED/REVISED - 2nd SUBMISSION
1.	06/03/19	ISSUED FOR SITE PLAN APPLICATION

REVISIONS



1024 BATHURST STREET, TEL: (905) 308-7771 BURLINGTON, ONTARIO L7T 1G2 FAX: (905) 308-7773

ST. PATRICK CATHOLIC ELEMENTARY SCHOOL

20 EAST AVENUE SOUTH HAMILTON ONTARIO

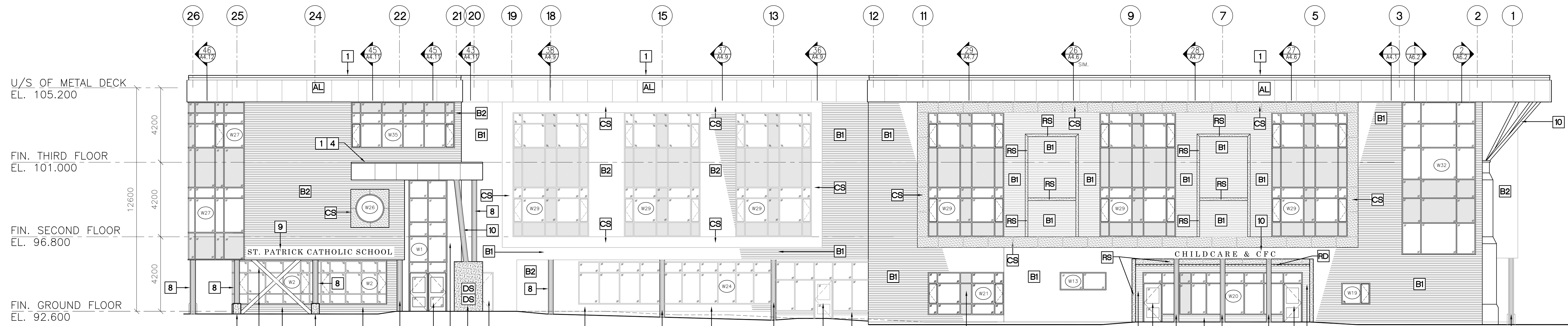
(File No: DA-19-071)

SITE PLAN

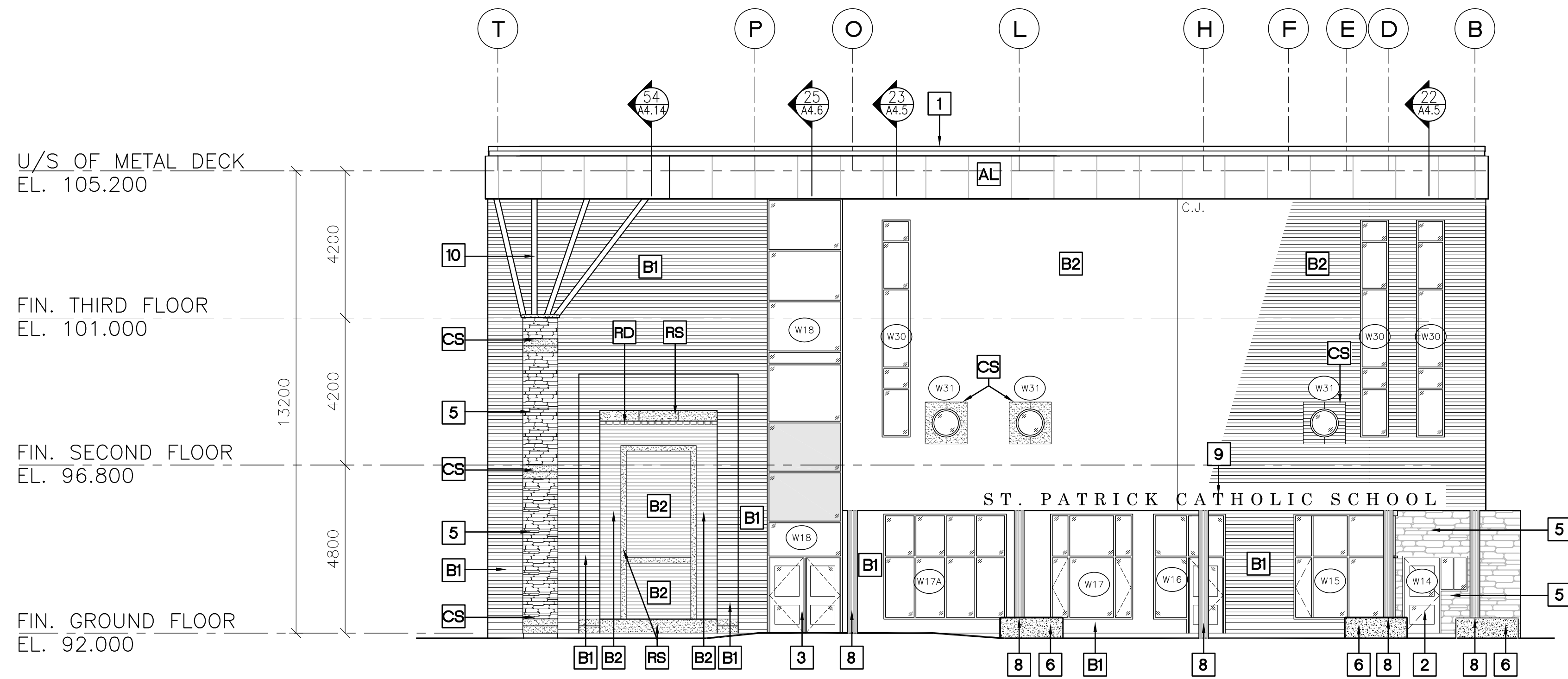
SCALE	DRAWN	PROJECT No.
1 : 200	JdC	118806
DATE	CHECKED	DRAWING No.
MARCH 6, 2019	AVS	SP.1

FILENAME: C:\Work\118806 ST. PATRICK CATHOLIC DISTRICT SCHOOL.dwg
DATE: 2020-12-01 14:20:00
DRAWN: LMR
CHECKED: AVS
SCALE: 1:100

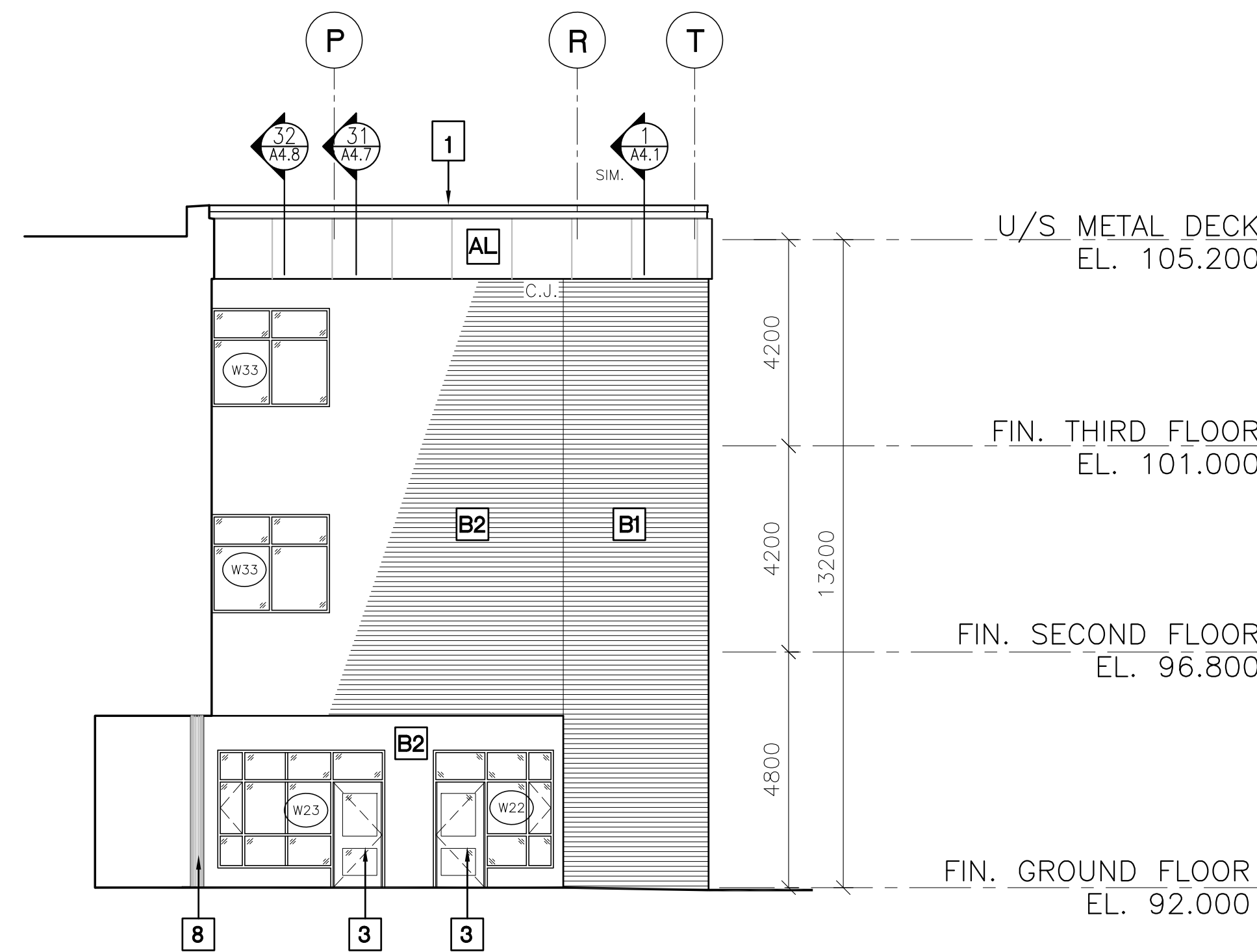
ARCH E 36348



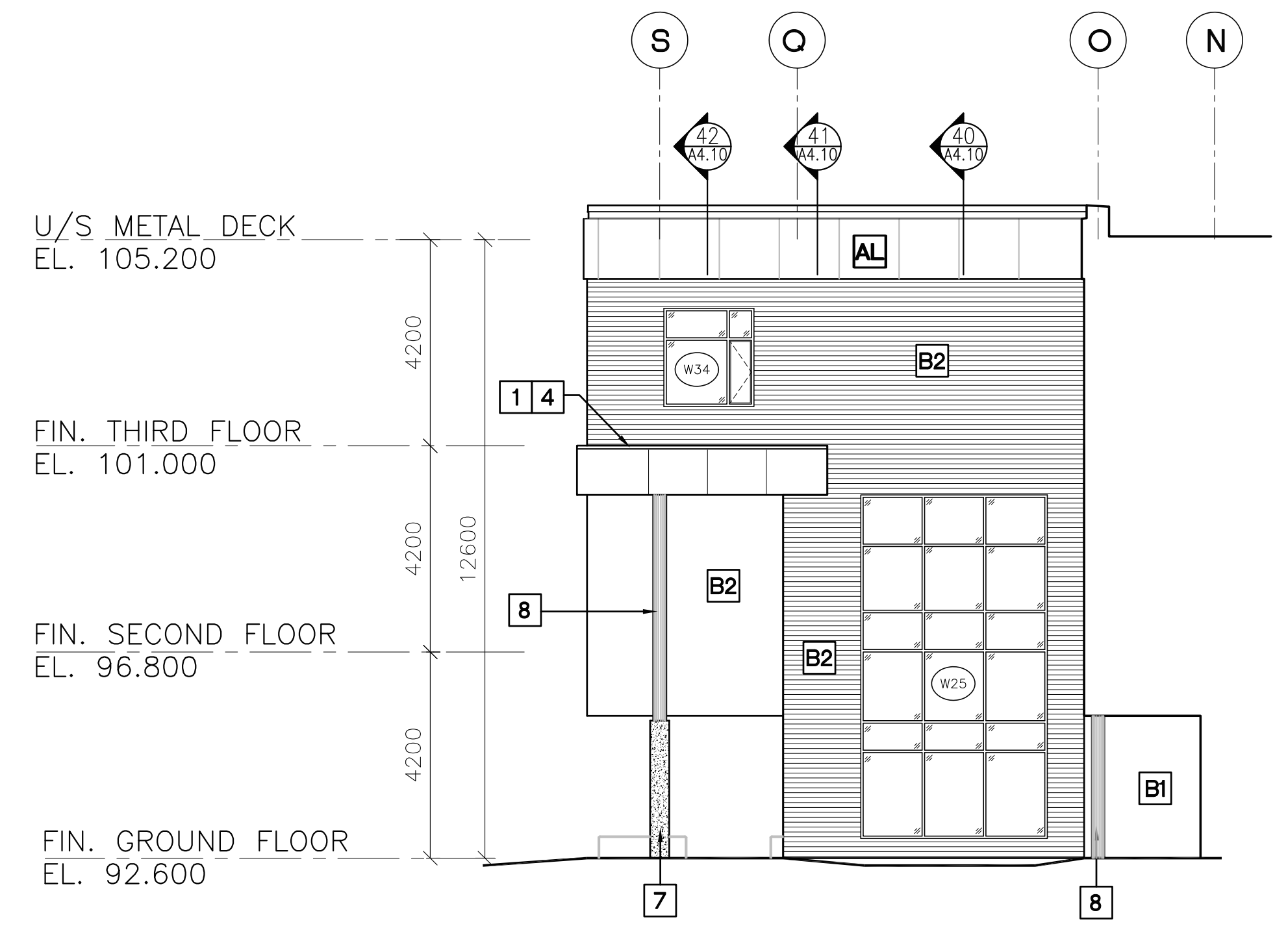
EAST ELEVATION



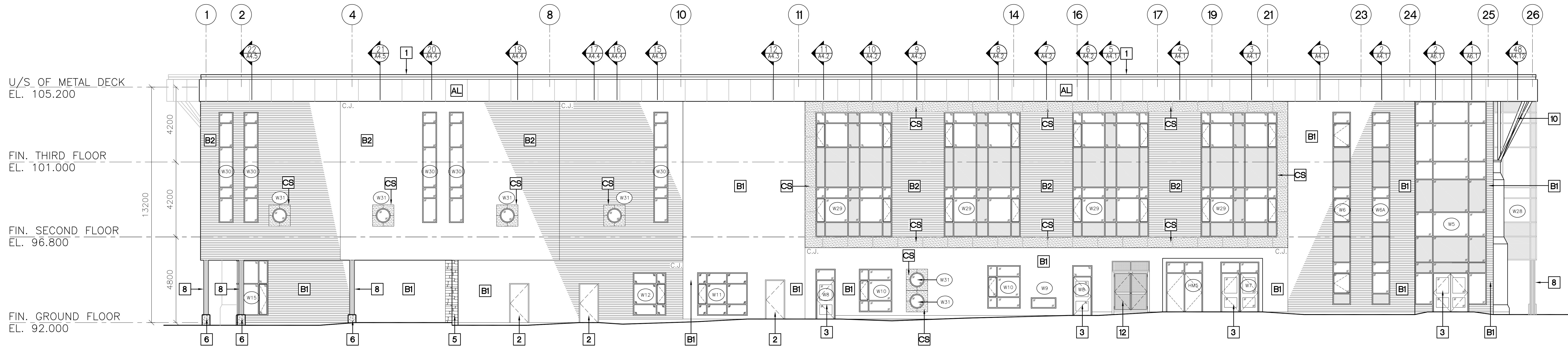
NORTH ELEVATION



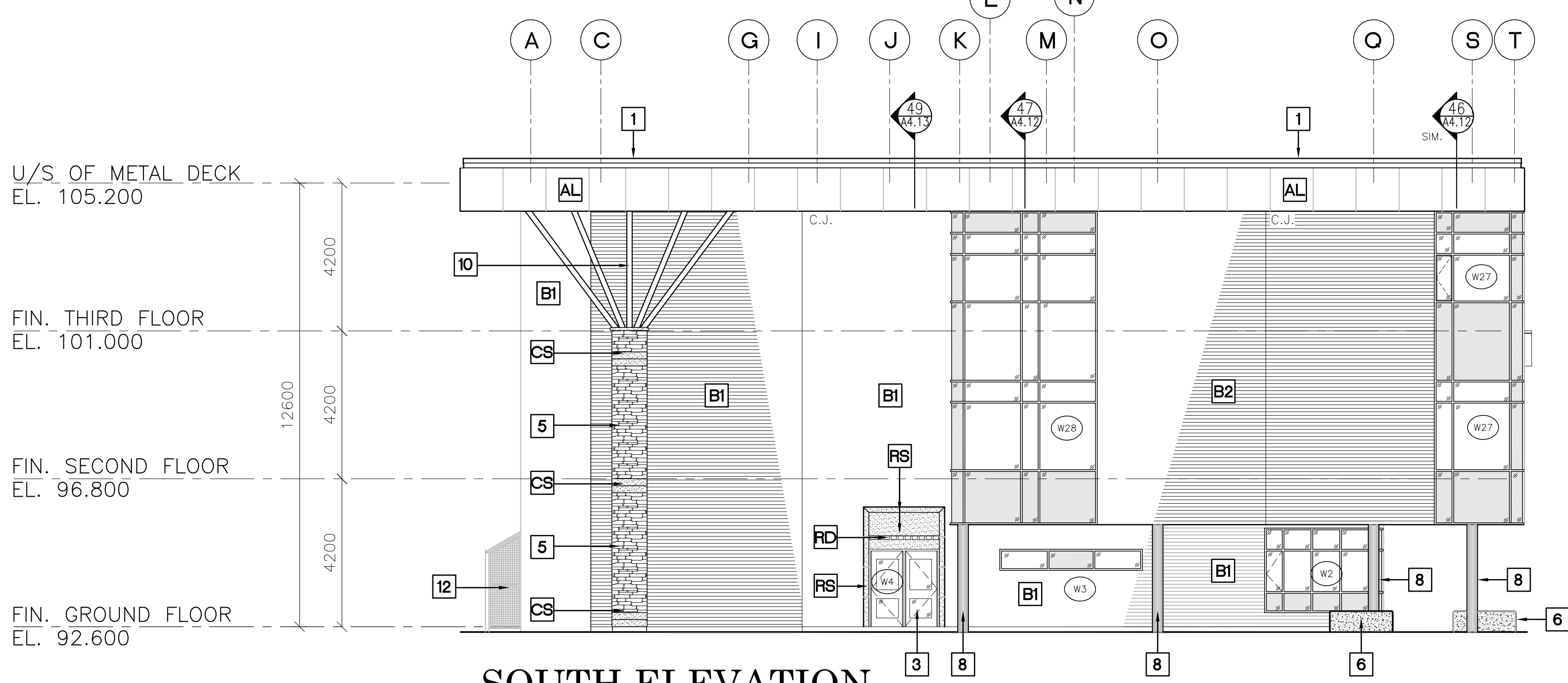
PART NORTH ELEVATION



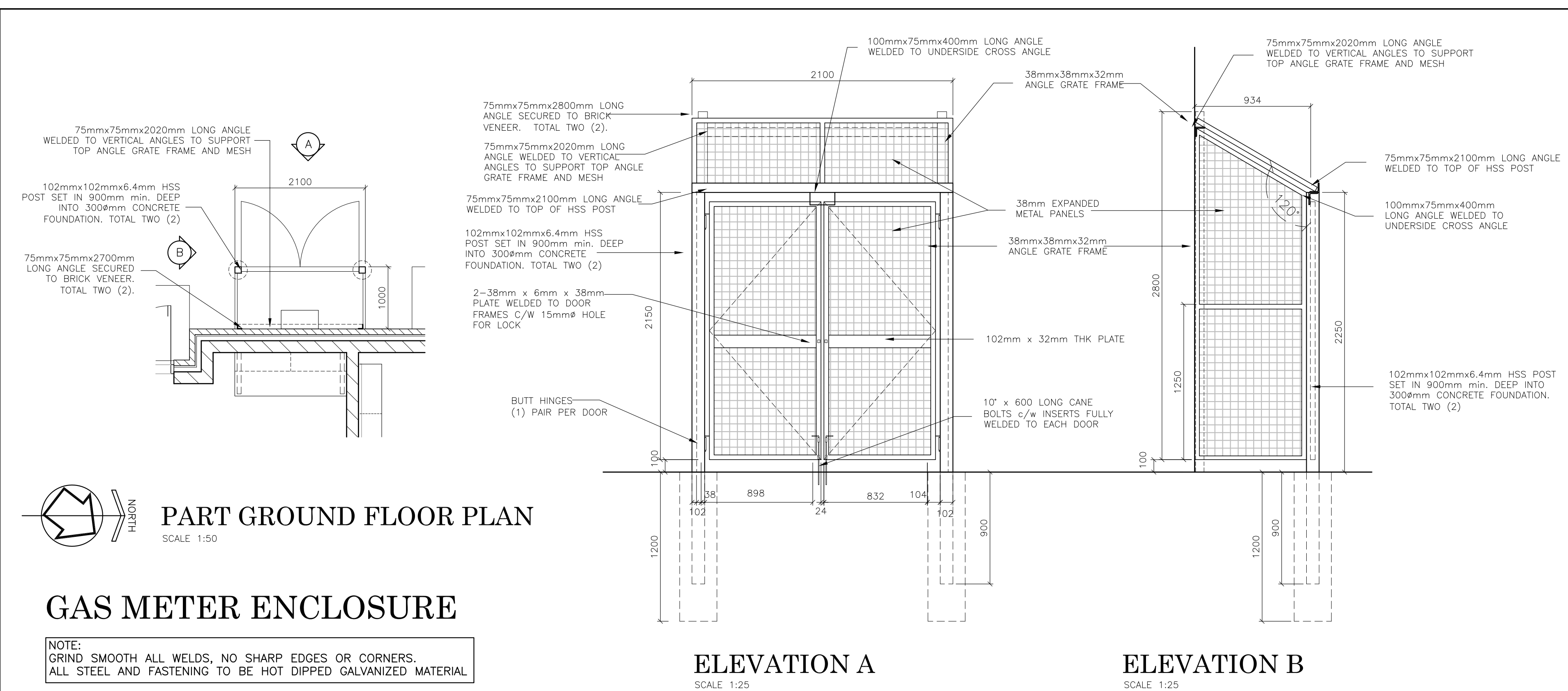
PART SOUTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



GENERAL NOTES:

- CONTROL JOINTS IN BRICK VENEER TO BE AT A MAXIMUM 6000 CENTRES. GENERAL CONTRACTOR TO VERIFY FINAL LOCATIONS WITH ARCHITECT.
- REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ALL RELATED WORK INCLUDING DOWNES AND GRILLES.
- WALL MOUNTED LIGHT FIXTURES, PROGRAM BELLS, SPEAKERS/HORNES AND ALL OTHER WALL MOUNTED ITEMS SHOWN FOR REFERENCE ONLY. CONSULTANTS TO VERIFY FINAL LOCATIONS AND MOUNTING HEIGHTS.

LEGEND:

- B1 BR-1: BRICK TYPE 1
- B2 BR-2: BRICK TYPE 2
- CS CAST STONE
- MWP -1 METAL WALL PANELS
- AL COMPOSITE WALL PANELS
- RS RECLAIMED STONE
- RD RECLAIMED DENTILS
- DS RECLAIMED DATE STONE
- W WINDOW TYPE
- 1 PREFINISHED METAL FLASHING
- 2 HOLLOW METAL DOOR & FRAME/ENTRANCE SCREEN
- 3 ALUMINUM DOOR & FRAME ENTRANCE SCREEN
- 4 CANOPY
- 5 STONE
- 6 EXPOSED ARCHITECTURAL FINISHED CONCRETE (AFC) COLUMN PIER c/w CHAMFERED EDGES
- 7 REINFORCED ARCHITECTURAL FINISHED CONCRETE WALL
- 8 PAINTED STEEL COLUMN
- 9 SCHOOL SIGNAGE
- 10 PAINTED HSS ROOF SUPPORTS
- 11 PAINTED HSS CROSS BRACING
- 12 GAS METER ENCLOSURE
- C.J. CONTROL JOINT

NOTE: REFER TO ARCHITECTURAL SPECIFICATIONS FOR DESCRIPTION OF MATERIALS

No.	DATE	DESCRIPTION
1.	12/01/20	ISSUED FOR TENDER

REVISIONS



SVEDAS / ARCHITECTS INC.

1000 SHEPPARD AVE. E. SUITE 100
SCARBOROUGH, ONTARIO M1S 1T2
TEL: (905) 308-7771 FAX: (905) 308-7773

**ST. PATRICK CATHOLIC
ELEMENTARY SCHOOL**

20 EAST AVENUE SOUTH
HAMILTON ONTARIO

BUILDING ELEVATIONS

SCALE 1:100	DRAWN LMR	PROJECT No. 118806
DATE DEC. 1, 2020	CHECKED AVS	DRAWING No. A3.1

**Committee of Adjustment**

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS	
Registered Owners(s)	Hamilton Wentworth Catholic District School Board		Phone: E-mail:
Applicant(s)*	Hamilton Wentworth Catholic District School Board	Same as above	Phone: E-mail:
Agent or Solicitor	WEBB Planning Consultants		Phone: E-mail:

Note: Unless otherwise requested all communications will be sent to the agent, if any.

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

To permit a building height of 13.7 metres;

To permit parking within 3.0 metres of King Street West street line and to permit no planting strip between parking spaces and the King Street West street line;

To permit a minimum drive aisle width of less than 6.0 metres for the two way traffic entrance from Victoria Street, access is shared with neighbour

5. Why it is not possible to comply with the provisions of the By-law?

Proposal is to demolish an existing 3 storey elementary school and replace with a new 3 storey school, site area is constrained necessitating relief from setbacks and planning strips, site access from Victoria Street is shared with the abutting owner - St. Patrick Roman Catholic Church

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

20 East Avenue South

Lot 9, Registrars Compiled Plan 1484

Parts 1, 4, 5 & 6 of Reference Plan 62R-21407

7. PREVIOUS USE OF PROPERTY

Residential ☐ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☐

Other Institutional - Catholic Elementary School

8.1 If Industrial or Commercial, specify use

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☐ Unknown ☒

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☒ Unknown ☐

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Site inspection, discussion with owner

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☐

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Jan. 19, 2021

Date

Signature Property Owner

Paola Pace Gubekjian / Patrick J. Daly

Print Name of Owner

10. Dimensions of lands affected:

Frontage	King Street - 29.7 m
Depth	99.6 m (irregular)
Area	0.45 ha
Width of street	East Ave.: 20.1, Main: 20.2 King: 20.3, Victoria: 24.4

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

Existing building is to be demolished

Proposed

Ground Floor Area: 1,596 SM, Total GFA: 4,711 SM, Height: 3 storeys and 13.7m, Dimensions of 73 x 28 m

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Existing building is to be demolished

13. Date of acquisition of subject lands:
unknown - in excess of 50 years
-
14. Date of construction of all buildings and structures on subject lands:
Unknown
-
15. Existing uses of the subject property:
Existing Catholic Elementary School to be demolished and replaced with new school
16. Existing uses of abutting properties:
St. Patrick Roman Catholic Church, mix of commercial uses
17. Length of time the existing uses of the subject property have continued:
18. Municipal services available: (check the appropriate space or spaces)
Water yes Connected yes
Sanitary Sewer yes Connected yes
Storm Sewers yes
19. Present Official Plan/Secondary Plan provisions applying to the land:
UHOP Schedule E-1: Mixed Use Medium Density
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
Zoning By-law 05-200, Zone I1, 292, Neighbourhood Institutional
21. Has the owner previously applied for relief in respect of the subject property?
☐ Yes ☒ No
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
☐ Yes ☒ No
23. Additional Information
Refer to Cover Letter for additional information in support of the proposal
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.



January 22, 2021

City of Hamilton
Planning & Economic Development Department
Committee of Adjustment
71 Main Street West
Hamilton ON L8P 4Y5

Attention: Ms. Jamila Sheffield
Secretary Treasurer

Dear Ms. Sheffield,

Re: Application for Minor Variance – Hamilton Wentworth Catholic District School Board
20 East Avenue Street, City of Hamilton

WEBB Planning Consultants are retained by the Hamilton Wentworth Catholic District School Board (HWCDSD) to co-ordinate the municipal planning approvals required to facilitate the redevelopment of the St. Patrick Catholic Elementary School located at 20 East Avenue Street, City of Hamilton.

As illustrated by the accompanying plans, the HWCDSD are proposing to demolish the existing 3 storey St. Patrick Elementary School and construct a new 3 storey building that will accommodate a replacement school, child care centre, community family centre, community outreach kitchen, outdoor play grounds and on-site parking.

The City is presently finalizing the processing of the application for Site Plan Approval, City File No. DA-19-071. Through the review of the Site Plan, it has been confirmed that Variances are required from the current Regulations of the "I1" – Neighbourhood Institutional Zone and the Parking Regulations of Zoning By-law 05-200.

The required Variances are summarized as follows:

Whereas the "I1" permits a maximum building Height of 10.5 metres, the proposed building has a maximum height of 13.7 metres. While the building has the same height of 3 storeys compared to the existing building, the floor-to-floor measured heights are increased necessitating an increase in the measured height.

The additional Variances are required to regularize two existing conditions on the property – the surface parking located abutting King Street and the shared site access from Victoria Street.

Parking spaces are currently located immediately abutting King Street at the north east corner of the site. The spaces are being relocated to provide separation from the street edge but as a consequence of providing a road widening the parking spaces will be less

than 3.0 metres from the street line and the requirement for a 3.0 metre wide planting strip cannot be achieved. The Variance seeks relief from Regulations 5.1(v)(a) and 5.1(v)(b) to permit parking within 3.0 metres of the street line and a planting strip having a width of less than 3.0 metres.

The existing driveway connection on Victoria Street is presently shared with the abutting St. Patrick Roman Catholic Church. While the total width of the driveway (8.5 metres) exceeds the required width for a two way drive aisle, the driveway is generally centered on the property line with only 3.3 metres located on the property of the HWCDSB. Out of an abundance of caution to recognize the existing condition, the Variance seeks to acknowledge that an aisle width of 3.3 metres is provided on the subject property notwithstanding the requirement for an aisle width of 6.0 metres.

It is our opinion that the proposed Variances are appropriate for the proposed development of the lands. The Variances have been considered in the context of the four tests outlined by Section 45 (1) of the Planning Act and in all respects comply. The Variances for relief of the parking location, buffer strip and site access essentially recognize existing conditions and in our opinion are technical in nature and regularize existing development.

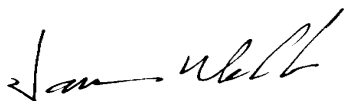
In keeping with the City's requirements, the application for Minor Variance is supported by the following materials and this cover letter:

- Application for Minor Variance;
- Application Fee of \$3,320.00 payable to the City of Hamilton;
- Site Plan and Elevations, prepared by Svedas Architects Inc.

We trust that you will find the enclosed materials complete and suitable for the purpose of processing this Application for Minor Variance. Please contact our office immediately should you have any questions or require additional information in support of this submission.

Yours truly,

WEBB Planning Consultants Inc.



James Webb, MCIP, RPP

cc: HWCDSB
SVEDAS Architects Inc.