

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: AN/A-21:42

APPLICANTS: Zoltan Engineering on behalf of the owner George Varga

SUBJECT PROPERTY: Municipal address **193 Colleen Cres., Ancaster**

ZONING BY-LAW: Zoning By-law 87-57, as Amended

ZONING: "ER" (Existing Residential) district

PROPOSAL: To permit the construction of a new 5.0m² addition and a new 53.4m² attached garage in the front yard of the existing detached dwelling notwithstanding that:

1. A front yard setback of 18.7m shall be provided instead of the maximum permitted front yard setback of 15.8m.

This application will be heard by the Committee as shown below:

DATE: Thursday, March 4th, 2021
TIME: 3:25 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: February 16th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

DESIGN INFORMATION

Hamilton
Ss = 1.5kPa
Sr = 0.4kPa
q(1/50) = 0.46kPa
SL = 1.23kPa

DL = 0.96kPa (20psf) - roof
DL = 0.72kPa (15psf) - floors
LL = 1.9kPa (40psf)

Energy Efficiency
OBC 2012 - SB-12, Table 3.1.1.11
HDD18 = 3460 (Zone 1)

PROJECT SCOPE

1. Remove existing roof and frame new roof to upgrade the exterior elevations.
2. New garage addition.
3. Renovate existing main floor.

ZONING STATISTICS - 193 COLLEEN CRESCENT, ANCASTER, ON.

EXISTING RESIDENTIAL "ER" ZONE (ANCASTER ZONING BY-LAW 87-57)			
	REQUIRED	PROPOSED	CONFORMS (Y/N)
LOT AREA	695 sq./m	1,316 sq./m	Y
LOT FRONTAGE	18m	25.72m	Y
LOT DEPTH	Varies	61m	Y
LOT COVERAGE	35% max.	20%	Y
FRONT YARD SETBACK	WITHIN 20% OF AVERAGE FRONT SETBACK OF 2 ADJACENT DWELLINGS (10.5m-15.8m)	18.7m	N
SIDE YARD SETBACK	10% OF THE LOT FRONTAGE TO A MAXIMUM SETBACK OF 5.0m FOR AN INTERIOR SIDE YARD (2.572m)	2.61m	Y
REAR YARD SETBACK	40 PERCENT OF THE LOT DEPTH FOR LOTS WITH A DEPTH GREATER THAN 50m (24.4m)	28.0m	Y
MAXIMUM HEIGHT	7.5m (ONE STOREY)	7.1m	Y
ATTACHED GARAGE PROJECTION	Max. 2.0m BEYOND FRONT FACADE	1.8m	Y

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7	11JAN21	REVISED PER COMMENTS
6	03DEC20	REVISED LOT PLAN
5	16NOV20	REVISED LOT PLAN
REV.	DATE	REMARKS

ZOLTAN
ENGINEERING
25-4380 SOUTH SERVICE ROAD
BURLINGTON, ON L7L 5Y6
(905) 331 - 8307
WWW.ZOLTANENGINEERING.COM

PROJECT TITLE

VARGA RESIDENCE
ADDITION & RENOVATION

193 COLLEEN CRESCENT
ANCASTER, ON, L9G 1J2

DRAWING TITLE

LOT PLAN

SCALE	AS NOTED
DATE	11JAN21
DRAWN	TV
DESIGNED	ZL
CHECKED	ZL



PROJECT NO.

19-290

SHEET NO.

A1.01

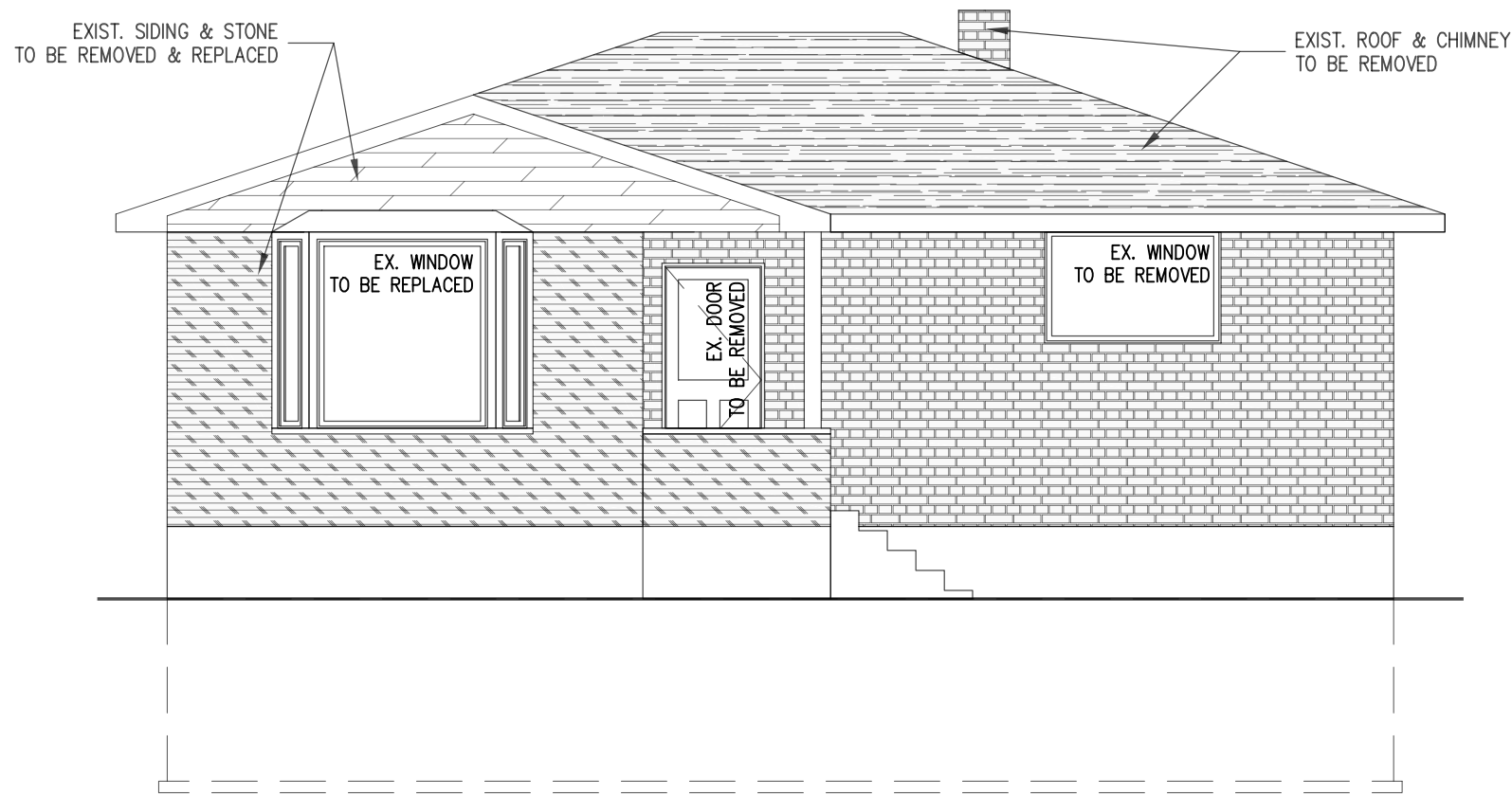
7

NOTE: LOT PLAN BASED ON SURVEY CONDUCTED BY SIDNEY W. WOODS - SURVEYOR & ENGINEER
DATED: JULY 16, 1956. PLAN SHOWING LOTS 39 & 40 IN OAKHILL PLACE.
REGISTERED PLAN No. 783 IN THE TOWNSHIP OF ANCASTER.

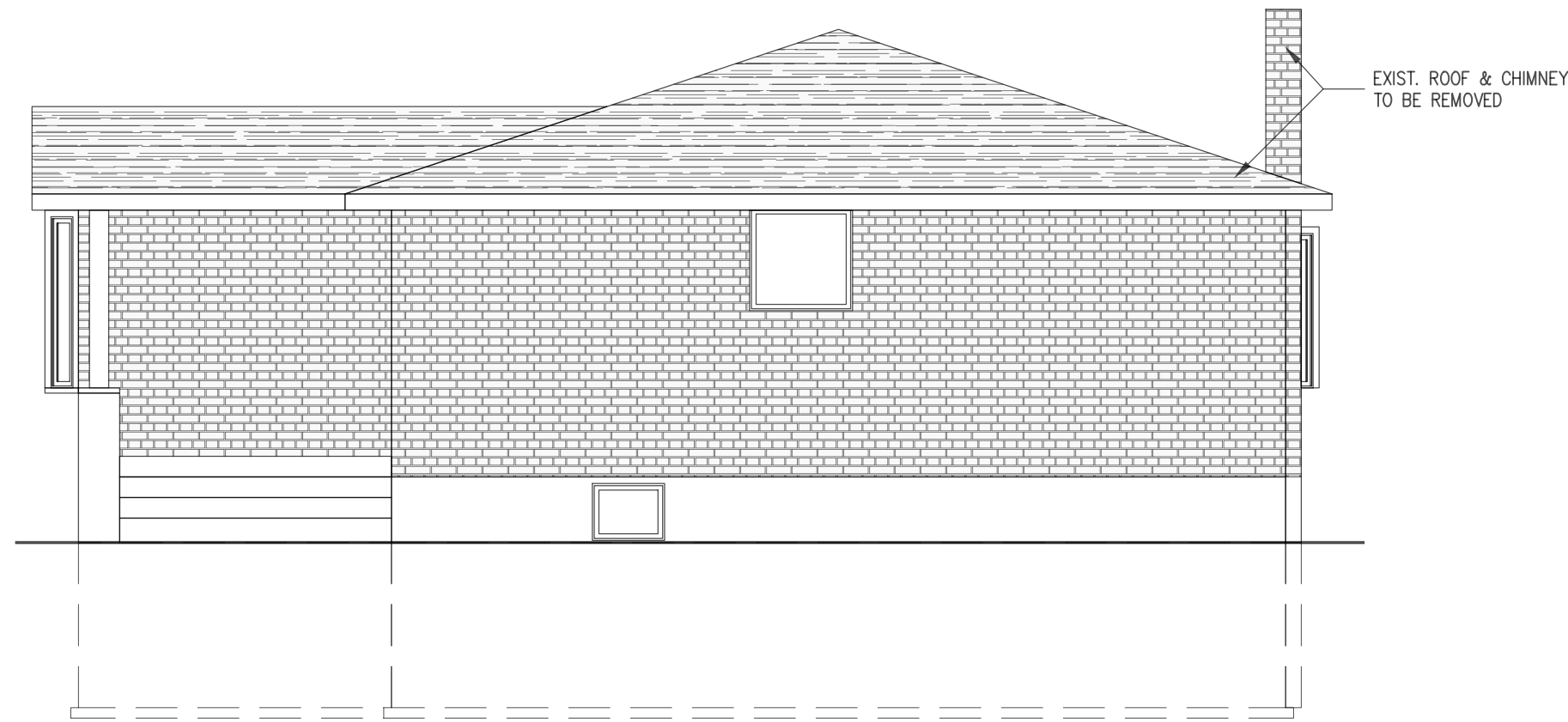
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LOT PLAN

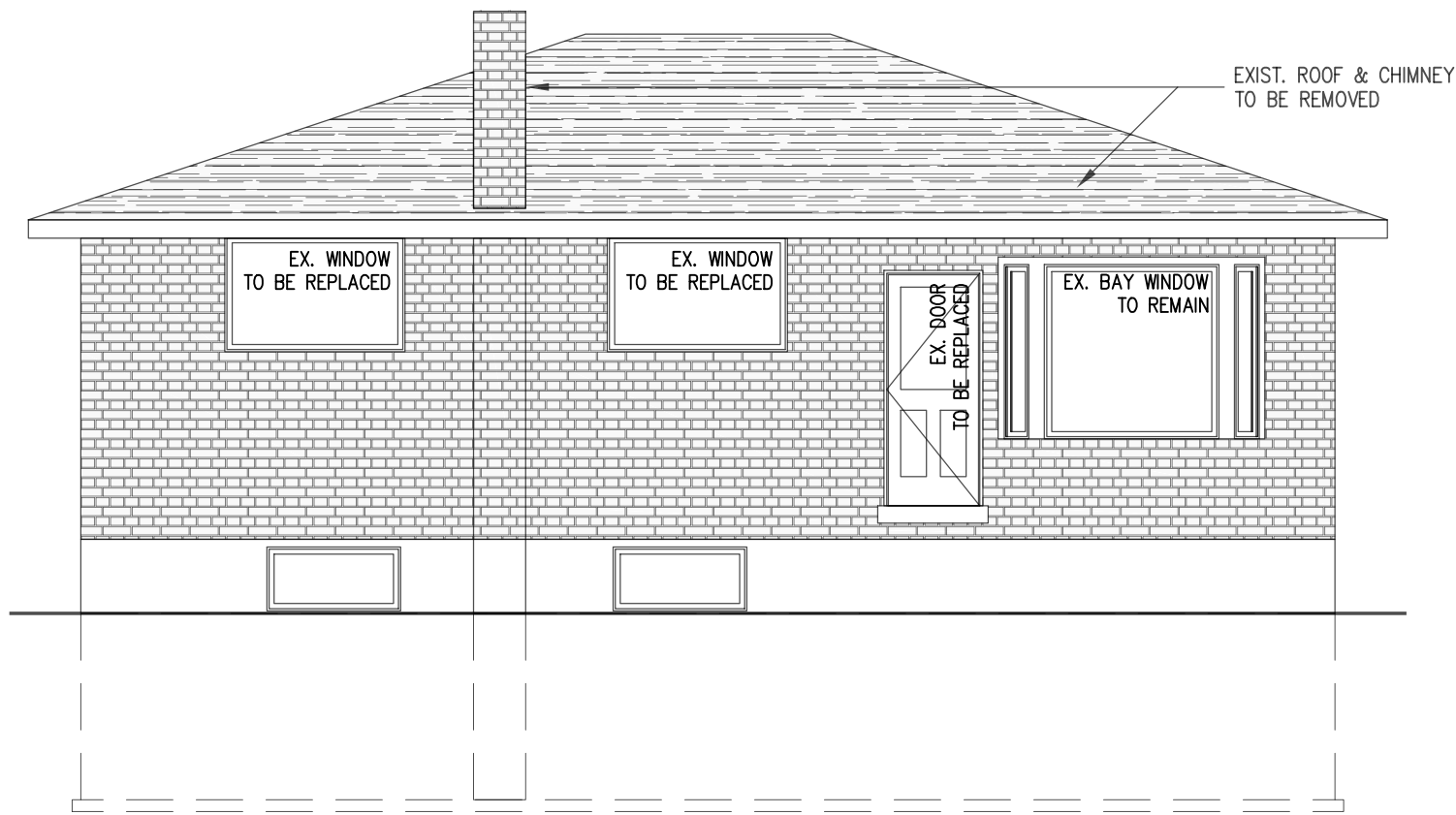
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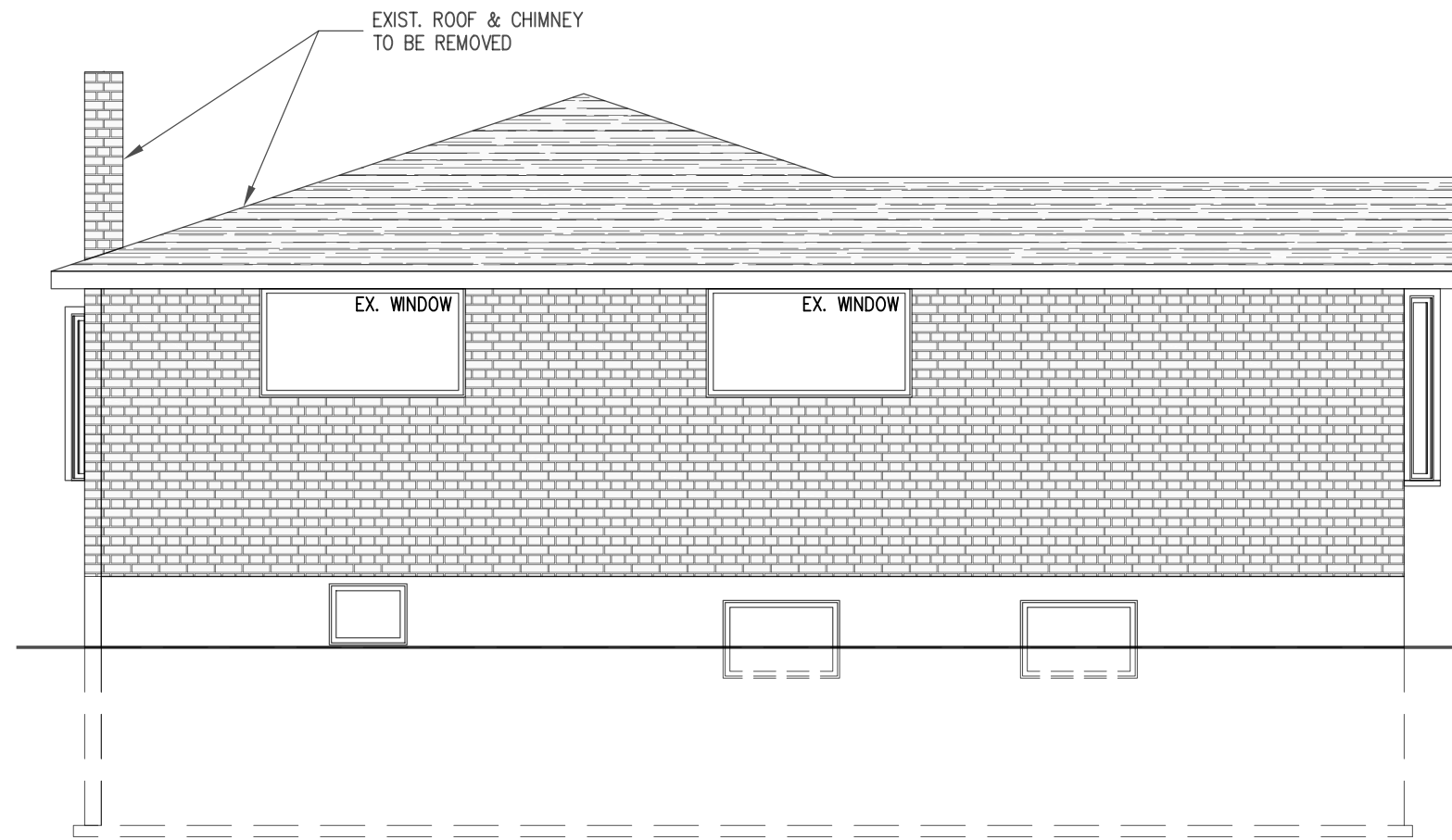
1 EX. FRONT ELEVATION
Scale: 3/16" = 1'-0"



2 EX. SIDE ELEVATION
Scale: 3/16" = 1'-0"



3 EX. REAR ELEVATION
Scale: 3/16" = 1'-0"



4 EX. SIDE ELEVATION
Scale: 3/16" = 1'-0"

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PROJECT TITLE

VARGA RESIDENCE
ADDITION & RENOVATION

193 COLLEEN CRESCENT
ANCASTER, ON, L9G 1J2

DRAWING TITLE

EXISTING ELEVATIONS

SCALE	AS NOTED
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DRAWN	TV
DESIGNED	ZL
CHECKED	ZL



PROJECT NO. 19-290
SHEET NO. A1.02 7

2'-0"
MAX. STEP

FTG. DEPTH

1
2
MAX. SLOPE

TYPE NO. 1

4'-0"

FTG. DEPTH

2'-0"
MAX. STEP

1
2
MAX. SLOPE

TYPE NO. 2

N.T.S.

NOTE:
FASTEN NEW CONCRETE STRIP FOOTING TO EXISTING
CONCRETE STRIP FOOTING USING (3) 18"lg 10M DOWELS
AT 16"O.C. EPOXY BARS 6" INTO EXISTING FOOTING USING
HILTI HIT HY 200 EPOXY OR EQUIVALENT WITH 3" CLEAR
COVER FROM UNDERSIDE OF STRIP FOOTING. FASTEN NEW
CONCRETE FOUNDATION WALL TO EXISTING CONCRETE
BLOCK FOUNDATION WALL USING 18"lg 10M DOWELS AT
16" O.C. VERTICALLY (EVERY SECOND BLOCK COURSE).
FULLY GROUT CORES AT DOWEL LOCATIONS OR EPOXY
BARS WITH HILTI HIT HY 70 EPOXY.

HEATED CONC. SLAB ON GRADE (GARAGE)
R10 RIGID INSUL. UNDER SLAB TYP.
5" (32MPa) CONC. SLAB
w/ 10 BARS @24" O.C. E.A.W.
w/ CONTROL JOINTS E.A.W.
5" GRANULAR FILL BELOW
SLOPE CONC. SLAB FOR DRAINAGE

CONC. SLAB ON GRADE (PORCH)
5" (32MPa) CONC. SLAB
w/ 10M BARS @24" O.C. E.A.W.
w/ CONTROL JOINTS E.A.W.
5" GRANULAR FILL BELOW
SLOPE CONC. SLAB FOR DRAINAGE

— TOP OF FOUNDATION TO BE DROPPED
FOR DOORS AS SHOWN

Scale: 3/16" = 1'-0"

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A1.06₇

GUARDS - O.B.C. 9.8.8.

INTERIOR GUARDS: 3'-0" MIN.
EXTERIOR GUARDS: 3'-6" MIN.

FINISHED RAILING PICKETS SPACED
MAXIMUM 4" BETWEEN PICKETS

NO MEMBER OR ATTACHMENT BTW 4" &
3'-0" HIGH SHALL FACILITATE CLIMBING.

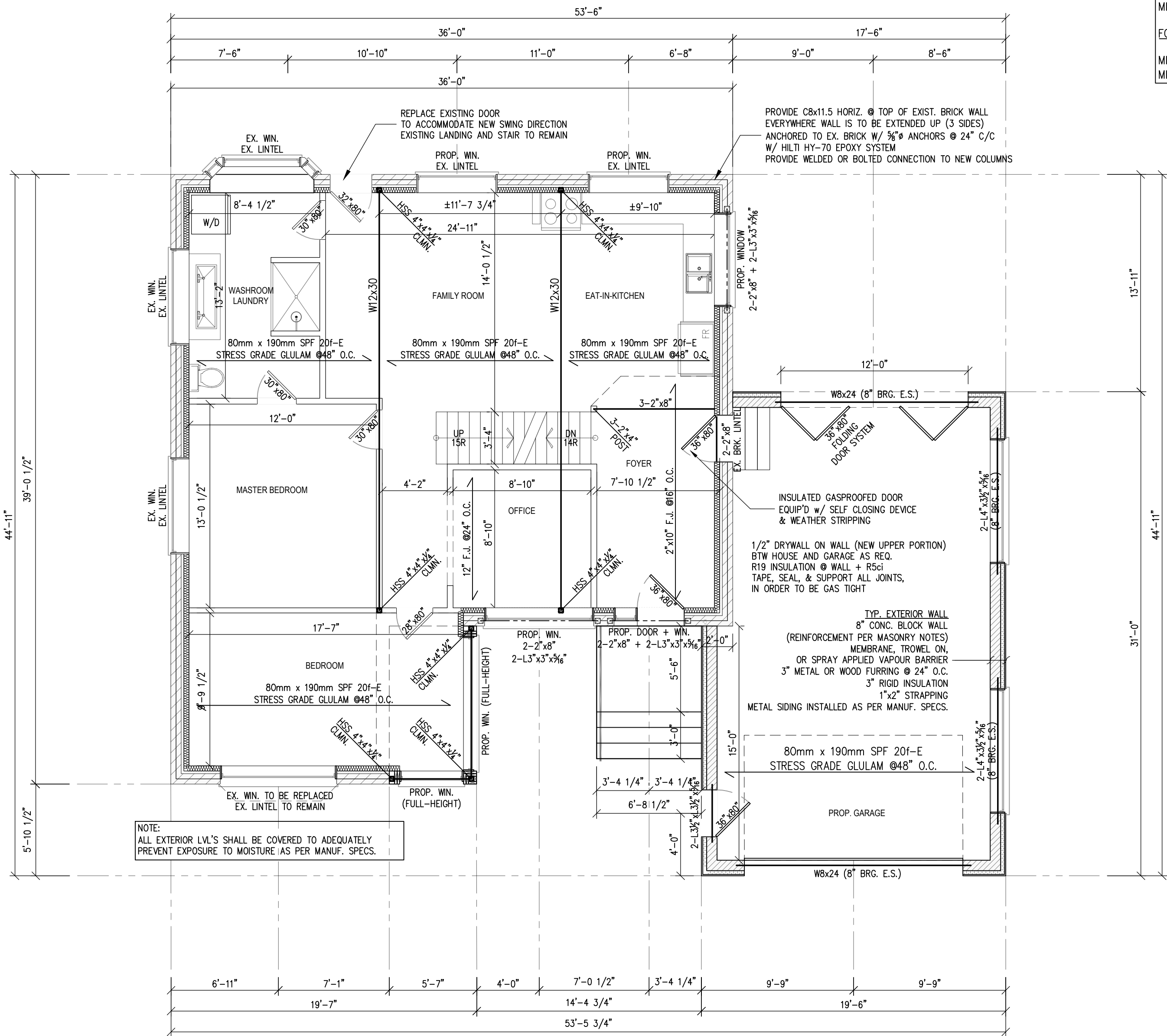
ALL STAIRS/EXTERIOR STAIRS

-OBC. 9.8.-

MAX RISE -7 7/8"
MIN. RUN -8 1/4"
MIN. TREAD -9 1/4"
MAX. NOSING -1"
MIN. HEADROOM -6'-5"
RAIL @ LANDING -2'-11"
RAIL @ STAIR -2'-8"
MIN STAIR WIDTH -2'-10"

FOR CURVED STAIRS

MIN AVG. RUN -6"
MIN. RUN -8"



NOTE:
ALL EXTERIOR LVL'S SHALL BE COVERED TO ADEQUATELY
PREVENT EXPOSURE TO MOISTURE (AS PER MANUF. SPECS).

1 PROP. GROUND FLOOR PLAN
Scale: 3/16" = 1'-0"

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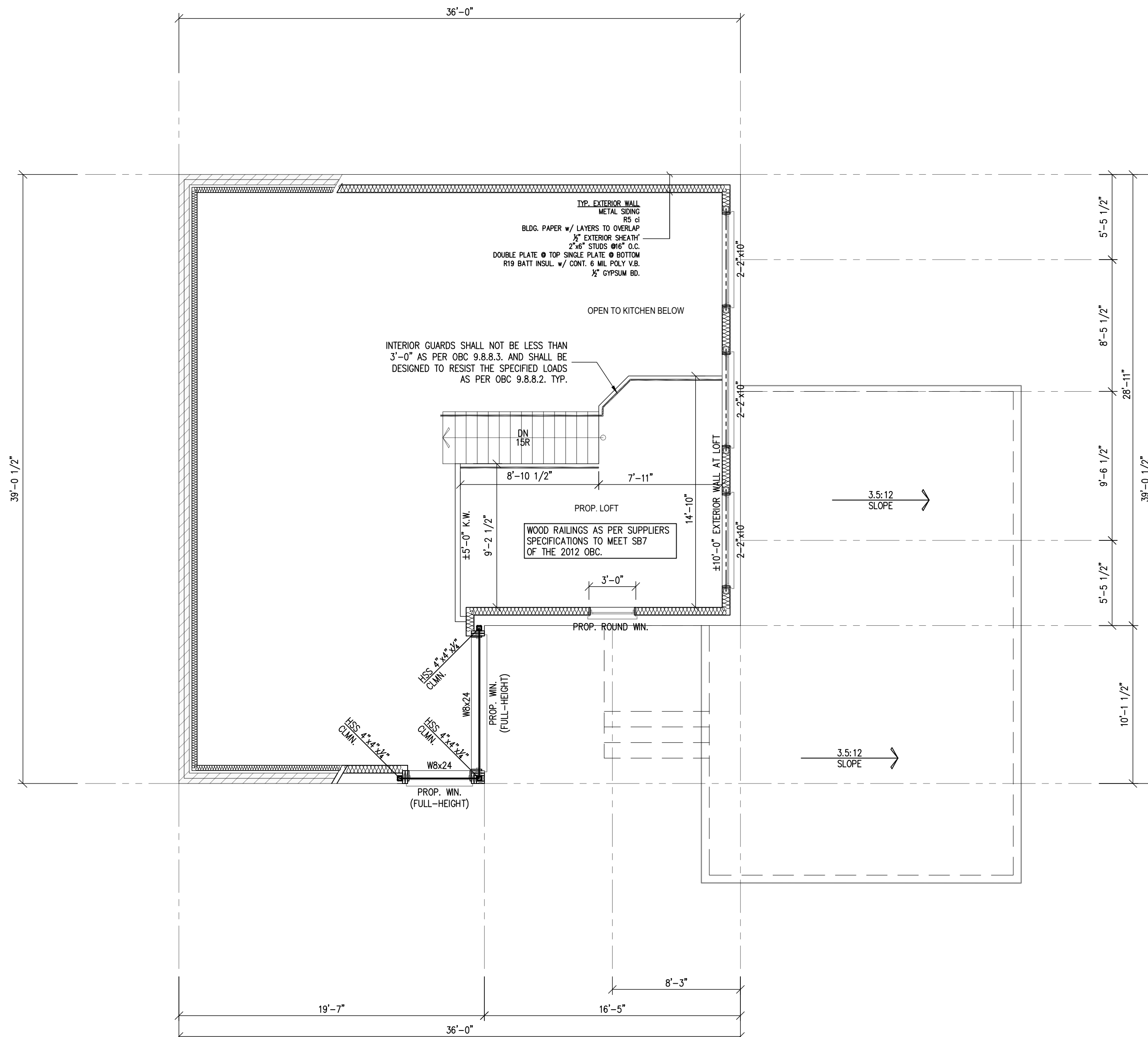
PROJECT TITLE
**VARGA RESIDENCE
ADDITION & RENOVATION**
**193 COLLEEN CRESCENT
ANCASTER, ON, L9G 1J2**

DRAWING TITLE
PROP. GROUND FLOOR PLAN

SCALE	AS NOTED
DATE	11JAN21
DRAWN	TV
DESIGNED	ZL
CHECKED	ZL



PROJECT NO. 19-290
SHEET NO. A1.07



1 PROP. LOFT PLAN
Scale: 3/16" = 1'-0"

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ADDITION & RENOVATION

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ANCASTER, ON, L9G 1J2

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PROP. LOFT PLAN

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PROJECT NO.

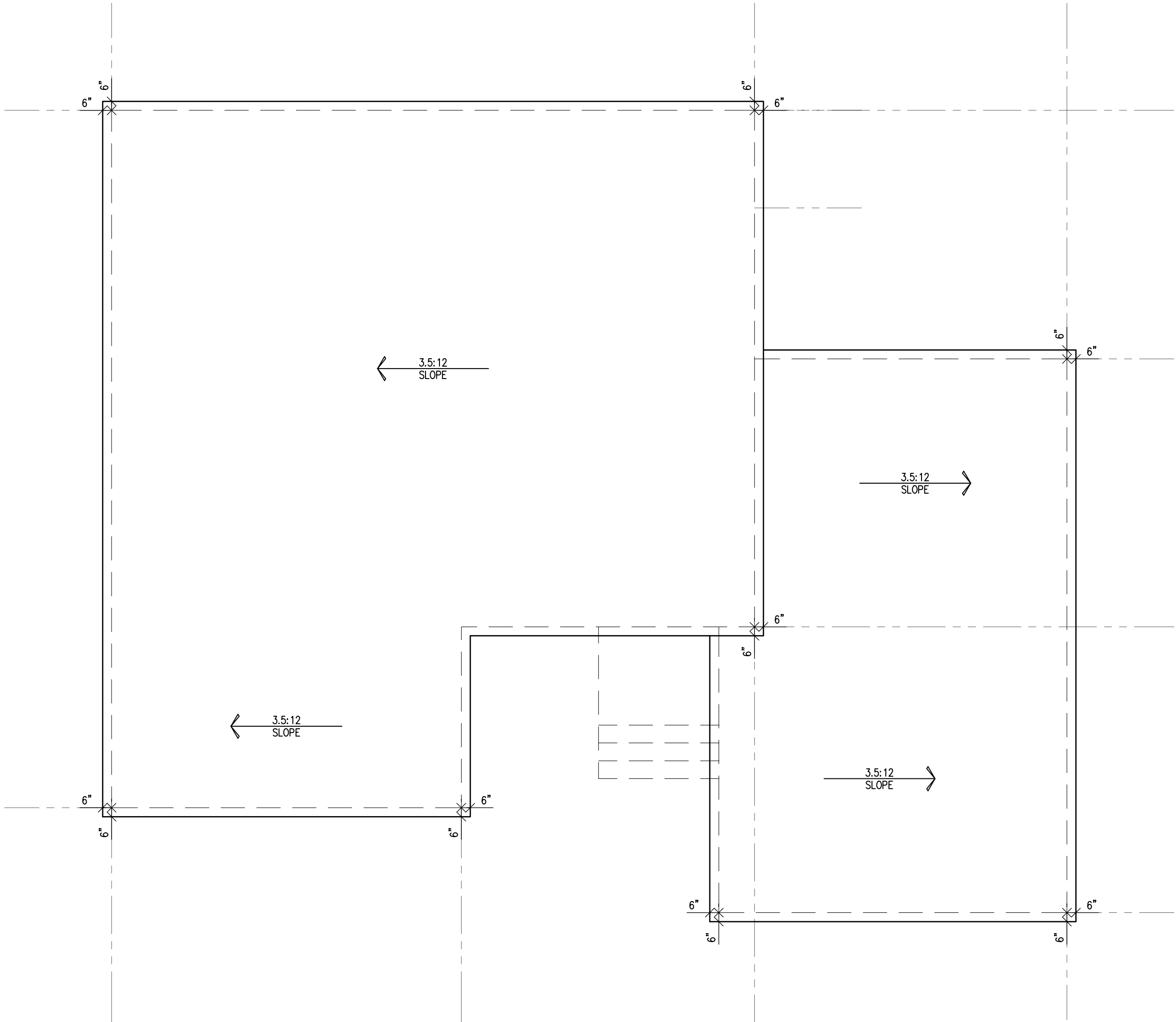
19-290

SHEET NO.

A1.08

7

- PROP. ROOF CONSTRUCTION
- STANDING SEAM ROOF INSTALLED AS PER MANUF. SPECS.
 - ROOF FRAMING AS PER PLAN
 - APPROVED EAVES PROTECTION TO EXTEND MIN. 3'-0" UP ROOF SURFACE TO LINE NOT LESS THAN 12" BEYOND INNER FACE OF EXTERIOR WALL.
 - PREFINISHED ALUMINUM R.W.L. & GUTTERS ON ALUMINUM FASCIA & SOFFIT.



1

PROP. ROOF PLAN

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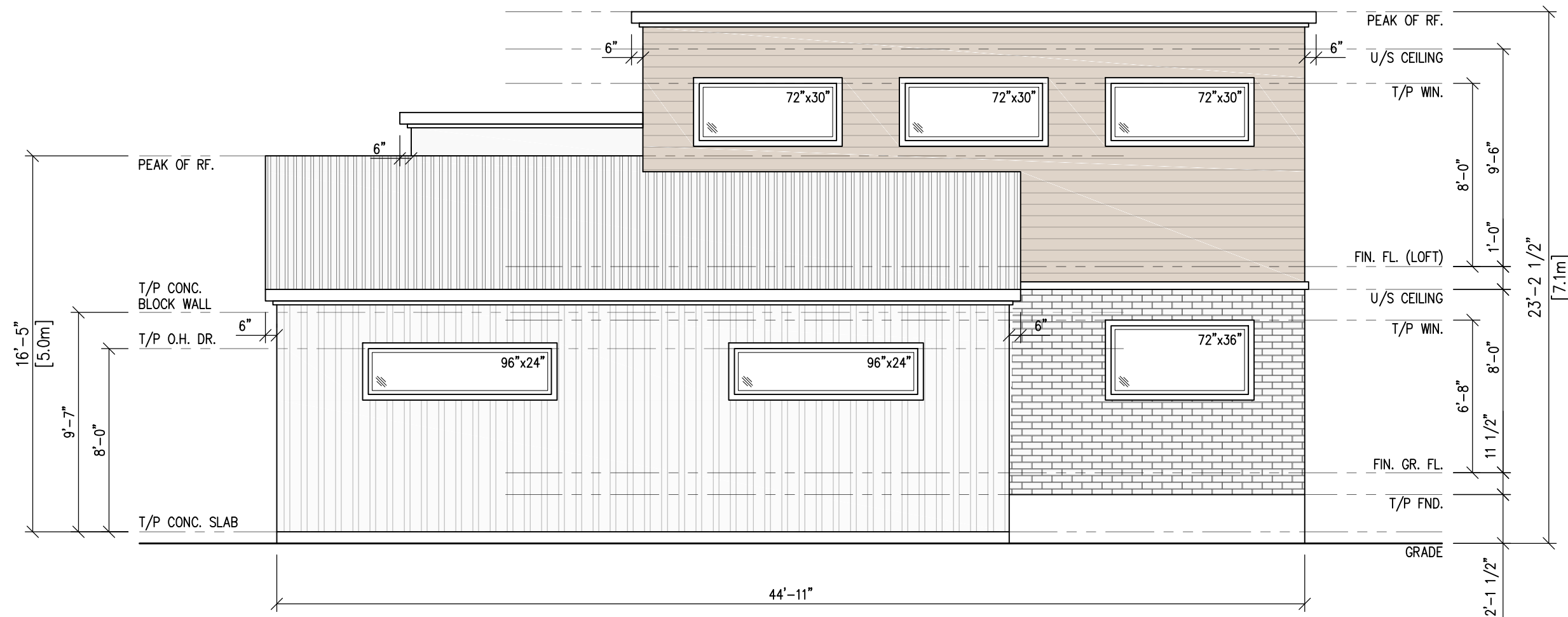
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PROP. ROOF PLAN

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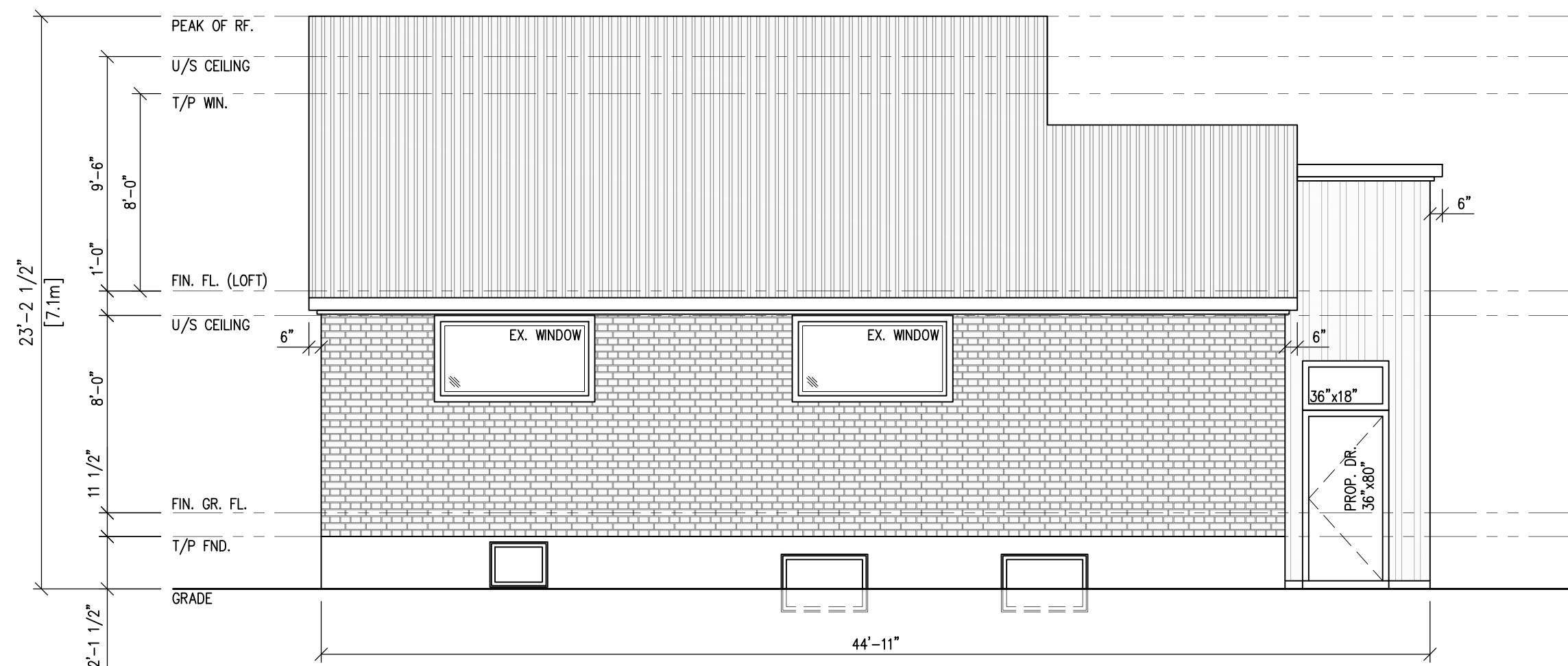
PROJECT NO.	SHEET NO.
19-290	A1.09



1

SIDE ELEVATION

Scale: 3/16" = 1'-0"



2

SIDE ELEVATION

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ANCASTER, ON, L9G 1J2

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SIDE ELEVATIONS

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7

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Energy Efficiency
OBC 2012 - SB-12, Table 3.1.1.11
HDD18 = 3460 (Zone 1)

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1. Remove existing roof and frame new roof to upgrade the exterior elevations.
2. New garage addition.
3. Renovate existing main floor.

ZONING STATISTICS - 193 COLLEEN CRESCENT, ANCASTER, ON.

EXISTING RESIDENTIAL "ER" ZONE (ANCASTER ZONING BY-LAW 87-57)			
	REQUIRED	PROPOSED	CONFORMS (Y/N)
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LOT FRONTAGE	18m	25.72m	Y
LOT DEPTH	Varies	61m	Y
LOT COVERAGE	35% max.	20%	Y
FRONT YARD SETBACK	WITHIN 20% OF AVERAGE FRONT SETBACK OF 2 ADJACENT DWELLINGS (10.5m-15.8m)	18.7m	N
SIDE YARD SETBACK	10% OF THE LOT FRONTAGE TO A MAXIMUM SETBACK OF 5.0m FOR AN INTERIOR SIDE YARD (2.572m)	2.61m	Y
REAR YARD SETBACK	40 PERCENT OF THE LOT DEPTH FOR LOTS WITH A DEPTH GREATER THAN 50m (24.4m)	28.0m	Y
MAXIMUM HEIGHT	7.5m (ONE STOREY)	7.1m	Y
ATTACHED GARAGE PROJECTION	Max. 2.0m BEYOND FRONT FACADE	1.8m	Y

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VARGA RESIDENCE
ADDITION & RENOVATION

193 COLLEEN CRESCENT
ANCASTER, ON, L9G 1J2

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LOT PLAN

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19-290

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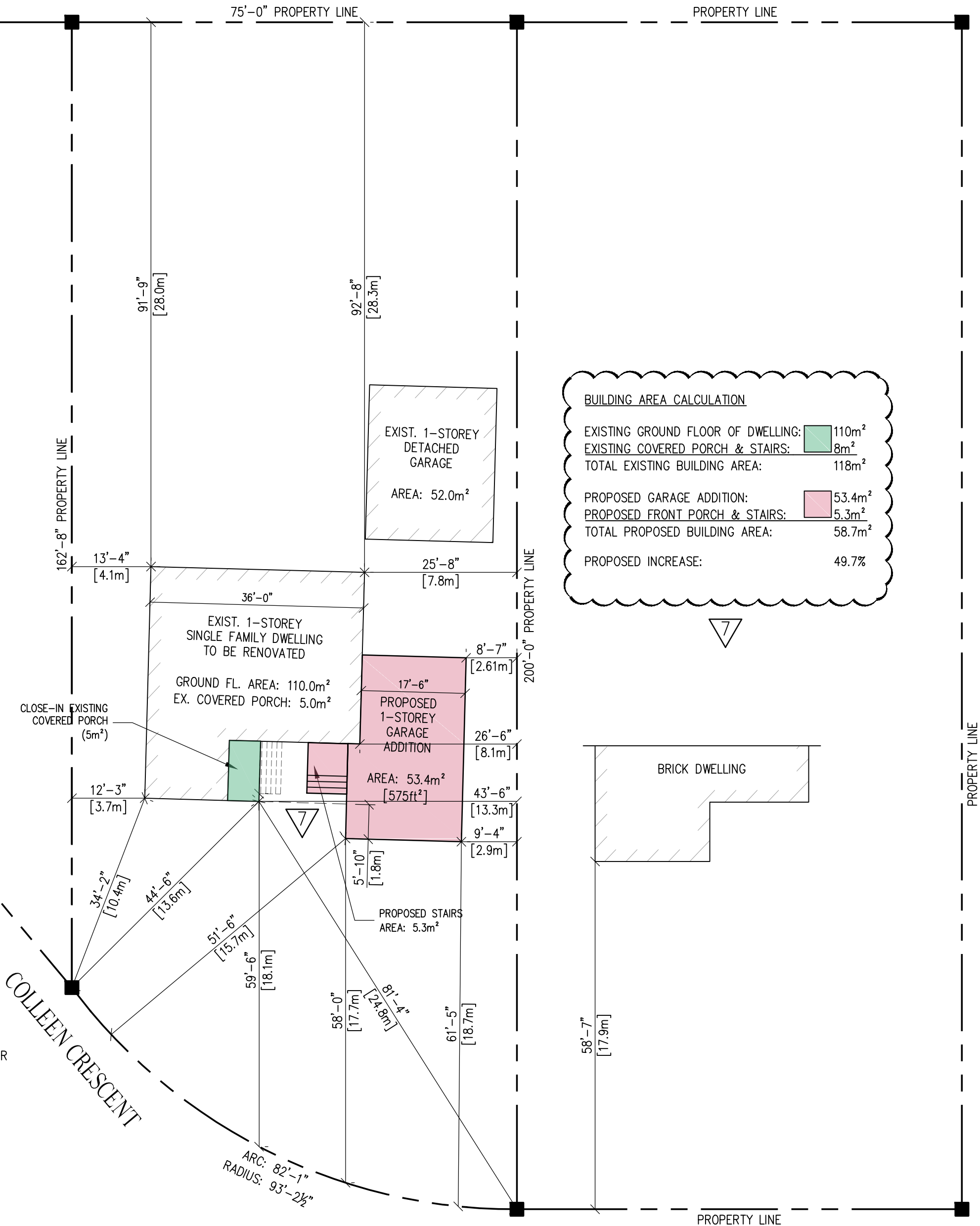


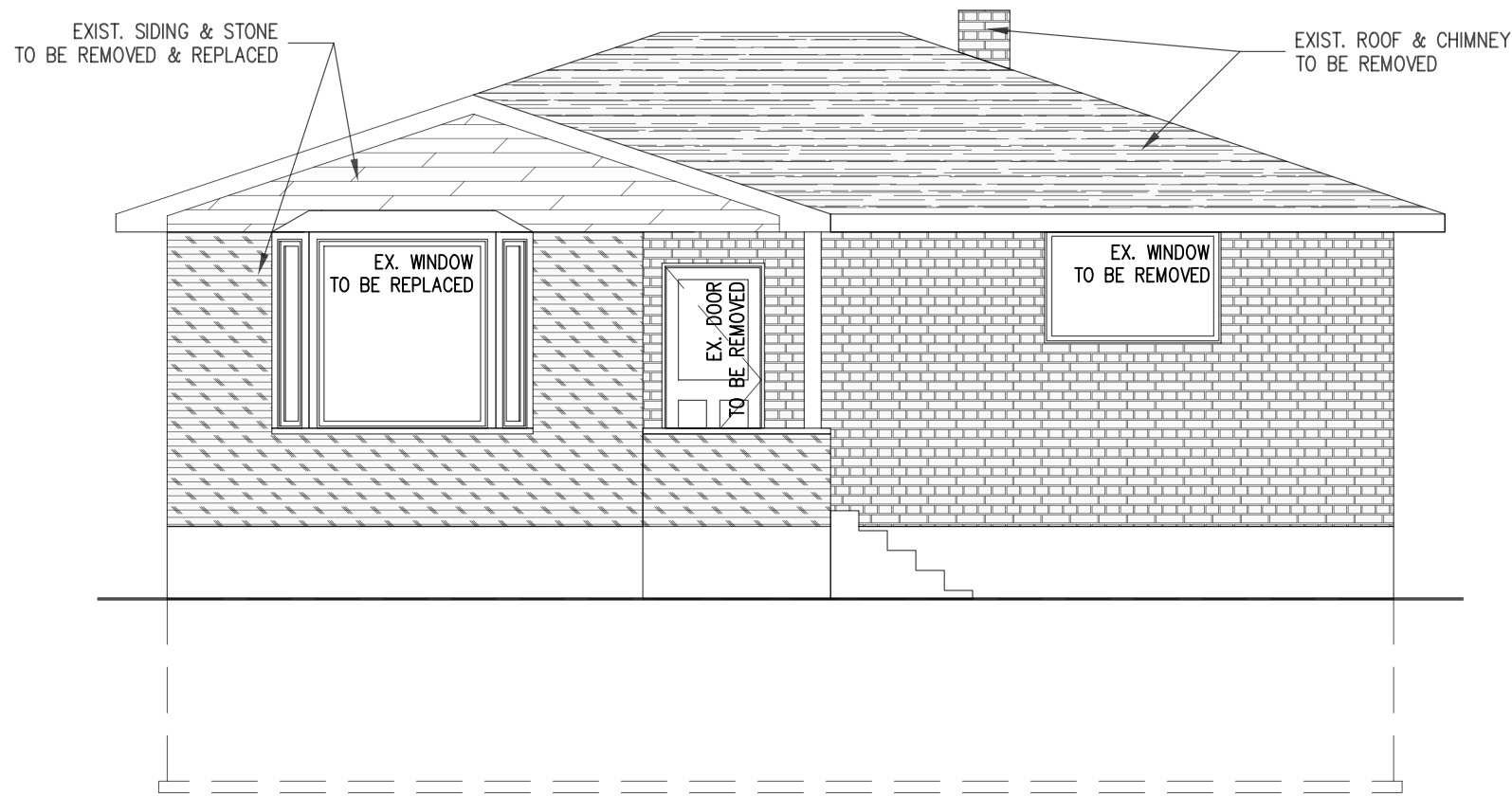
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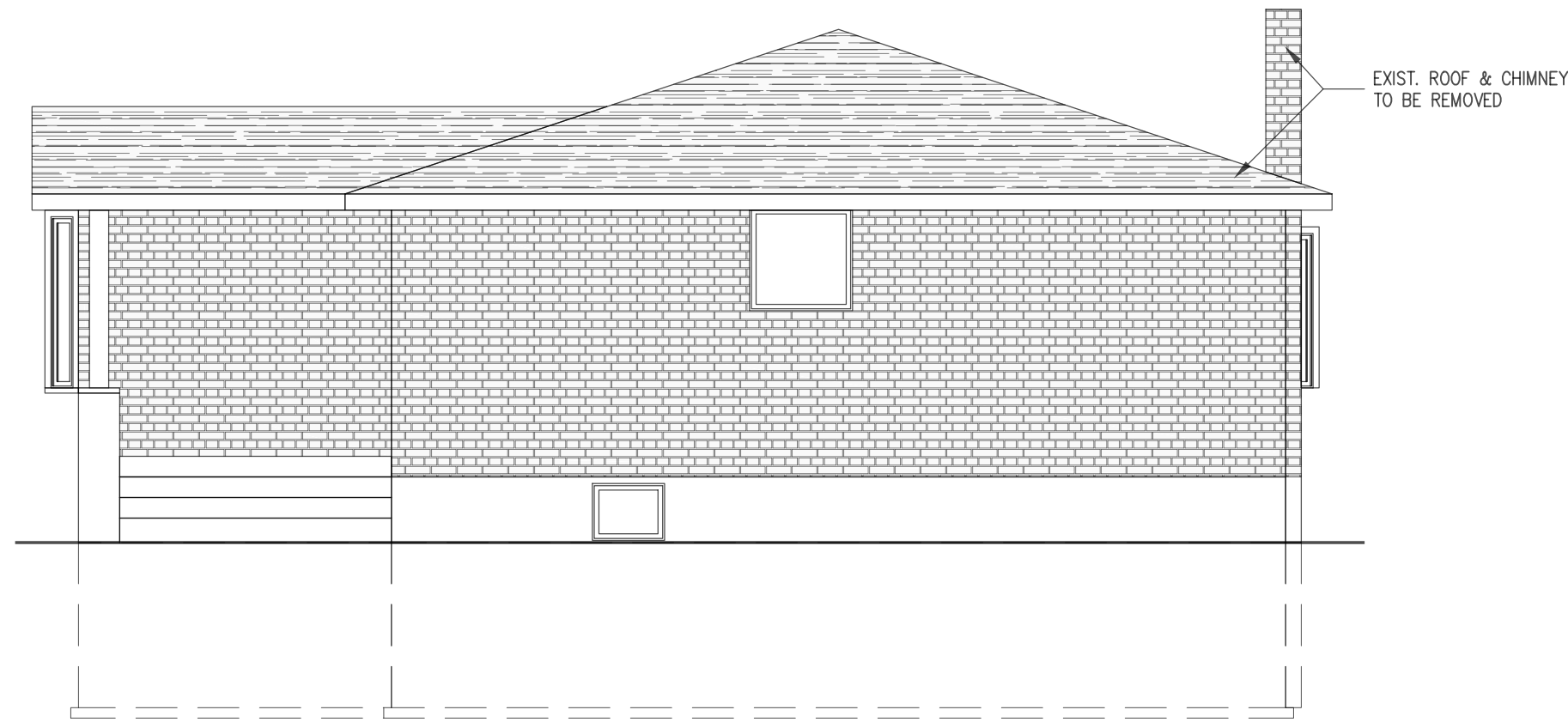
LOT PLAN

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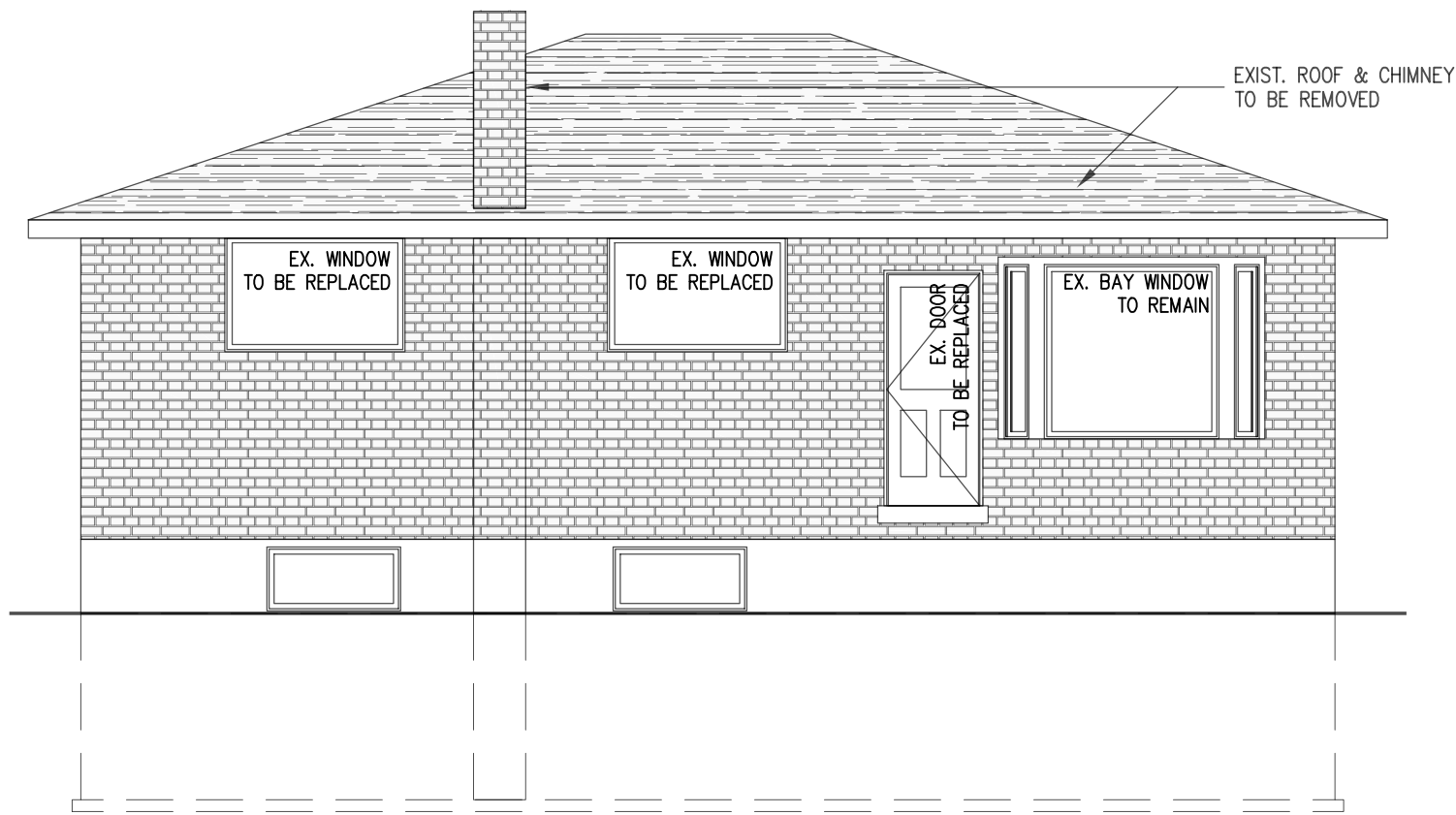




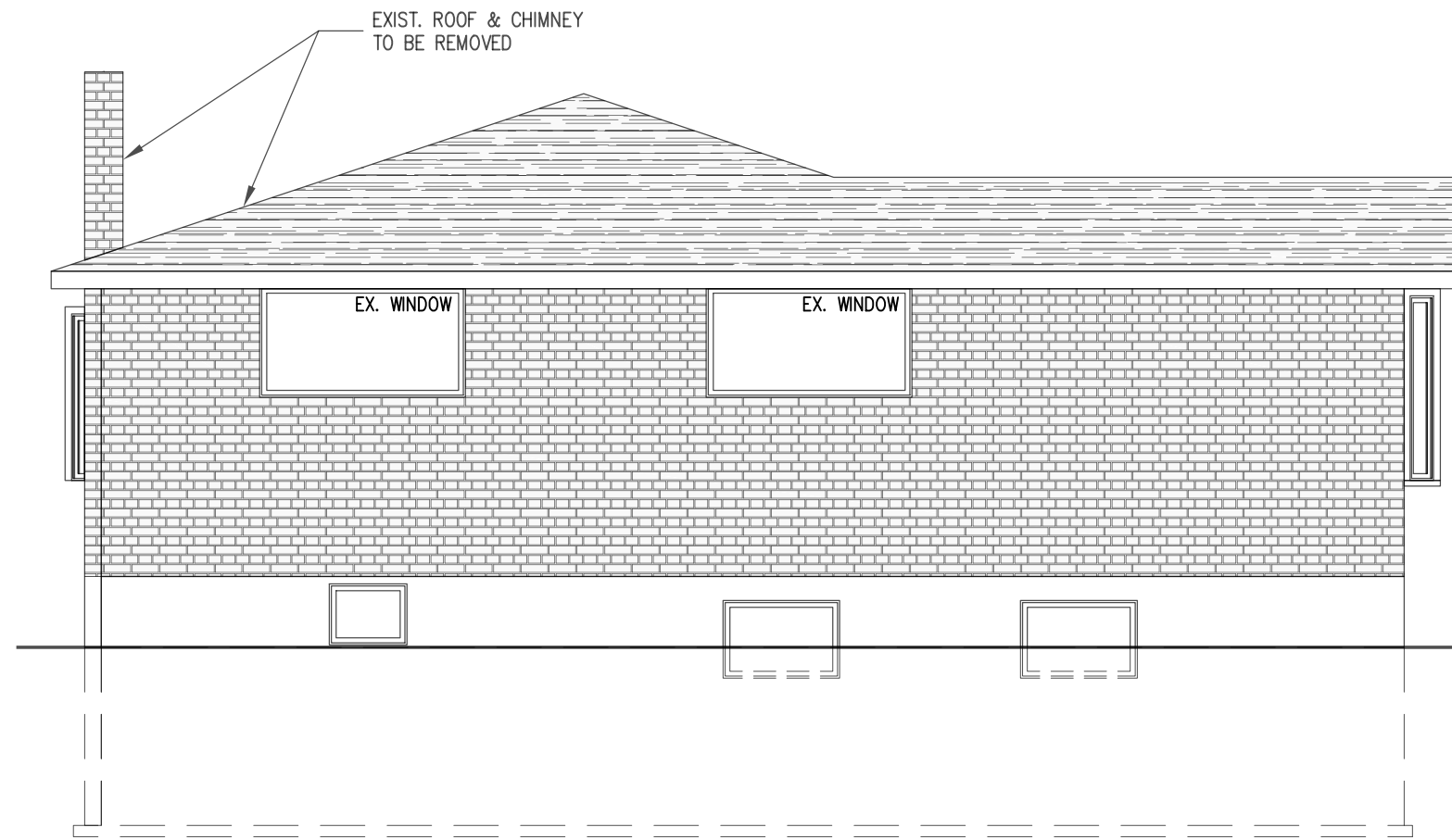
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3 EX. REAR ELEVATION
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ADDITION & RENOVATION

193 COLLEEN CRESCENT
ANCASTER, ON, L9G 1J2

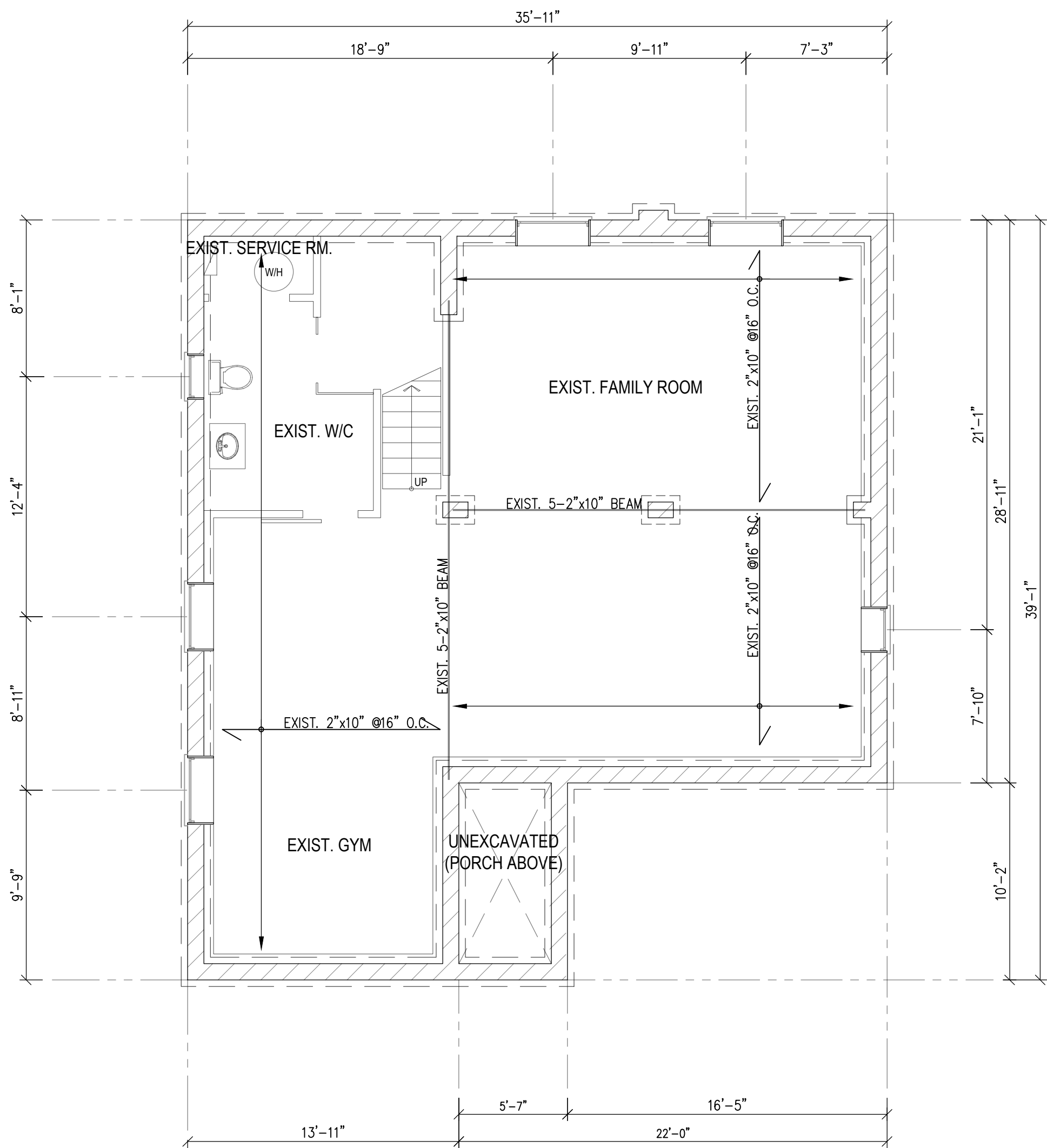
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PROJECT NO. 19-290
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1 EX. BASEMENT PLAN
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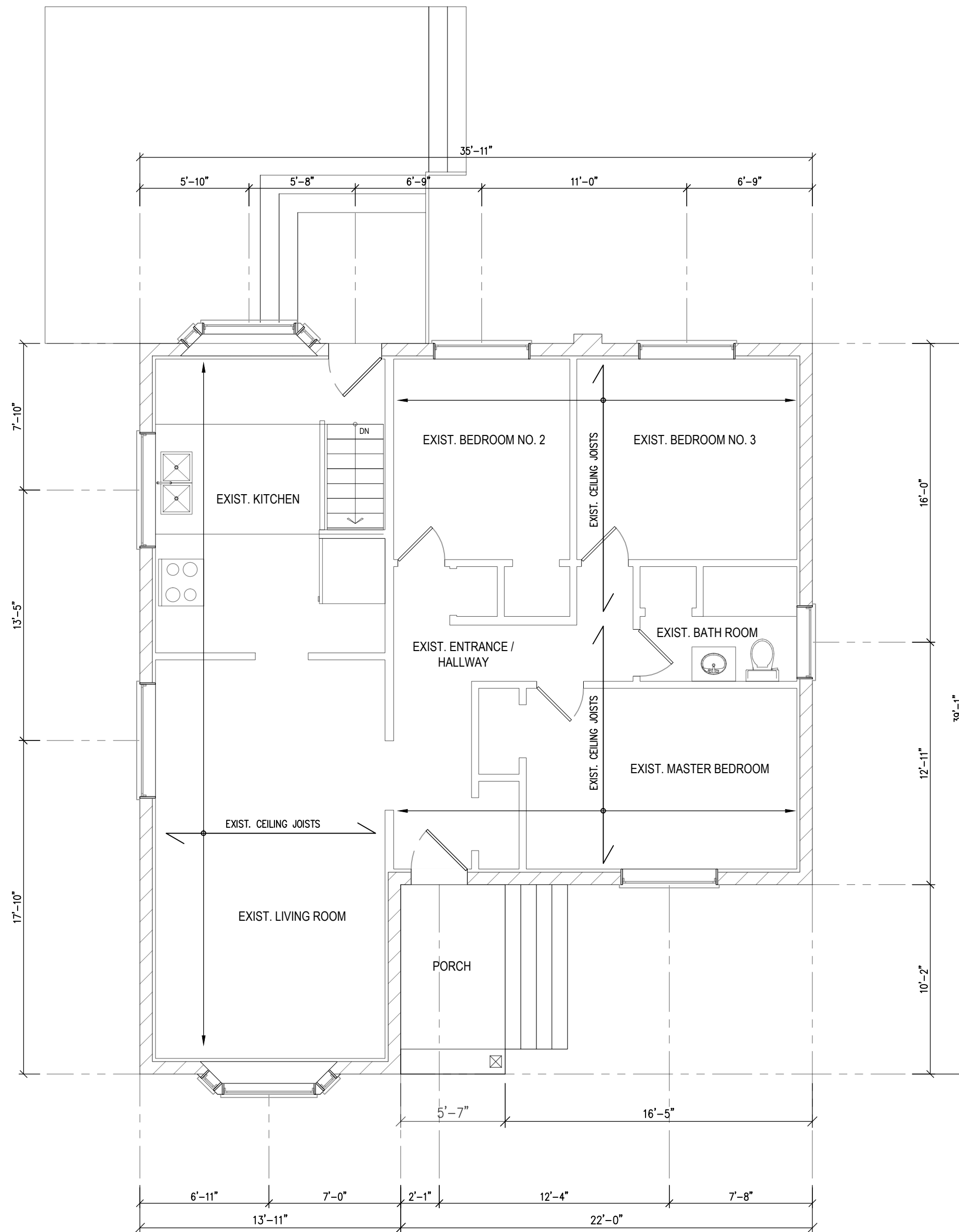
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PROJECT NO.	SHEET NO.
19-290	A1.03 ⁷



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7	11JAN21	REVISED PER COMMENTS
6	03DEC20	REVISED LOT PLAN
5	16NOV20	REVISED LOT PLAN
REV.	DATE	REMARKS

ZOLTAN
ENGINEERING

25-4380 SOUTH SERVICE ROAD
BURLINGTON, ON L7L 5Y6
(905) 331 - 8307
WWW.ZOLTANENGINEERING.COM

PROJECT TITLE

VARGA RESIDENCE
ADDITION & RENOVATION

193 COLLEEN CRESCENT
ANCASTER, ON, L9G 1J2

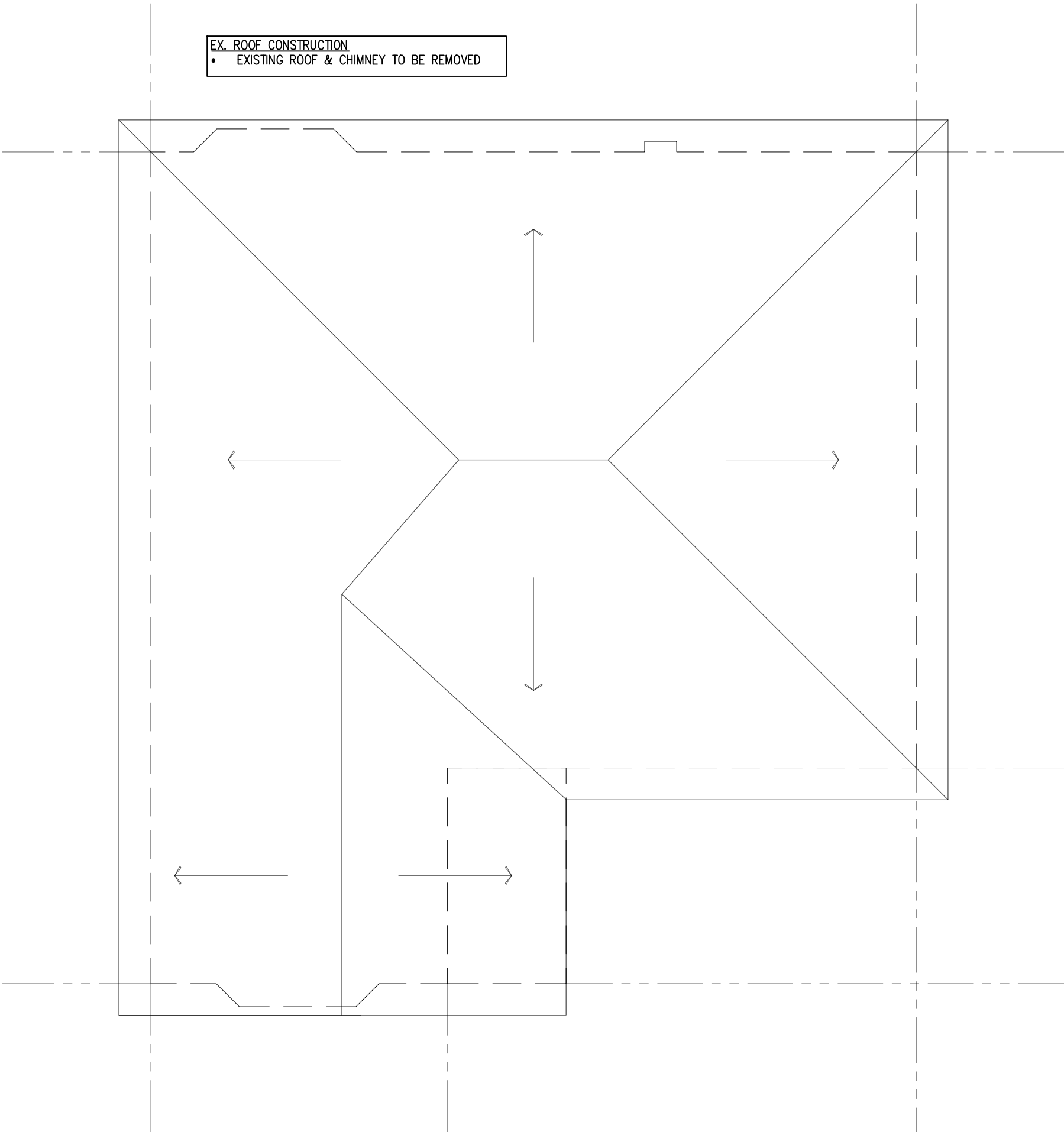
DRAWING TITLE

EXISTING GROUND FLOOR PLAN

SCALE	AS NOTED
DATE	11JAN21
DRAWN	TV
DESIGNED	ZL
CHECKED	ZL

LICENSED PROFESSIONAL ENGINEER
Jan 11/21
Z. LAKATOS
90267162
PROVINCE OF ONTARIO

PROJECT NO.	SHEET NO.
19-290	A1.04 ⁷



EX. ROOF CONSTRUCTION

- EXISTING ROOF & CHIMNEY TO BE REMOVED

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PROJECT NO.	SHEET NO.
19-290	A1.05

2'-0"
MAX. STEP

FTG. DEPTH

1
2
MAX. SLOPE

TYPE NO. 1

4'-0"

FTG. DEPTH

2'-0"
MAX. STEP

1
2
MAX. SLOPE

TYPE NO. 2

N.T.S.


NOTE:
FASTEN NEW CONCRETE STRIP FOOTING TO EXISTING
CONCRETE STRIP FOOTING USING (3) 18"lg 10M DOWELS
AT 16"O.C. EPOXY BARS 6" INTO EXISTING FOOTING USING
HILTI HIT HY 200 EPOXY OR EQUIVALENT WITH 3" CLEAR
COVER FROM UNDERSIDE OF STRIP FOOTING. FASTEN NEW
CONCRETE FOUNDATION WALL TO EXISTING CONCRETE
BLOCK FOUNDATION WALL USING 18"lg 10M DOWELS AT
16" O.C. VERTICALLY (EVERY SECOND BLOCK COURSE).
FULLY GROUT CORES AT DOWEL LOCATIONS OR EPOXY
BARS WITH HILTI HIT HY 70 EPOXY.

HEATED CONC. SLAB ON GRADE (GARAGE)
R10 RIGID INSUL. UNDER SLAB TYP.
5" (32MPa) CONC. SLAB
w/ 10 BARS @24" O.C. E.A.W.
w/ CONTROL JOINTS E.A.W.
5" GRANULAR FILL BELOW
SLOPE CONC. SLAB FOR DRAINAGE

CONC. SLAB ON GRADE (PORCH)
5" (32MPa) CONC. SLAB
w/ 10M BARS @24" O.C. E.A.W.
w/ CONTROL JOINTS E.A.W.
5" GRANULAR FILL BELOW
SLOPE CONC. SLAB FOR DRAINAGE

— TOP OF FOUNDATION TO BE DROPPED
FOR DOORS AS SHOWN

Scale: 3/16" = 1'-0"

A1.06 

GUARDS - O.B.C. 9.8.8.

INTERIOR GUARDS: 3'-0" MIN.
EXTERIOR GUARDS: 3'-6" MIN.

FINISHED RAILING PICKETS SPACED
MAXIMUM 4" BETWEEN PICKETS

NO MEMBER OR ATTACHMENT BTW 4" &
3'-0" HIGH SHALL FACILITATE CLIMBING.

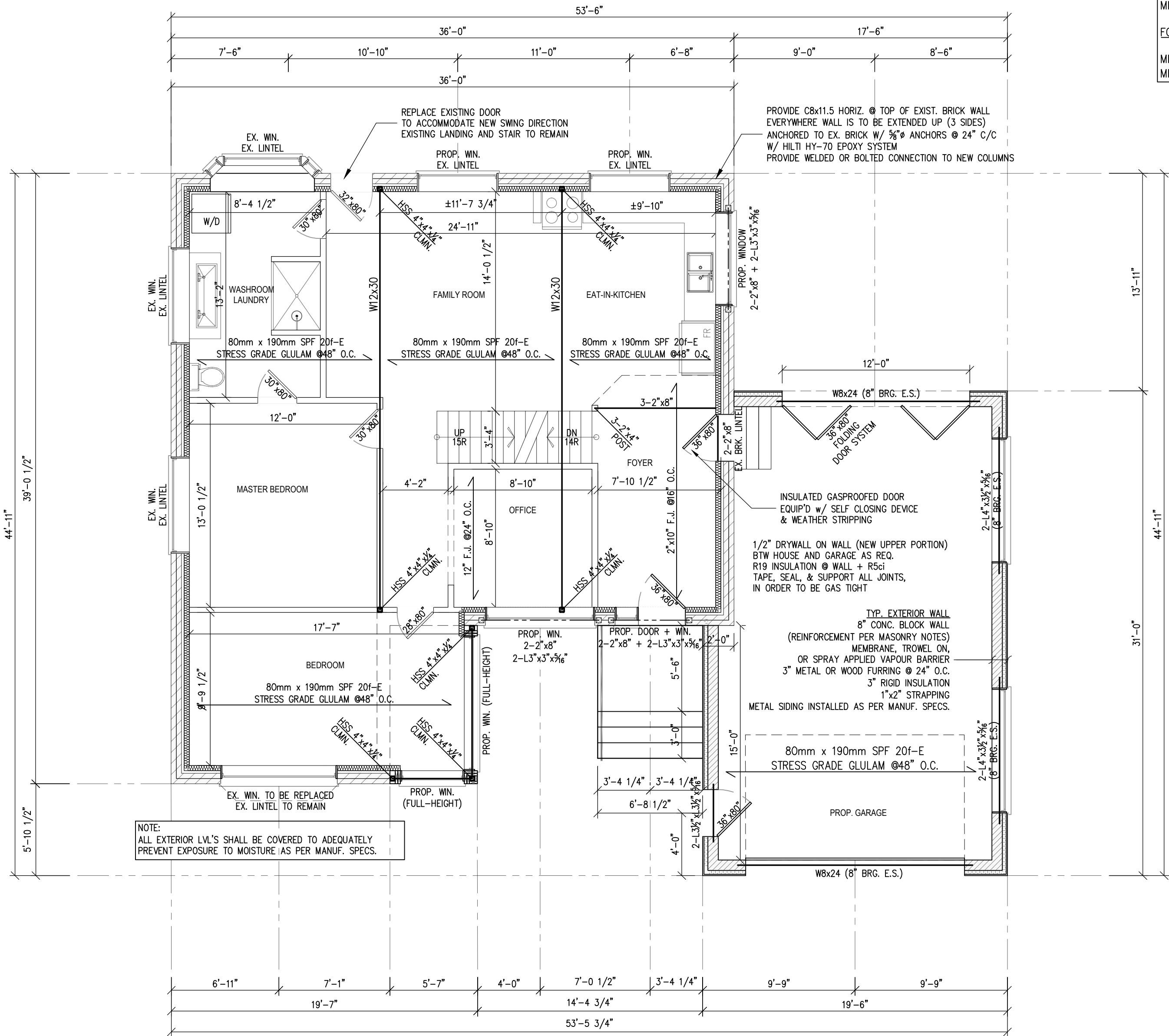
ALL STAIRS/EXTERIOR STAIRS

-OBC. 9.8.-

MAX RISE -7 7/8"
MIN. RUN -8 1/4"
MIN. TREAD -9 1/4"
MAX. NOSING -1"
MIN. HEADROOM -6'-5"
RAIL @ LANDING -2'-11"
RAIL @ STAIR -2'-8"
MIN STAIR WIDTH -2'-10"

FOR CURVED STAIRS

MIN AVG. RUN -6"
MIN. RUN -8"



NOTE:
ALL EXTERIOR LVL'S SHALL BE COVERED TO ADEQUATELY
PREVENT EXPOSURE TO MOISTURE (AS PER MANUF. SPECS).

1 PROP. GROUND FLOOR PLAN
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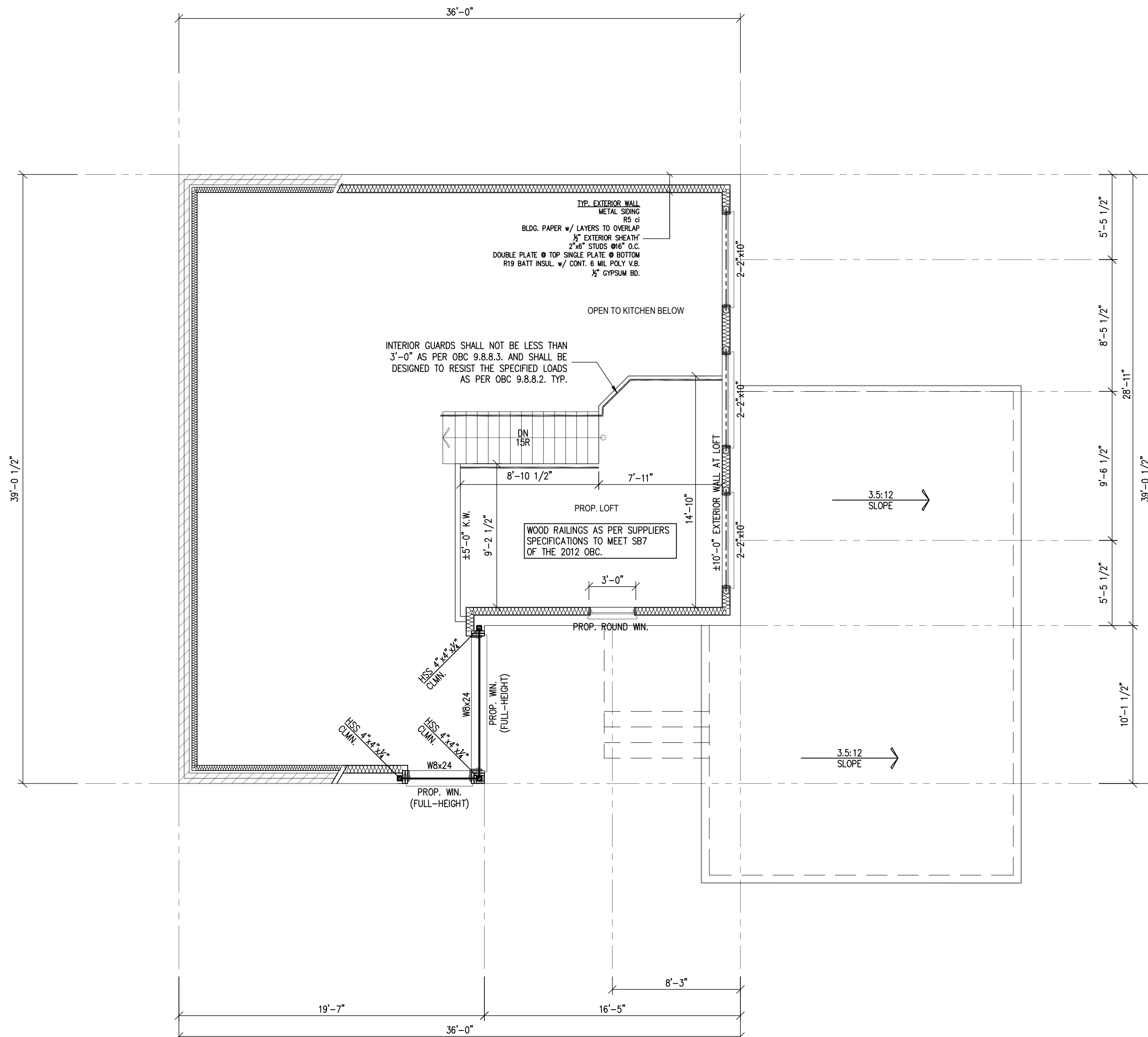
PROJECT TITLE
**VARGA RESIDENCE
ADDITION & RENOVATION**
**193 COLLEEN CRESCENT
ANCASTER, ON, L9G 1J2**

DRAWING TITLE
PROP. GROUND FLOOR PLAN

SCALE	AS NOTED
DATE	11JAN21
DRAWN	TV
DESIGNED	ZL
CHECKED	ZL



PROJECT NO. 19-290
SHEET NO. A1.07



1

PROP. LOFT PLAN

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PROJECT TITLE

VARGA RESIDENCE
ADDITION & RENOVATION

193 COLLEEN CRESCENT
ANCASTER, ON, L9G 1J2

DRAWING TITLE

PROP. LOFT PLAN

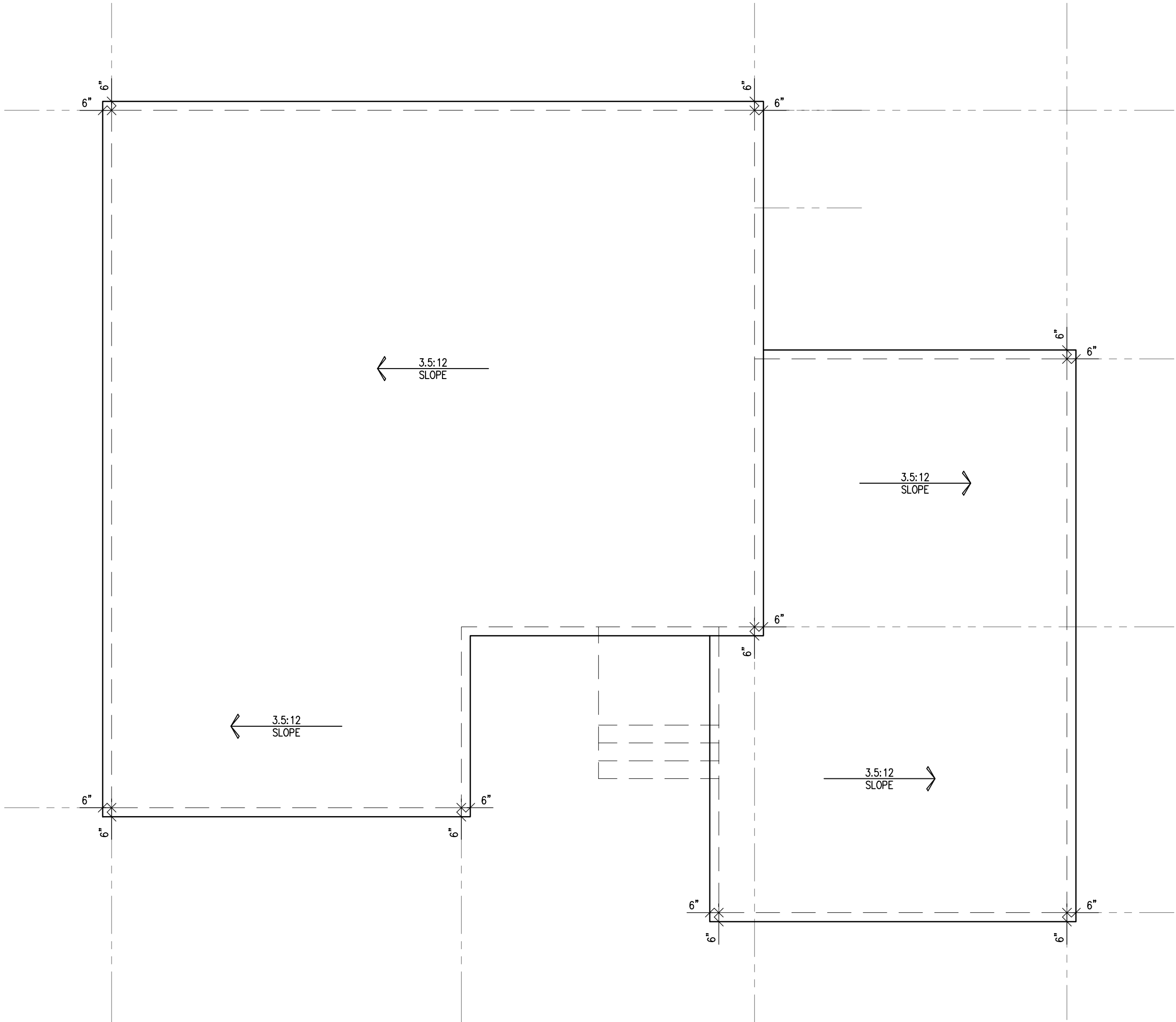
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PROJECT NO.	SHEET NO.
19-290	A1.08

7

- PROP. ROOF CONSTRUCTION
- STANDING SEAM ROOF INSTALLED AS PER MANUF. SPECS.
 - ROOF FRAMING AS PER PLAN
 - APPROVED EAVES PROTECTION TO EXTEND MIN. 3'-0" UP ROOF SURFACE TO LINE NOT LESS THAN 12" BEYOND INNER FACE OF EXTERIOR WALL.
 - PREFINISHED ALUMINUM R.W.L. & GUTTERS ON ALUMINUM FASCIA & SOFFIT.



1

PROP. ROOF PLAN

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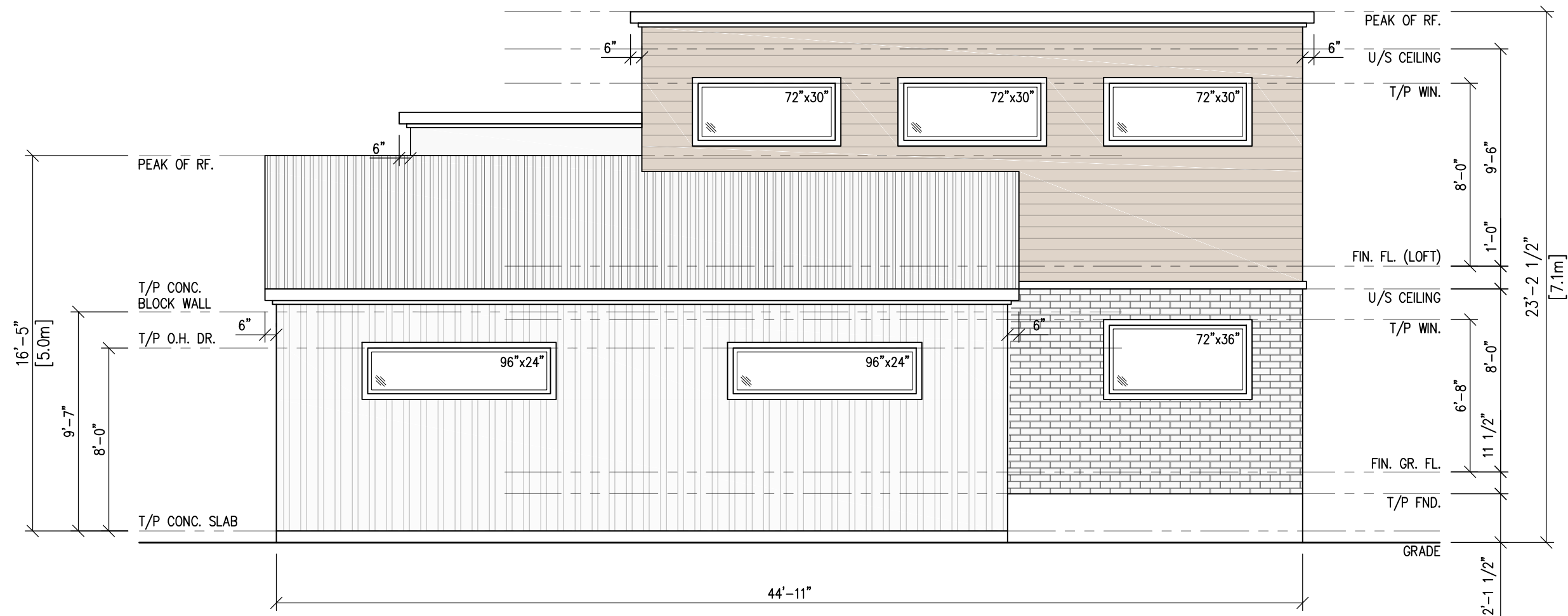
DRAWING TITLE

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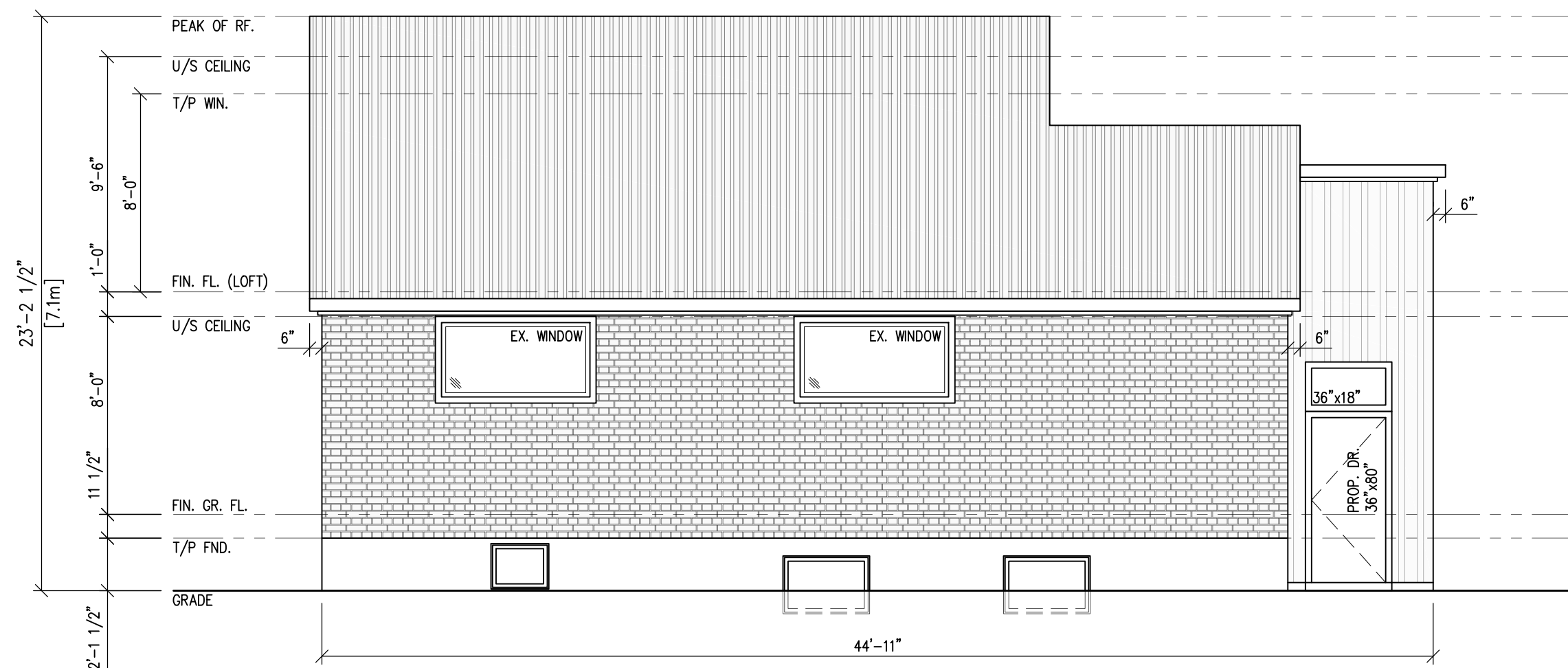


PROJECT NO.	SHEET NO.
19-290	A1.09



1 SIDE ELEVATION

Scale: 3/16" = 1'-0"



2 SIDE ELEVATION

Scale: 3/16" = 1'-0"

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SIDE ELEVATIONS

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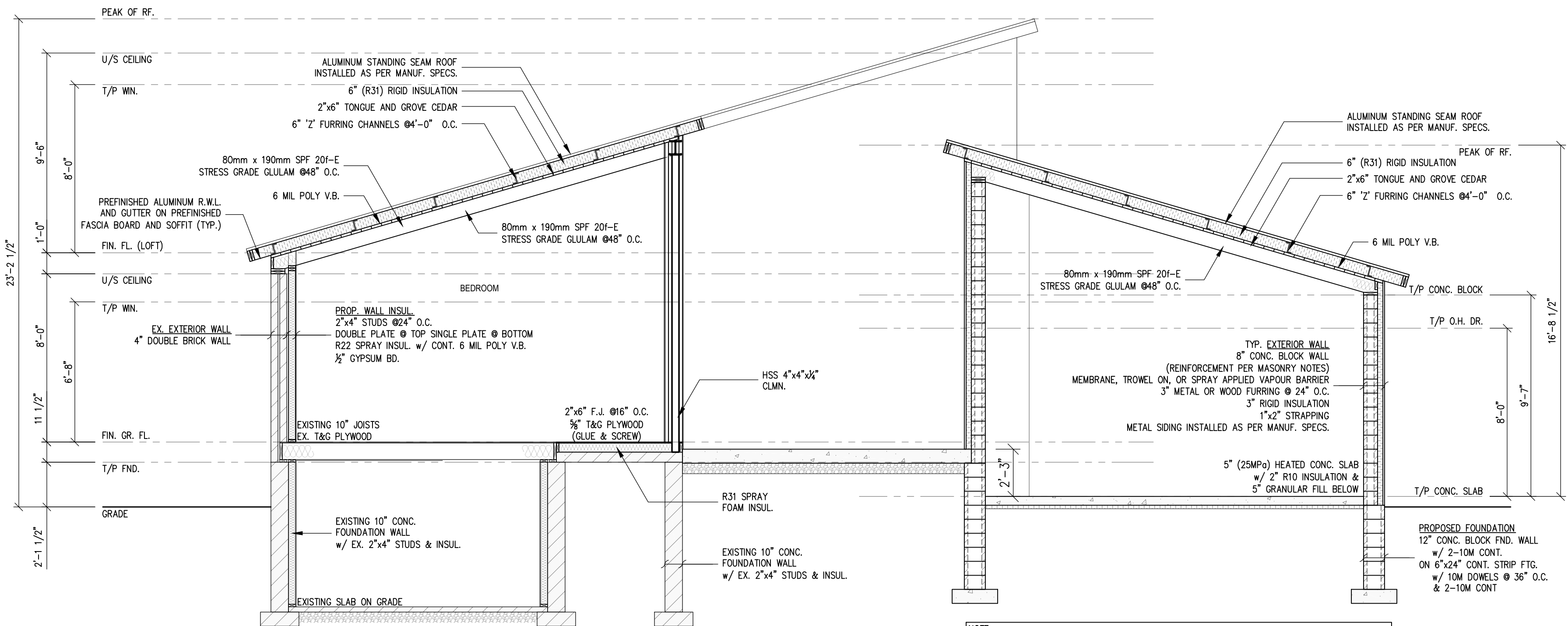
PROJECT NO.

19-290

SHEET NO.

A1.11

7



1

SECTION THROUGH PORCH

Scale: 1/4" = 1'-0"

NOTE:
FASTEN NEW CONCRETE STRIP FOOTING TO EXISTING CONCRETE STRIP FOOTING USING (3) 18"lg 10M DOWELS AT 16"O.C. EPOXY BARS 6" INTO EXISTING FOOTING USING HILTI HIT HY 200 EPOXY OR EQUIVALENT WITH 3" CLEAR COVER FROM UNDERSIDE OF STRIP FOOTING. FASTEN NEW CONCRETE FOUNDATION WALL TO EXISTING CONCRETE BLOCK FOUNDATION WALL USING 18"lg 10M DOWELS AT 16" O.C. VERTICALLY (EVERY SECOND BLOCK COURSE). FULLY GROUT CORES AT DOWEL LOCATIONS OR EPOXY BARS WITH HILTI HIT HY 70 EPOXY.

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DRAWING TITLE

SECTION

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CHECKED	ZL



PROJECT NO.

19-290

SHEET NO.

A1.12

7



Scale: 1/4" = 1'-0"



Scale: 1/4" = 1'-0"



GENERAL

- THE DESIGN AND CONSTRUCTION OF ALL WORK ON THIS PROJECT IS TO CONFORM TO THE ONTARIO BUILDING CODE – 2012 INCLUDING ALL AMENDMENTS, AND THE RELEVANT LISTED CSA STANDARDS INCLUDING THE LATEST REVISIONS.
- READ STRUCTURAL DRAWINGS IN CONJUNCTION WITH ALL RELEVANT ARCHITECTURAL AND SERVICES DRAWINGS AND OTHER CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONED DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- DO NOT EXCEED DESIGN LIVE LOAD DURING CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS – O.REG. 213/91.
- SITE VISITS AND REVIEWS BY THE DESIGN ENGINEER OR REPRESENTATIVE ARE INTENDED FOR THE PURPOSE OF ASCERTAINING GENERAL CONFORMANCE WITH THE DESIGN CONCEPT. THE SITE REVIEWS DO NOT MEAN THAT THE DESIGN ENGINEER HAS SEEN ALL OF THE CONSTRUCTION OR CONSTRUCTION PROCEDURES.
- REVIEW OF CONSTRUCTION BY THE DESIGN ENGINEER DOES NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY FOR ERRORS AND OMISSIONS AND FOR MEETING ALL THE REQUIREMENTS OF THE CONSTRUCTION AND CONTRACT DOCUMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY COSTS ASSOCIATED WITH THE REMOVAL OF FINISHES REQUIRED FOR INSPECTIONS OR TESTING THAT IS COVERED BEFORE INSPECTIONS ARE COMPLETED.
- SUBSTITUTIONS FROM SPECIFIED PRODUCTS AND MATERIALS MUST BE APPROVED BY THE ENGINEER PRIOR TO ORDERING OF MATERIALS. THE CONTRACTOR SHALL REIMBURSE ALL CONSULTANT FOR ADDITIONAL COSTS INCURRED AS A RESULT OF REVIEWING ANY CHANGES MADE TO THE CONTRACT DOCUMENTS.
- IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO DESIGN ALL SHORING AND TEMPORARY BRACING PER O.REG 213/91 AND THE CONTRACTOR SHALL RETAIN AN ENGINEER AS REQUIRED.

FOUNDATIONS

- ALL FOOTINGS SHALL BE FOUNDED ON NATURALLY CONSOLIDATED UNDISTURBED SOIL CAPABLE OF SUSTAINING A LOAD (SEE PLAN) AT LEAST 2'-6" (750 MM) BELOW ORIGINAL (NOT FILL) GRADE.
- FOOTING ELEVATIONS ARE BASED ON ESTIMATE ONLY, IF UPON EXCAVATING TO THE SPECIFIED ELEVATIONS IT IS FOUND THAT THE ABOVE CONDITIONS ARE NOT MET OR THAT THEY HAVE BEEN MET AT HIGHER ELEVATIONS, THE FOOTING ELEVATION MAY BE ADJUSTED WITH THE ENGINEER'S PERMISSION.
- MINIMUM DEPTH FOR EXTERIOR FOOTINGS IS 4'-0" (1200 MM) BELOW FINISHED GRADE.
- CENTER ALL CAPS AND FOOTINGS UNDER COLUMNS EXCEPT AS NOTED OTHERWISE ON THE PLANS.
- DURING COLD WEATHER, PROTECT SOIL BENEATH AND ADJACENT TO FOOTINGS FROM FREEZING.
- UNLESS SPECIFIED BY THE ENGINEER, DO NOT EXCEED A RISE OF 7" IN A RUN OF 10" IN THE LINE OF SLOPE BETWEEN ADJACENT FOOTINGS EXCAVATIONS OR ALONG STEPPED FOOTINGS. USE STEPS NOT EXCEEDING 500MM (24") IN HEIGHT AND NOT LESS THAN 1200 MM (48") IN LENGTH.
- WHERE NECESSARY, THE CONTRACTOR SHALL LOWER FOOTINGS TO ACCOMMODATE DRAIN LINES, ETC.
- DO NOT PLACE BACKFILL AGAINST WALLS RETAINING EARTH (UNLESS DESIGNED FOR CANTILEVER) UNTIL FLOOR CONSTRUCTION AT TOP AND BOTTOM OF THE WALLS IS POURED AND SET.
- BACKFILLING AGAINST FOUNDATION WALLS TO BE DONE SO THAT THERE IS NEVER MORE THAN 1'-6" (450 MM) DIFFERENCE IN LEVEL, ONE SIDE TO THE OTHER, EXCEPT AS NOTED IN PARAGRAPH 8, ABOVE.
- WHERE SLAB ON GRADE IS USED TO TIE THE TOP OF THE WALL RETAINING EARTH, ADEQUATE SHORING AND BRACING MUST BE PROVIDED WHILE FILL IS BEING PLACED AND COMPACTED, AND MUST BE LEFT IN PLACE UNTIL SLAB IS POURED AND GAINED 75% OF ITS ULTIMATE STRENGTH.
- ANCHOR ALL CONCRETE BLOCK FOUNDATION WALLS TO CONCRETE PIERS WITH 2-10M X 4'-0" (1200MM) EVERY SECOND BLOCK COURSE. CAVITIES WITH BARS FILLED SOLID WITH GROUT.
- ALL WALL FOOTING 4" (100MM) PROJECTION AND 8" (200MM) DEPTH UNLESS NOTED OTHERWISE ON PLANS.

CLADDING

- ALL APPLICATIONS OF CLADDING SHALL CONFORM TO SECTION 9.27 OF THE ONTARIO BUILDING CODE (2012).
- INSTALLATION OF CLADDING SHALL CONFORM TO THE MANUFACTURERS SPECIFICATIONS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING;
 - SEALING
 - FASTENING
 - AIR GAPS
 - OVERLAPS
 - PENETRATIONS

CONCRETE

- ALL CONCRETE WORK TO CONFORM TO CSA STANDARDS A23.1-14, A23.2-14, & A23.3-14
- CONCRETE FLOOR AND FOUNDATIONS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 25 MPA AT 28 DAYS UNLESS NOTED OTHERWISE ON PLANS.
- ALL REINFORCING STEEL SHALL CONFORM TO CSA SPECIFICATION G30.18-M92 GRADE 400. FOR CONCRETE PROTECTION TO BARS SEE PLAN.
- SPACING AND CONCRETE COVER FOR REINFORCING STEEL SHALL CONFORM TO CSA A23.1 & CSA A23.2 UNLESS NOTED OTHERWISE;
 - CONCRETE CAST AGAINST EARTH: 75MM (3")
 - PIERS AND WALL: 40MM (1½")
 - EXPOSED TO DE-ICING CHEMICALS: 60MM (2½")
 - INTERIOR SLABS AND BEAMS: (1½")
- CONCRETE PROPERTIES:
 - ALL CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 25 MPA MINIMUM UNLESS OTHERWISE SPECIFIED.
 - EXTERIOR CONCRETE SLABS TO BE CLASS C-2 CONCRETE (28 DAY COMPRESSIVE STRENGTH OF 32 MPA) WITH AIR ENTRAINMENT.
 - INTERIOR CONCRETE SLABS SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 25 MPA, 0.55 MAX. WATER-CEMENT RATIO.
 - CONCRETE MIX DESIGN SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO USE AT JOB SITE.
- LAP ALL REINFORCING BARS AT LEAST 20 DIAMETERS OR MINIMUM OF 1'-0" (300 MM) UNLESS NOTED OTHERWISE ON ALL PLANS.
- SLUMP OF CONCRETE TO BE 75 MM ± 25 MM (3" ± 1") OR AS OTHERWISE SPECIFIED. CONCRETE WITH 110 MM (4½") SLUMP OR MORE IS TO BE REJECTED.
- ALL OPENINGS IN CONCRETE SLAB OR WALLS SHALL BE TRIMMED WITH 2-15 BARS; HEAD, JAMBS, AND SILL. ALSO SEE DETAILS.
- ALL PRECAST CONCRETE SLAB DESIGN, FABRICATION AND ERECTION TO BE IN ACCORDANCE WITH CSA A23.4-16.
- INSTALL ANCHOR BOLTS OR MISCELLANEOUS ITEMS SUPPLIED BY OTHERS FOR INSTALLATION IN THE CONCRETE WORK.
- CONTROL JOINTS: IN CONCRETE SLABS ON GRADE, MAXIMUM SPACING 25'-0" (7500MM) AREAS NOT TO EXCEED 625 FT² IN FOUNDATION WALLS MORE THAN 82' (25M) LONG AT INTERVALS NOT TO EXCEED 49'-9" (15 M).

TIMBER

- ALL WOOD MATERIALS, FABRICATION, BRACING, AND ERECTION PROCEDURES TO BE IN ACCORDANCE WITH CSA 086-14. ALL TIMBER GRADING TO BE IN ACCORDANCE WITH NLGA.
- ALL TIMBER FOR RAFTERS, LINTELS, AND BEAMS TO BE SPF #2 UNLESS NOTED ON PLAN.
- ALL TIMBER SHALL CONFORM TO RECOGNIZE NOMINAL SIZES SHOWN ON PLAN AND STRESS RATINGS FOR APPROPRIATE SPECIES. NO TIMBER SHALL BE USED THAT DOES NOT CONFORM TO DIMENSIONS AND SPECIES.
- MINIMUM NUMBER OF FASTENERS PER OBC 9.23.3.4
- THE USE OF AIR NAILS ARE ACCEPTABLE TO SUBSTITUTING 2-3" COMMON WIRE NAILS WITH 3-3"x120 PROSTRIP TYPE AIR NAILS
- ALL JOIST HANGERS TO BE HUS BY SIMPSON STRONG TIE OR APPROVED EQUIVALENT. USE HOT-DIPPED GALVANIZED FINISH STEEL FOR EXTERIOR WORK.
- SHEATHING
 - ROOF SHEATHING: ½" PLYWOOD
 - EXTERIOR WALLS: ½" EXTERIOR TYPE PLYWOOD
- ALL SHEATHING SHALL BE FASTENED TO THE STUD FRAMING WITH MINIMUM 3" COMMON NAILS AT 12" O.C. IN THE FIELD, AND AT 6" O.C. AT SUPPORTED EDGES. REFER TO PLANS FOR ALL ADDITIONAL SHEAR WALL/DIAPHRAGM BLOCKING AND NAILING.
- BOLTS AND THREADED RODS TO BE A307 OR 300W GRADE
- ALL WOOD TO BE PRESSURE TREATED MATERIAL PER CAN/CSA-080 "WOOD PRESERVATION" INCLUDING BUT NOT LIMITED TO THE FOLLOWING LOCATIONS:
 - INSTALLED EXTERIOR TO BUILDING
 - INCORPORATED WITH ROOFING SYSTEMS
 - INSTALLED AT EXTERIOR IN CONTACT WITH ROOFING SYSTEM
 - INSTALLED IN CONTACT WITH CONCRETE AND MASONRY.

STRUCTURAL STEEL

- CONFORM TO THE REQUIREMENTS ON CAN/CSA S16-14.
- G40.20-04 / G40.21-04 (R2009) GENERAL REQUIREMENTS FOR ROLLED OR WELDED STRUCTURAL QUALITY STEEL / STRUCTURAL QUALITY STEEL
- CISC CANADIAN INSTITUTE OF STEEL CONSTRUCTION HANDBOOK OF STEEL CONSTRUCTION, 11TH EDITION
- CODE OF STANDARD PRACTICE FOR STRUCTURAL STEEL
- W47.1-09 (R2014) CERTIFICATION OF COMPANIES FOR FUSION WELDING OF STEEL
- CSA W59.1-13 WELDED STEEL CONSTRUCTION (METAL ARC WELDING). ELECTRODES TO BE E49XX.

SLAB ON GRADE

- PRIOR TO CONSTRUCTION OF A SLAB-ON-GRADE, ALL TOPSOIL SOFT OR OTHERWISE COMPRESSIBLE MATERIAL MUST BE REMOVED FROM THE GROUND SURFACE. THE SLAB MUST BE CONSTRUCTED ON A MINIMUM THICKNESS OF 6 INCHES OF GRANULAR 'A' OR CRUSHED STONE FILL (¾" MAX). THE GRANULAR BASE MUST BE COMPACTED TO AT LEAST 95% OF ITS MAXIMUM STANDARD PROCTOR DRY DENSITY TO PROVIDE A UNIFORM SUPPORT FOR THE SLAB.
- IF THERE IS EXISTING SILTY CLAY SUBSOIL, IT IS NOT CONSIDERED SUITABLE FOR RE-USE AS BACKFILL FOR INTERIOR FOOTING EXCAVATIONS, AND IT IS RECOMMENDED THAT APPROVED GRANULAR PIT-RUN MATERIAL BE USED FOR THIS PURPOSE. INTERIOR FOOTING BACKFILL MUST ALSO BE COMPACTED TO 95% OF ITS MAXIMUM STANDARD PROCTOR DRY DENSITY TO RECLUDE DIFFERENTIAL SETTLEMENT BELOW THE FLOOR SLABS.
- PLACE SLAB ON GRADE MATERIAL CAPABLE OF SUSTAINING 500 PSF (24KN/M²) WITHOUT SETTLEMENT RELATIVE TO THE BUILDING FOOTINGS.

MASONRY

- CONCRETE BLOCK: TYPE N/15/A/M WITH NOMINAL FACE DIMENSIONS 400MM X 200MM CONFORMING TO CSA SERIES-04 UNLESS NOTED OTHERWISE. ALL MASONRY CONSTRUCTION SHALL CONFORM TO CSA STANDARD A179-04, A370-04, & A371-04
- MORTAR: TYPE S TO CSA A179-04, FULL BLOCK BED.
- REINFORCING STEEL: GRADE 400 TO CSA-G30.18-M92.
- GROUT: F'C = 2000 PSI (15 MPA), MAX SLUMP 7" (175MM), ¾" (10MM) AGGREGATE TYPE S MORTAR AT 7" (175MM) SLUMP.
- HORIZONTAL REINFORCEMENT: TRUSS TYPE WITH 4MM (8 GA.) SIDE WIRES. PROVIDE AT EVERY SECOND COURSE & COURSE AT TOP AND BOTTOM OF OPENINGS. USE "CORNER-LOK" AT ALL WALL INTERSECTIONS.

VERTICAL REINFORCEMENT: 1-20M @ 4'-0" (1200MM) O.C. MAX INTO GROUTED CORES, U.N.O. PROVIDE VERTICAL REINFORCEMENT AT ALL CORNERS, WALL ENDS AND SIDES OF ALL OPENINGS, AND AT ALL BEAM AND LINTEL BEARING ENDS.

LAP 15M - 24" (600MM), 20M - 32" (800MM). PROVIDE FERRO SHEAR TIES @ EXTERIOR BRICK VENEER WALLS WHERE SHOWN ON PLANS WITH SPACING'S AS SHOWN ON PLANS.
- INTERLOCK ALTERNATE BLOCKS AT CORNERS AND WALL SECTIONS OR PLACE 1½"x¼"x24" (38X6X610MM) DOUBLE HOOK GALVANIZED STEEL TIES AT 16" (400MM) O.C. VERTICALLY.
- LINTELS (UNLESS NOTED OTHERWISE U.N.O) MINIMUM BEARING LENGTH 300MM.
 - 2 COURSES WITH BLACK VOIDS FILLED SOLID BY CONCRETE GROUT.
 - SEE PLANS, CO-ORDINATE WITH HVAC DRAWINGS AND USE MIN. AT ALL WALL OPENINGS.
- VENEER TIES AT 32" (800MM) O.C. AT EVERY SECOND COURSE AND BE HOT DIP GALVANIZED.
- PROVIDE KEYED CONTROL JOINTS TO MATCH CONTROL JOINTS IN CONCRETE FOUNDATION WALLS OR AS INDICATED ON ARCHITECTURAL DRAWINGS. MAXIMUM SPACING 23'-0" (7M) O.C. RUN ALL REINFORCING THROUGH JOINT. CAULK VERTICAL EXTERIOR JOINT, FULL HEIGHT FOR BRICK, STONE AND BLOCK.
- PROVIDE STEEL STRAP PLATE 1½"x¼"x20" WITH 2" HOOKS @ 16" C/C WHERE MASONRY BUTTS AGAINST CONCRETE OR STRUCTURAL STEEL.
- PROVIDE KNOCK-OUT TYPE BOND BEAMS AT LOCATIONS SHOWN ON DRAWINGS, REINFORCE 1-20M REINFORCING BAR, UNLESS DETAILED OTHERWISE. CONCRETE GROUT THE FULL DEPTH OF BOND COURSES.
- CONTINUE BOND BEAM REINFORCING THROUGH CONTROL JOINTS AND AROUND CORNERS.
- CONTINUE ALL VERTICAL REINFORCING THROUGH BOND BEAMS, LINTELS, ETC. TO WITHIN 2" (50 MM) FROM THE TOP OF WALL.
- PROVIDE CONTINUOUS L3"x3"x¼" (L76X76X6.4) TO U/S OF DECK AT TOP OF PARTITION WALLS.
- UNLESS OTHERWISE NOTED, MINIMUM BEARING PLATE FOR BEAMS 10X5.5X9MM AND 2-15M WELDED RODS 400X50MM HOOK TO BLOCK VOIDS.
- CELLS TO BE REINFORCED SHALL BE KEPT CLEAN OF MORTAR.

- PROVIDE REINFORCING DOWELS INTO FOUNDATIONS (WHERE INDICATED) TO MATCH VERTICAL REINFORCING IN BLOCK WALLS.
 - LAPS:
 - 12" - WIRE REINFORCING
 - 24" - 10M
 - 30" - 15M
 - 35" - 20M
 - 44" - 25M
- FILL CELLS CONTAINING VERTICAL REINFORCING AND BOLTS WITH CONCRETE GROUT USING ¾" AGGREGATE AND PROVIDE A 10" SLUMP, VIBRATE OR PUDDLE TO FILL CELLS COMPLETELY. FILL CELLS IN 5'-0" LIFTS.
- REINFORCE LINTEL BLOCKS WITH 2-15M BARS U.N.O. AND FILL WITH GROUT.

THESE DESIGN DOCUMENTS ARE PREPARED SOLELY FOR THE USE BY THE PARTY WITH WHOM THE DESIGN PROFESSIONAL HAS ENTERED INTO A CONTRACT AND THERE ARE NO REPRESENTATIONS OF ANY KIND MADE BY THE DESIGN PROFESSIONAL TO ANY PARTY WITH WHOM THE DESIGN PROFESSIONAL HAS NOT ENTERED INTO A CONTRACT.

DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY ERRORS AND OMISSIONS TO THE ENGINEER. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS MARKED AS "ISSUED FOR CONSTRUCTION", CERTIFIED AND DATED.

REV.	DATE	REMARKS
7	11JAN21	REVISED PER COMMENTS
6	03DEC20	REVISED LOT PLAN
5	16NOV20	REVISED LOT PLAN

ZOLTANENGINEERING

25-4380 SOUTH SERVICE ROAD
BURLINGTON, ON L7L 5Y6
(905) 331 - 8307
WWW.ZOLTANENGINEERING.COM

PROJECT TITLE

VARGA RESIDENCE
ADDITION & RENOVATION

193 COLLEEN CRESCENT
ANCASTER, ON, L9G 1J2

DRAWING TITLE

NOTES

SCALE	AS NOTED
DATE	11JAN21
DRAWN	TV
DESIGNED	ZL
CHECKED	ZL



PROJECT NO.

19-290

SHEET NO.

A1.14



APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS
Registered Owners(s)	GEORGE VARGA	
Applicant(s)*	THOMAS LUKACS ZOLTAN ENGINEERING INC.	
Agent or Solicitor	Gerrit Vander Meulen ZOLTAN ENGINEERING INC.	

Note:

Unless otherwise requested all communications will be sent to the agent, if any.

Please mail the sign directly to the owner for them to post. Please direct all email communication to gerrit@zoltanengineering.com

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Garage addition to existing building does not meet maximum setback of 15.8m.
Proposed maximum setback is 18.7m.
5. Why it is not possible to comply with the provisions of the By-law?

Different by-law requirements conflicting each other. Our proposed front yard setback is 18.7m, 2.9m over this requirement. If garage was extended by the 2.9m in order to meet this requirement, then we are conflicting another requirement: "attached garage projection max. 2.0m beyond front facade" which is currently taken into consideration (1.8m).
6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

193 COLLEEN CRESCENT, ANCASTER, ON, L9G 1J2
7. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐
Agricultural ☐ Vacant ☐

Other _____
- 8.1 If Industrial or Commercial, specify use _____
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes ☐ No ☒ Unknown ☐
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes ☐ No ☒ Unknown ☐
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes ☐ No ☒ Unknown ☐
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes ☐ No ☒ Unknown ☐
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes ☐ No ☒ Unknown ☐
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes ☐ No ☒ Unknown ☐
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes ☐ No ☒ Unknown ☐
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
Yes ☐ No ☒ Unknown ☐

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☒ Unknown ☐

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Information provided by owner

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☒

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

2021 Jan 22
Date

George Varga
Signature Property Owner

GEORGE VARGA
Print Name of Owner

10.	Dimensions of lands affected:	
	Frontage	<u>25.72 m</u>
	Depth	<u>61m</u>
	Area	<u>1316 m2</u>
	Width of street	<u>6 m</u>

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:_
Dwelling: 10.4m to front, 3.7m and 7.8m to side, 28m to rear.
Detached Garage: 34.4m to front, 1m and 15.1m to side, 18.6m to rear.

Proposed
Dwelling with attached garage: 18.7m to front (garage), 2.6m to side (garage), and 32.6m to rear (garage)

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:
Dwelling: 10.4m to front, 3.7m and 7.8m to side, 28m to rear.
Detached Garage: 34.4m to front, 1m and 15.1m to side, 18.6m to rear.

Proposed:
Dwelling with attached garage: 18.7m to front (garage), 2.6m to side (garage), and 32.6m to rear (garage)

13. Date of acquisition of subject lands:
2002 Dec 14
14. Date of construction of all buildings and structures on subject lands:
1956
15. Existing uses of the subject property:
Residential dwelling
16. Existing uses of abutting properties:
Residential dwellings
17. Length of time the existing uses of the subject property have continued:
Since construction of the house.
18. Municipal services available: (check the appropriate space or spaces)
Water Yes Connected _____
Sanitary Sewer Yes Connected _____
Storm Sewers Yes
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
21. Has the owner previously applied for relief in respect of the subject property?
☐ Yes ☒ No
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
☐ Yes ☒ No
23. Additional Information
Minor variance required as part of building permit application
#20-168415-000-00-R9
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.