



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: FL/A-21:72

APPLICANTS: Owners J. & B. Pelletier

SUBJECT PROPERTY: Municipal address **17 Summit, Flamborough**

ZONING BY-LAW: Zoning By-law 90-145-Z, as Amended

ZONING: R1-14 district (Urban Residential Zone)

PROPOSAL: To permit the construction of a new one storey addition to the existing single detached dwelling notwithstanding that:

1. A maximum floor area of 195.0m² shall be provided instead of the maximum permitted floor area of 167.2m² for 1-storey dwellings.

NOTES:

- i. Please be advised that a site plan has not been submitted. As such, a comprehensive zoning review could not be conducted at this time and further variances may be required if zoning compliance cannot be achieved. This variance has been written as requested by the applicant.

This application will be heard by the Committee as shown below:

DATE: Thursday, March 18th, 2021
TIME: 1:20 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

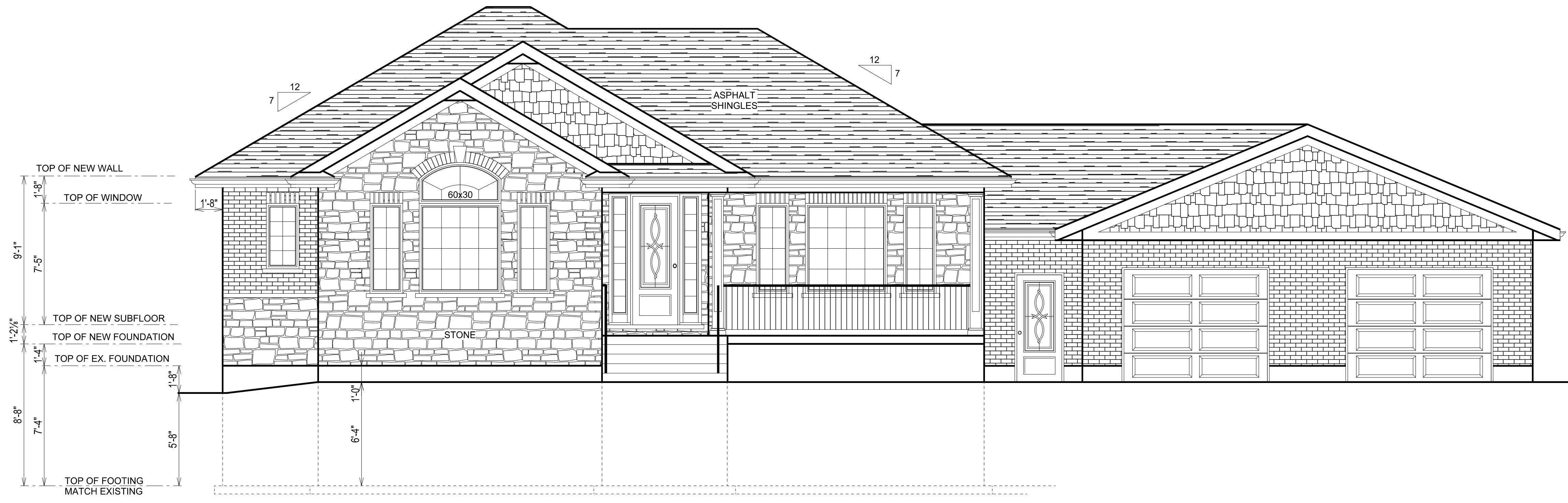
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

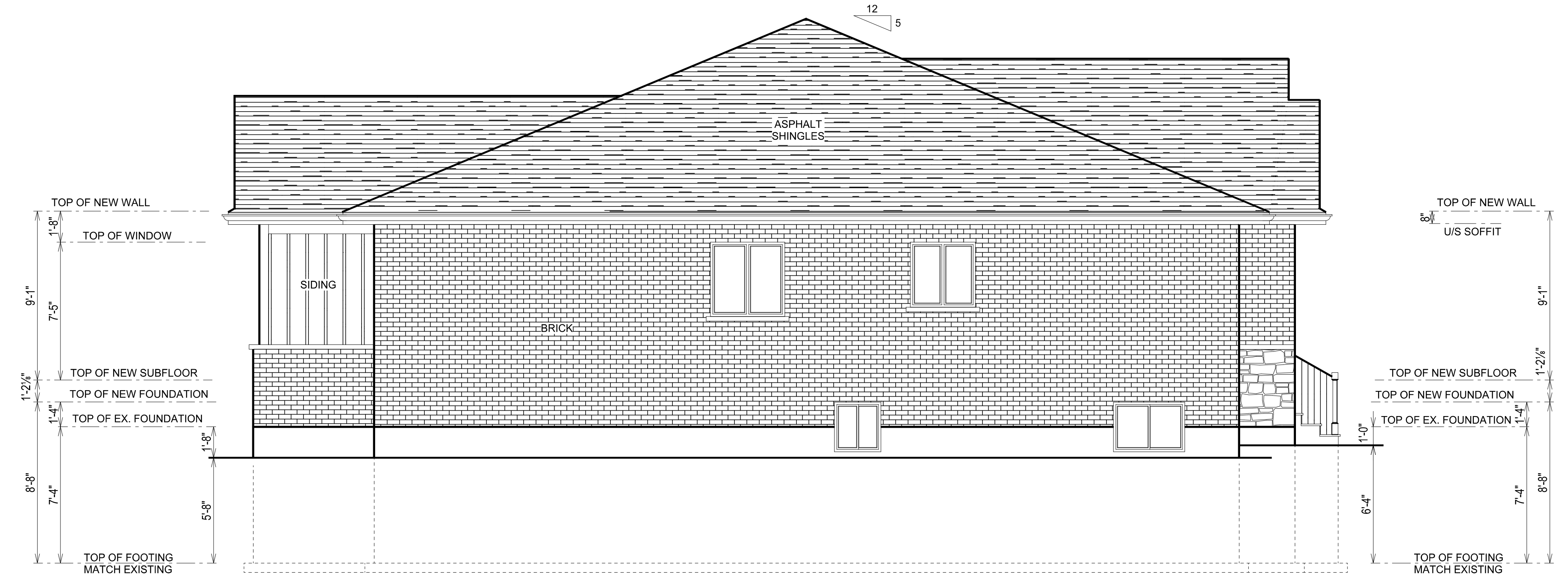
DATED: March 2nd, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



FRONT ELEVATION 1/4"=1'0"



LEFT ELEVATION 1/4"=1'0"

STANDARD NOTES:

THESE PLANS FORM THE BASIS FOR PERMIT ISSUANCE AND ANY DEVIATIONS FROM THESE PLANS AND DETAILS, INCLUDING THE VENTILATION SYSTEM, HEATING SYSTEM, WOODSTOVE, FIREPLACES, DECKS, BALCONIES AND FINISHED BASEMENTS, WILL REQUIRE A REVISED DRAWING AND CLEARANCE BY THE BUILDING DEPARTMENT.

CANADIAN HOME DESIGNS IS NOT RESPONSIBLE FOR ALL PRE-ENGINEERED STRUCTURES FOR THIS BUILDING. SEE PRE-ENGINEERED SHOP DRAWINGS FOR PROPER CONSTRUCTION.

ALL CONSTRUCTION AND MATERIALS MUST COMPLY TO THE LATEST EDITION OF THE ONTARIO BUILDING CODE.

SPECIFIC NOTES:



289.895.9671
WWW.CANADIANHOMEDESIGNS.COM

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1. of the building code

Clint Excell
NAME

SIGNATURE
36446

BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1. of the building code

Canadian Home Designs
NAME
37238
BCIN

JOB NUMBER:

AR318-19

PROJECT :

ADDITION

GROSS FLOOR AREA

2092 SQ.FT.

LOCATION:

17 SUMMIT DRIVE
WATERDOWN, ON

TITLE:

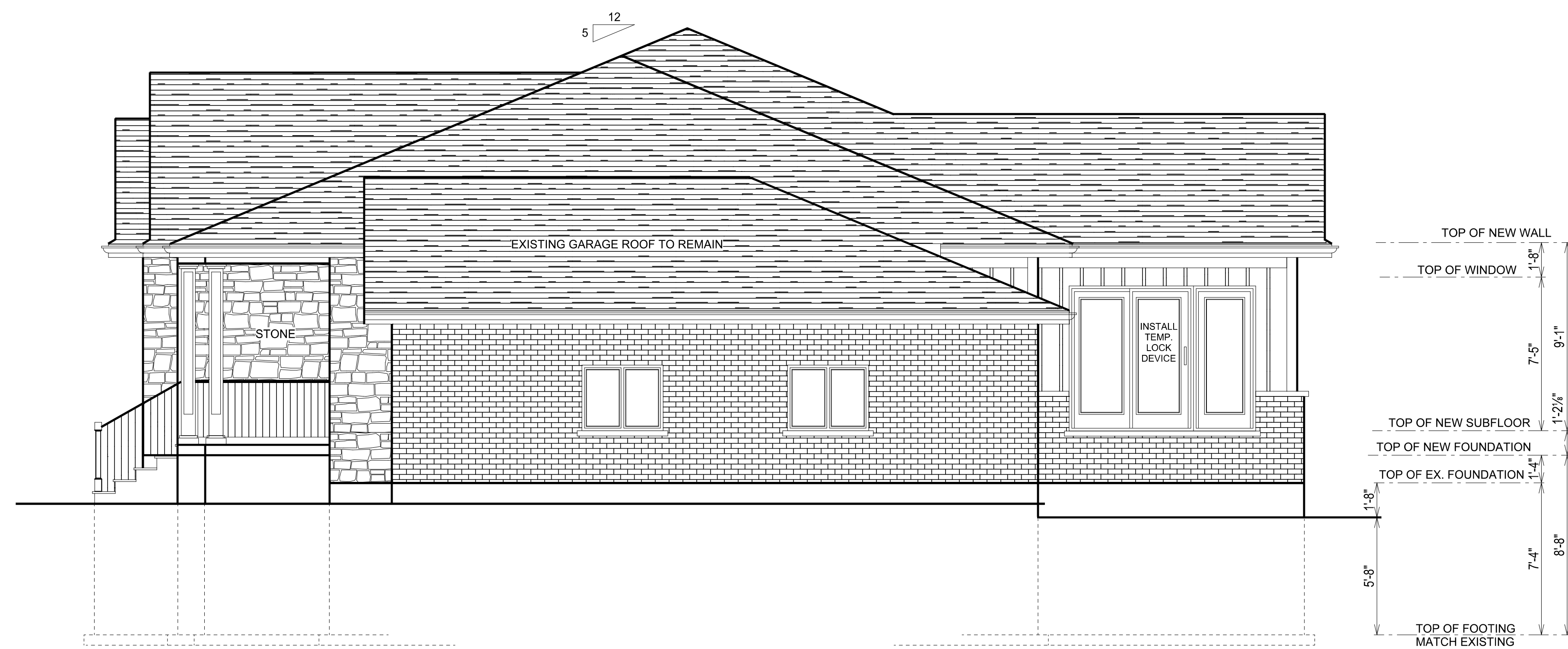
FRONT & LEFT
ELEVATIONS

DATE :

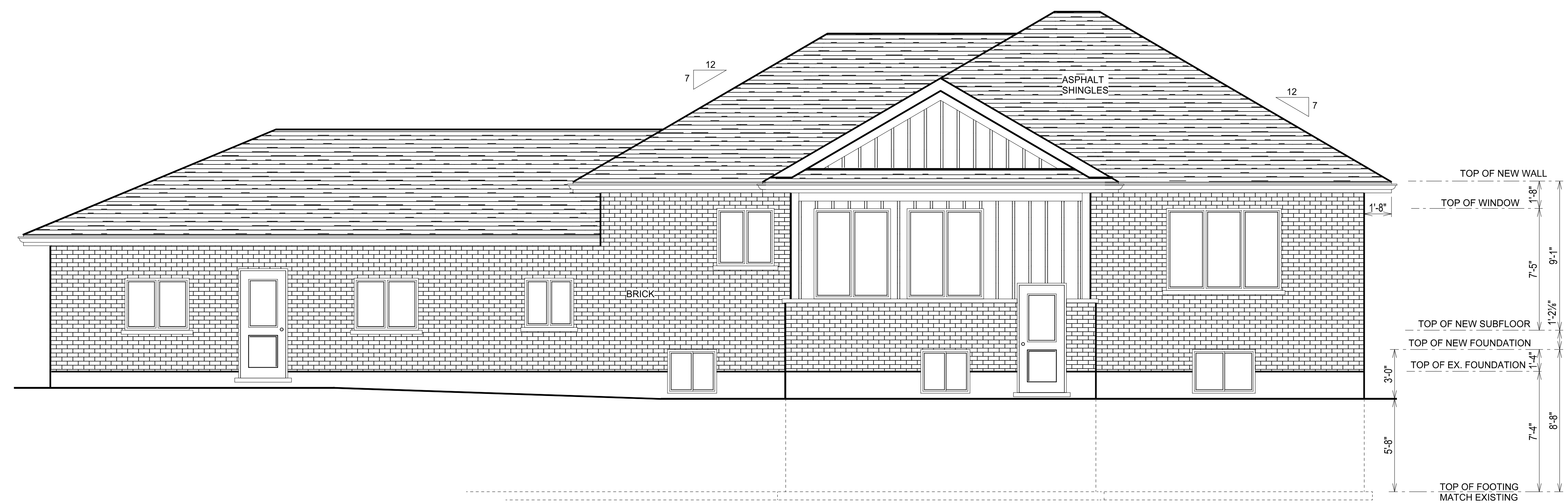
MAY 2020

PAGE:

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RIGHT ELEVATION 1/4"=1'0"



REAR ELEVATION 1/4"=1'0"

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RIGHT & REAR
ELEVATIONS

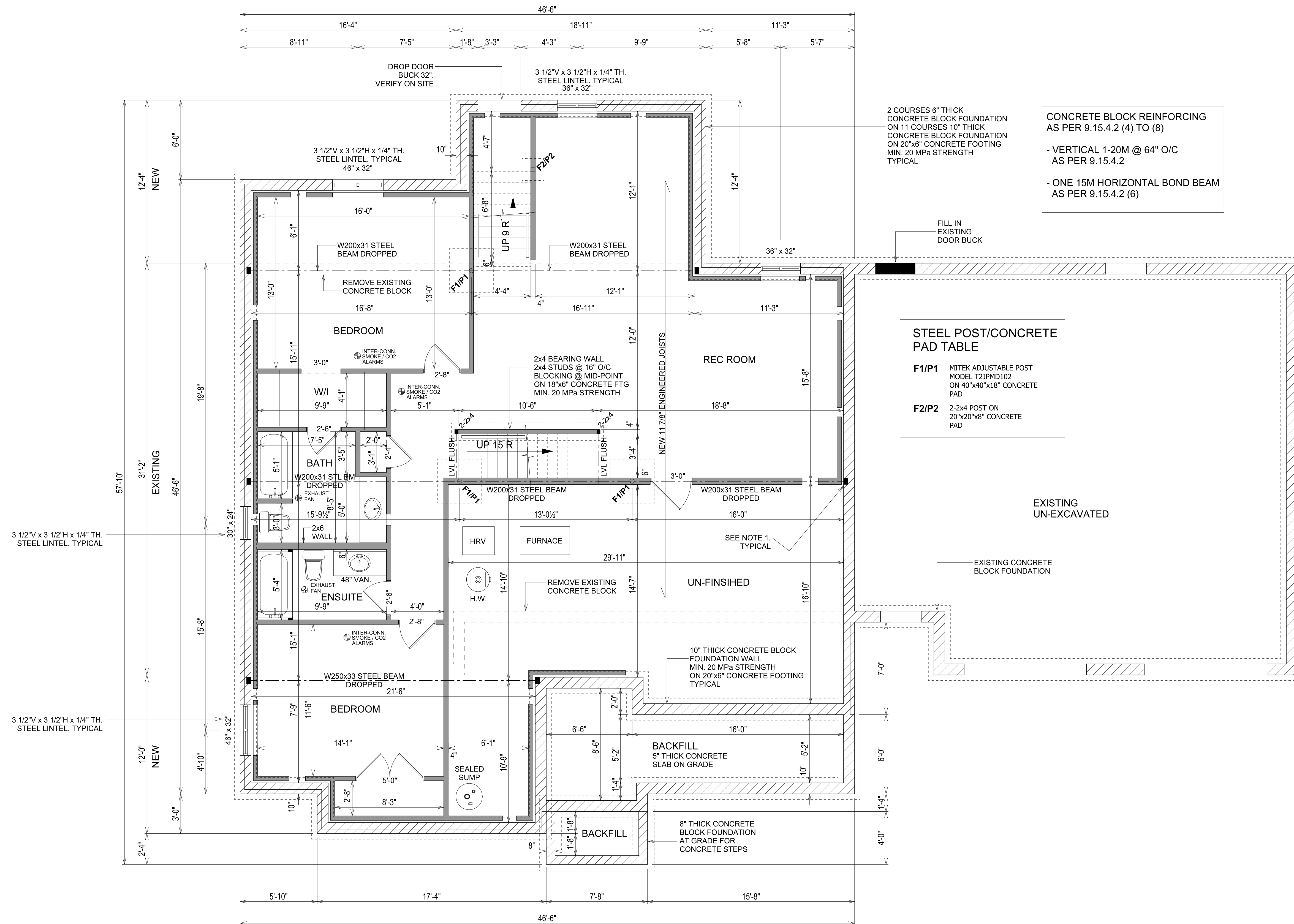
DATE :

MAY 2020

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FOUNDATION PLAN 1/4"=1'0"

FOUNDATION PLAN NOTES:

- | | | | | |
|---|---|--|---|---|
| 1. BASEMENT BEAM POCKET BEARING TO BE MIN. 3 1/2" AS PER 9.23.8.1 OF THE OBC. | 6. INTERIOR STAIR HEADROOM TO CONFORM TO 9.8.2.2 OF THE OBC | 10. OPTIONAL SUSPENDED CONCRETE SLAB AS PER 9.39.1 OF OBC TO BE 5" THICK C/W 10M REBAR @ 7 7/8" O/C EA. WAY. C/W 10M BENT DOWELS @ 23 5/8" O/C AT PERIMETER. | 13. SMOKE ALARMS SHALL BE LOCATED AS PER 9.10.19.3. OF THE OBC. | 17. VERIFY EXISTING GRADES & ALL FINISHED GRADES ON SITE. |
| 2. STAIR WIDTHS AS PER 9.8.2.1. OF THE OBC. | 7. SEE SUPPLIER ENGINEERING DATA FOR ALL PRE-ENGINEERED STEEL TELEPOSTS AND BEAMS, AND WOOD HEADERS, BEAMS, | 11. ALL WINDOW AND DOOR HEADERS SHALL BE #2 GRADE 2-2x10 UNLESS NOTED OTHERWISE ON THESE PLANS. | 14. SMOKE ALARMS SHALL BE WIRED SO THAT WHEN THE ALARM SOUNDS, ALL ALARMS SOUND AS PER 9.10.19.5. OF THE OBC. | 18. CONFIRM LOCATION AND DEPTH OF FOUNDATION WALL STEP DOWNS ON SITE. |
| 3. STAIR LANDINGS AS PER 9.8.6. OF THE OBC. | 8. PARING ON ALL EXPOSED VERTICAL CONCRETE SURFACES AS PER 9.15.6.2 OF THE OBC. | 12. ALL EXTERIOR CONCRETE FLATWORK TO BE MINIMUM 32 Mpa WITH 5% - 8% AIR ENTRAINMENT | 15. ALL ELECTRICAL TO CONFORM TO 9.34 OF THE OBC. | 19. ALL SUMP PIT COVERS MUST BE SEALED AS PER 9.14.5.2 (2). OF THE OBC. |
| 4. ALL STAIRS TO HAVE MINIMUM HORIZONTAL RUN OF 8 1/4", MINIMUM HORIZONTAL TREAD OF 9 1/4" AND MAXIMUM VERTICAL RISE OF 7 7/8". | 9. ALL BUILT UP BEAMS TO CONFORM TO 9.23.8.3 OF THE OBC. | | 16. PROVIDE WEEPER IN ALL WINDOW WELLS AND FILL IN WITH 3/4" CLEAR STONE. | 20. ALL EXHAUST FANS AS PER 9.32.3 OF THE OBC. |
| 5. HANDRAIL FOR INTERIOR STAIRS AS PER 9.8.7. OF THE OBC | | | | 21. FLOOR DRAIN TO BE LOCATED NEAR UTILITIES. VERIFY LOCATION WITH BUILDER. |

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SPECIFIC NOTES:

CONCRETE BLOCK REINFORCING
AS PER 9.15.4.2 (4) TO (8)

- VERTICAL 1-20M @ 64" O/C AS PER 9.15.4.2
- ONE 15M HORIZONTAL BOND BEAM AS PER 9.15.4.2 (6)

STEEL POST/CONCRETE PAD TABLE

F1/P1 MITEK ADJUSTABLE POST MODEL T2JPM102 ON 40"x40"x18" CONCRETE PAD

F2/P2 2-2x4 POST ON 20"x20"x8" CONCRETE PAD



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JOB NUMBER:

AR318-19

PROJECT :

ADDITION

GROSS FLOOR AREA

2092 SQ.FT.

LOCATION:

**17 SUMMIT DRIVE
WATERDOWN, ON**

TITLE:

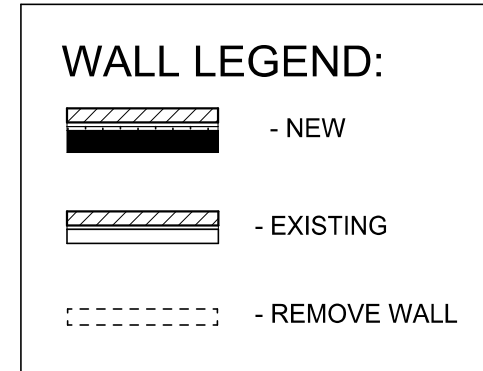
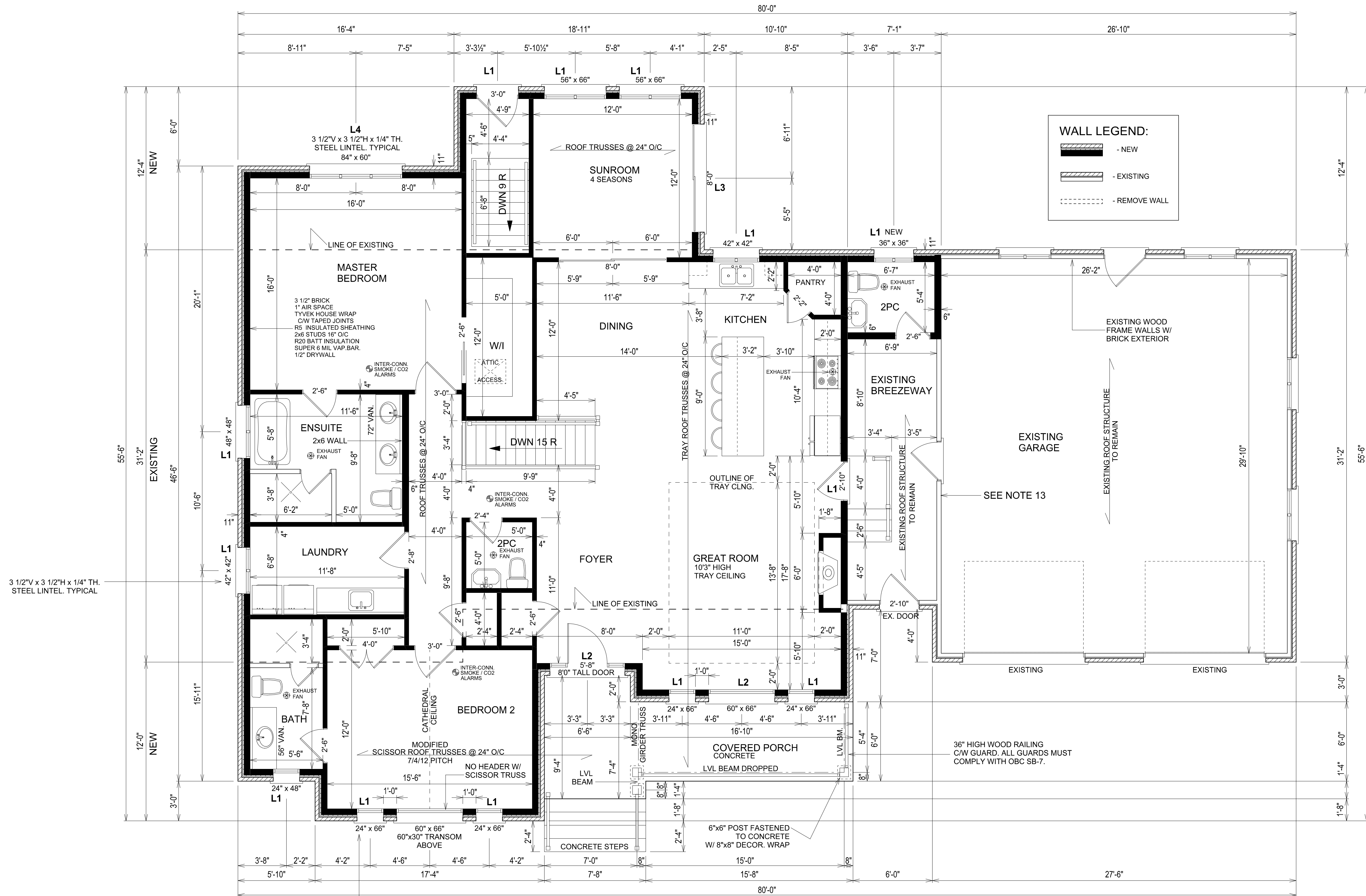
FOUNDATION PLAN

DATE :

MAY 2020

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- WINDOW & EXTERIOR DOOR HEADER TABLE**
- L1** -DOUBLE 2x10 SPRUCE
-SINGLE 2x6 JACKS EACH SIDE
-ENSURE SOLID BLOCKING BELOW TO ENSURE BEARING FROM FLOOR TO FLOOR DOWN TO FOUNDATION
 - L2** -DOUBLE 2x10 SPRUCE
-DOUBLE 2x6 JACKS EACH SIDE
-ENSURE SOLID BLOCKING BELOW TO ENSURE BEARING FROM FLOOR TO FLOOR DOWN TO FOUNDATION
 - L3** -TRIPLE 2x10 SPRUCE
-DOUBLE 2x6 JACKS EACH SIDE
-ENSURE SOLID BLOCKING BELOW TO ENSURE BEARING FROM FLOOR TO FLOOR DOWN TO FOUNDATION
 - L4** -ENGINEERED LVL HEADER
-TO BE SIZED BY SUPPLIER
-DOUBLE 2x6 JACKS EACH SIDE
-ENSURE SOLID BLOCKING BELOW TO ENSURE BEARING FROM FLOOR TO FLOOR DOWN TO FOUNDATION

SEE TRUSS PLANS PROVIDED BY TRUSS MANUFACTURER FOR ALL GIRDER TRUSS AND POST LOCATIONS

ALL COLUMNS SUPPORTING GIRDER TRUSS TO BE SAME WIDTH AS GIRDER TRUSS ABOVE

FLOOR PLAN 1/4"=1'0"
GROSS FLOOR AREA: 2092 SQ.FT.

FLOOR PLAN NOTES:

- ALL STAIRS TO HAVE MINIMUM HORIZONTAL RUN OF 8 1/4", MINIMUM HORIZONTAL TREAD OF 9 1/4" AND MAXIMUM VERTICAL RISE OF 7 7/8".
- STAIR WIDTHS AS PER 9.8.2.1. OF THE OBC.
- STAIR LANDINGS AS PER 9.8.6. OF THE OBC.
- HANDRAIL FOR INTERIOR STAIRS AS PER 9.8.7. OF THE OBC
- INTERIOR STAIR HEADROOM TO CONFORM TO 9.8.2.2 OF THE OBC
- SEE SUPPLIER ENGINEERING DATA FOR ALL PRE-ENGINEERED STEEL TELEPOSTS AND BEAMS, AND WOOD HEADERS, BEAMS, COLUMNS, AND WOOD I'S.
- ALL BUILT UP BEAMS TO CONFORM TO 9.23.8.3 OF THE OBC.
- PROVIDE ICE AND WATER SHIELD AT VALLEYS AND LOW SLOPE ROOFS PROVIDE EAVE PROTECTION AS PER 9.26.5 OBC.
- ALL COLUMNS SUPPORTING GIRDER TRUSS TO BE SAME WIDTH AS GIRDER TRUSS ABOVE
- PLUMBING NOTE:
- PRESSURE BALANCED OR THERMOSTATICALLY CONTROLLED MIXING VALVES FOR SHOWER UNITS (7.2.10.7)
- PRESSURE BALANCED OR THERMOSTATICALLY CONTROLLED MIXING VALVES FOR ALL FAUCETS OR WATER HEATER SOURCE (7.6.5.1)
- EXTERIOR DOORS TO BE STEEL, INSULATED, C/W WEATHER-STRIPPING AS PER 9.6.5. OF THE OBC.
- ENTRANCE DOOR FROM GARAGE TO BE STEEL, INSULATED, C/W WEATHER-STRIPPING AND SELF CLOSING DEVICE AS PER 9.10.13.15. OF THE OBC
- GAS SEAL GARAGE FROM HOUSE 1/2" DRYWALL MUD AND TAPED ON GARAGE SIDE
- SMOKE ALARMS SHALL BE LOCATED AS PER 9.10.19.3. OF THE OBC.
- SMOKE ALARMS SHALL BE WIRED SO THAT WHEN THE ALARM SOUNDS, ALL ALARMS SOUND AS PER 9.10.19.5. OF THE OBC.
- CARBON MONOXIDE DETECTORS REQUIRED FOR FUEL APPLIANCES (OBC 9.33.4.2), AS WELL AS ADJACENT TO EACH SLEEPING AREA.
- ALL CERAMIC & PLASTIC TILES INSTALLED ON WALLS AROUND BATHTUBS OR SHOWERS SHALL BE APPLIED OVER MOISTURE RESISTANT BACKING AS PER 9.29.10.4 OF THE OBC.
- ALL ELECTRICAL TO CONFORM TO 9.34 OF THE OBC.
- ALL EXTERIOR CLADDING AND EXTERIOR FLASHING TO BE INSTALLED AS PER 9.27 OF THE OBC.
- ALL EXHAUST FANS AS PER 9.32.3 OF THE OBC.
- VERIFY EXACT LOCATION OF POSTS AND ENGINEERED LVL HEADERS WITH TRUSS PLANS PROVIDED BY TRUSS MANUFACTURER. TYPICAL ALL LOCATIONS.

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ALL COLUMNS SUPPORTING GIRDER TRUSS TO BE SAME WIDTH AS GIRDER TRUSS ABOVE

CANADIAN HOME DESIGNS
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QUALIFICATION INFORMATION
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BCIN

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JOB NUMBER:
AR318-19

PROJECT :
ADDITION

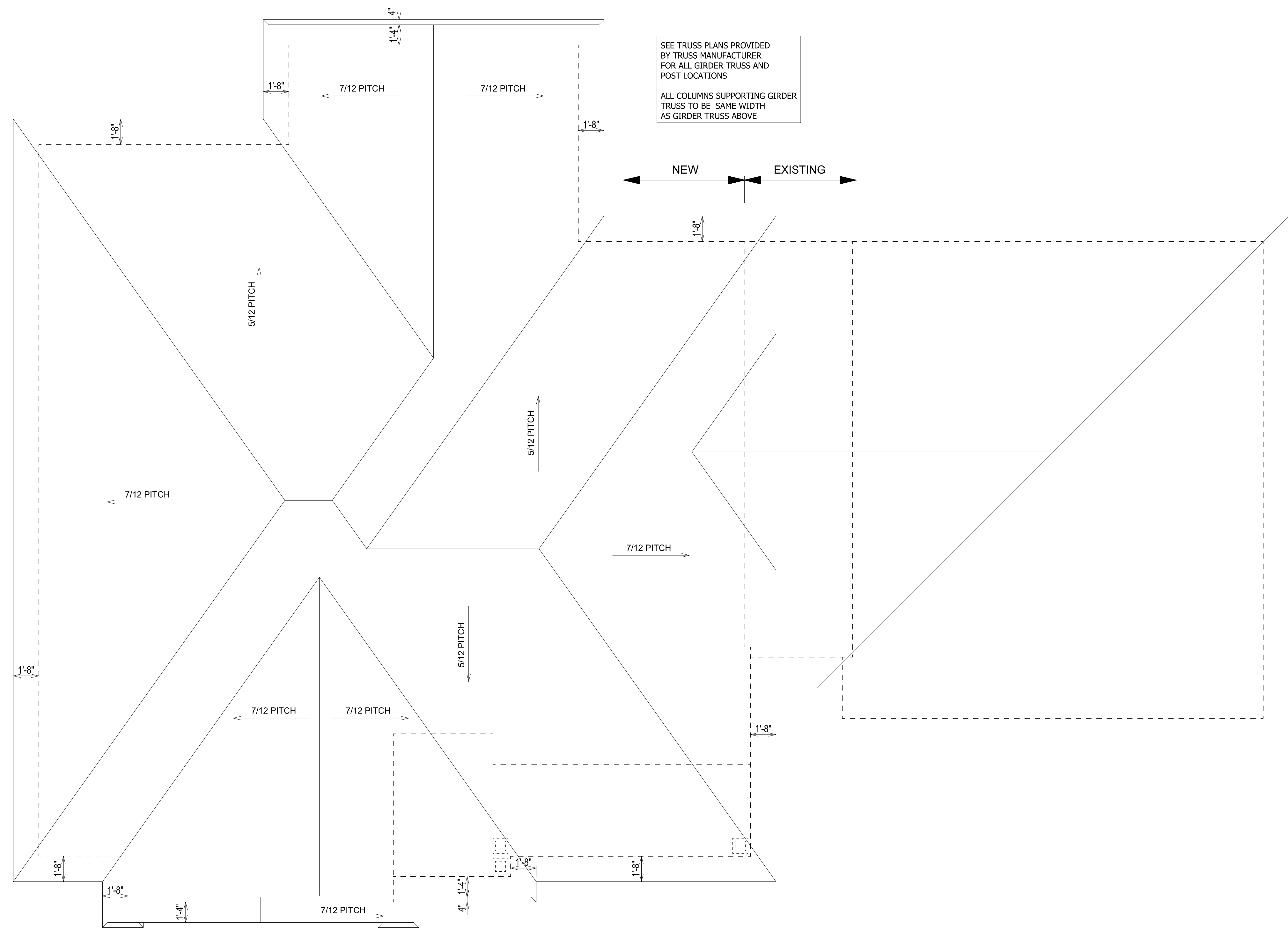
GROSS FLOOR AREA
2092 SQ.FT.

LOCATION:
17 SUMMIT DRIVE
WATERDOWN, ON

TITLE:
FLOOR PLAN

DATE :
MAY 2020

PAGE:
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PROVIDE ICE AND WATER SHIELD AT VALLEYS AND LOW SLOPE ROOFS
 PROVIDE EAVE PROTECTION AS PER 9.26.5 OBC.

ROOF PLAN 1/4"=1'0"

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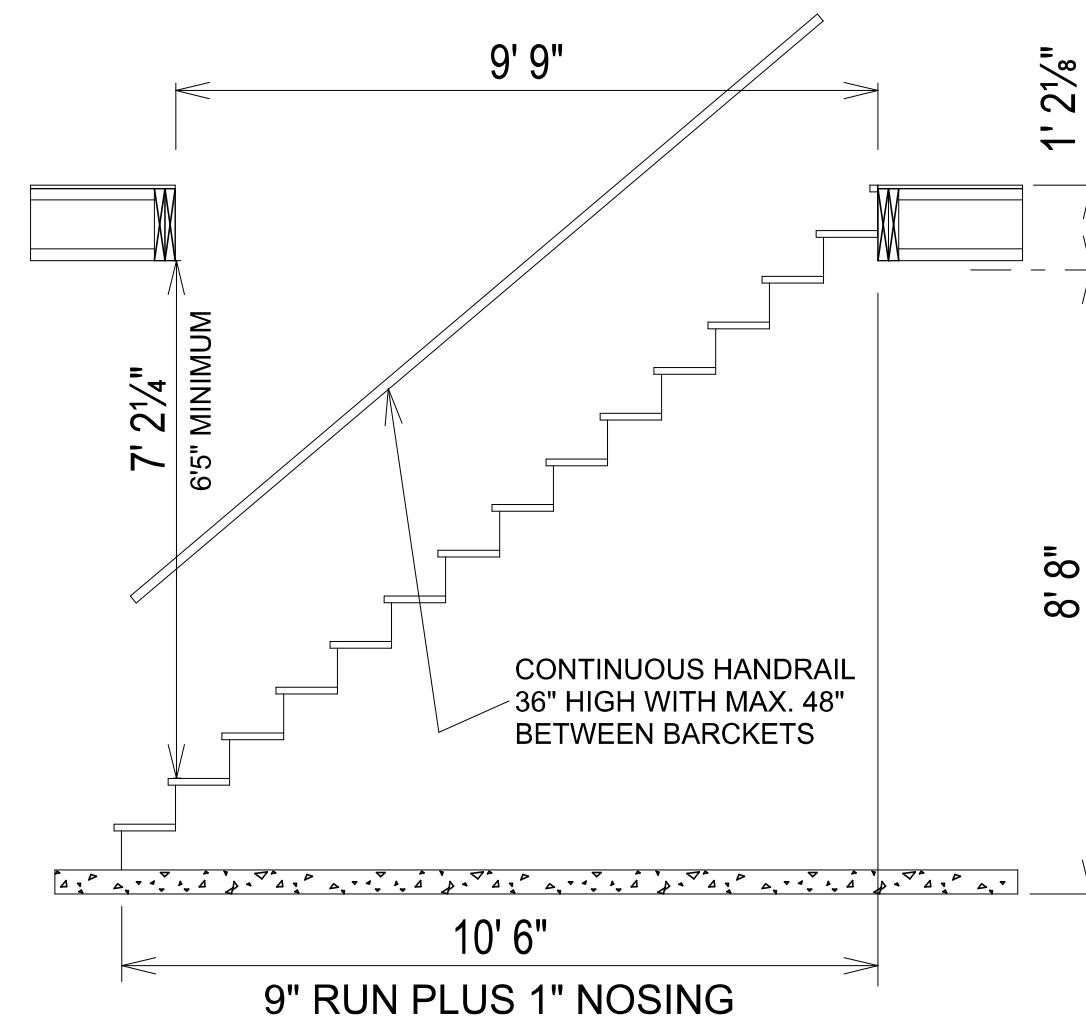
ROOF PLAN

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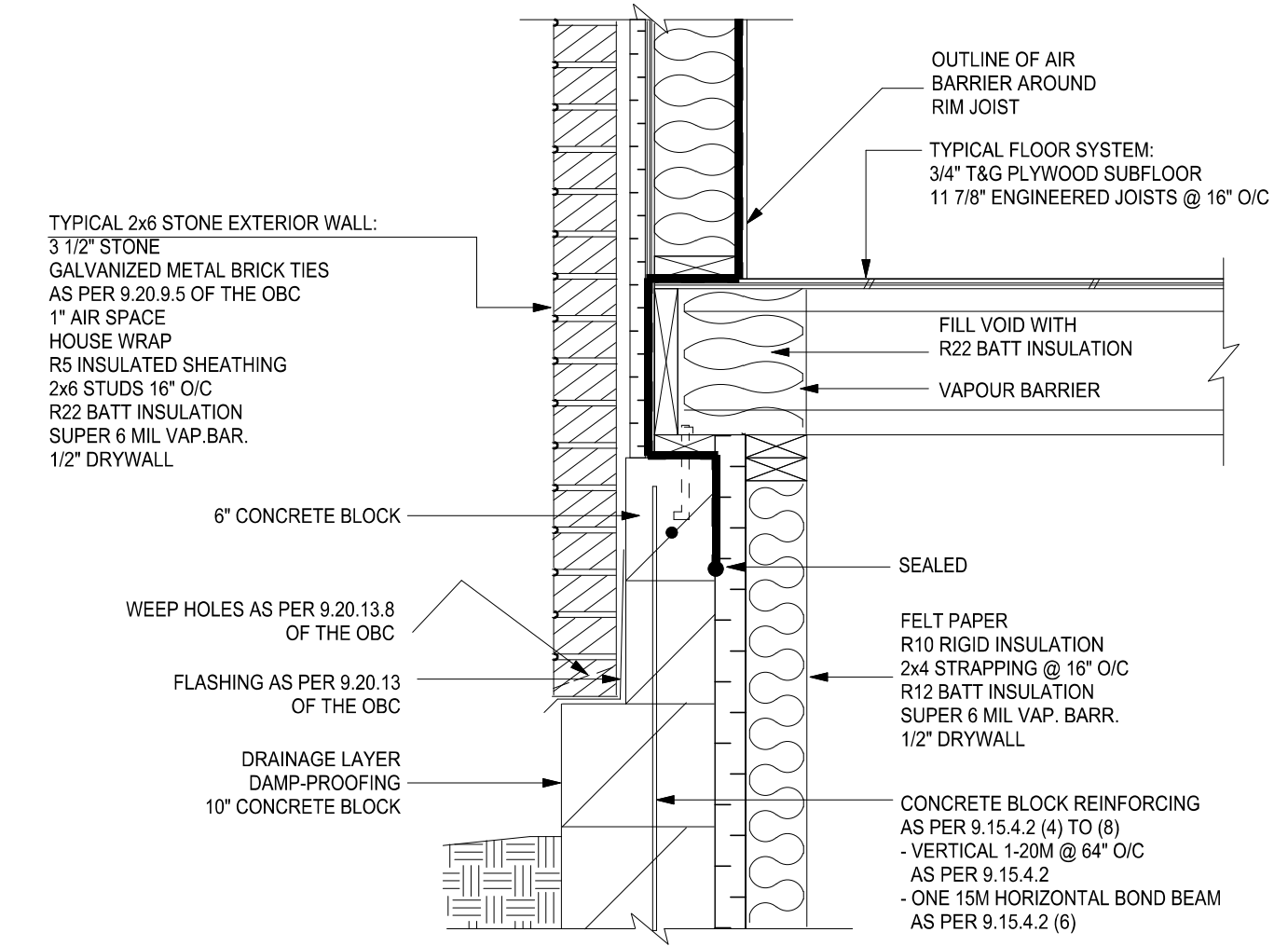
MAY 2020

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STAIR DETAIL 3/8"=1'0"



TYPICAL STONE WALL AT FOUNDATION DETAIL N.T.S.

ENERGY EFFICIENCY NOTES:

- ALL CONSTRUCTION MUST MEET THE PERFORMANCE LEVEL THAT IS EQUAL TO A RATING OF 80 OR MORE AS PER SUPPLEMENTARY STANDARD SB-12 OF THE OBC.
- THESE PLANS MUST CONFORM TO COMPLIANCE PACKAGE "A4" AS PER TABLE 3.1.1.2.A. OF SB-12 OF THE OBC.

GROSS WALL AREA = 2756 SQ.FT.
 GROSS GLASS AREA = 406 SQ.FT.
 % GLASS/WALL = 14.7%

CEILING WITH ATTIC SPACE MINIMUM R-VALUE = R60
 CEILING WITHOUT ATTIC SPACE MINIMUM R-VALUE = R31
 EXPOSED FLOOR MINIMUM R-VALUE = R31
 WALLS ABOVE GRADE MINIMUM R-VALUE = R22+5ci
 BASEMENT WALLS MINIMUM R-VALUE = R12+10ci

EDGE OF BELOW GRADE SLAB AND HEATED SLAB LESS THEN OR EQUAL TO 600mm BELOW GRADE MINIMUM R-VALUE = R10

WINDOWS AND SLIDING GLASS DOORS
 MAXIMUM U-VALUE = 0.28
 SKYLIGHTS MAXIMUM U-VALUE = 0.49
 SPACE HEATING EQUIPMENT MINIMUM AFUE = 96%
 HRV MINIMUM EFFICIENCY = 75%
 DOMESTIC HOT WATER HEATER MINIMUM EF = 0.67

STANDARD NOTES:

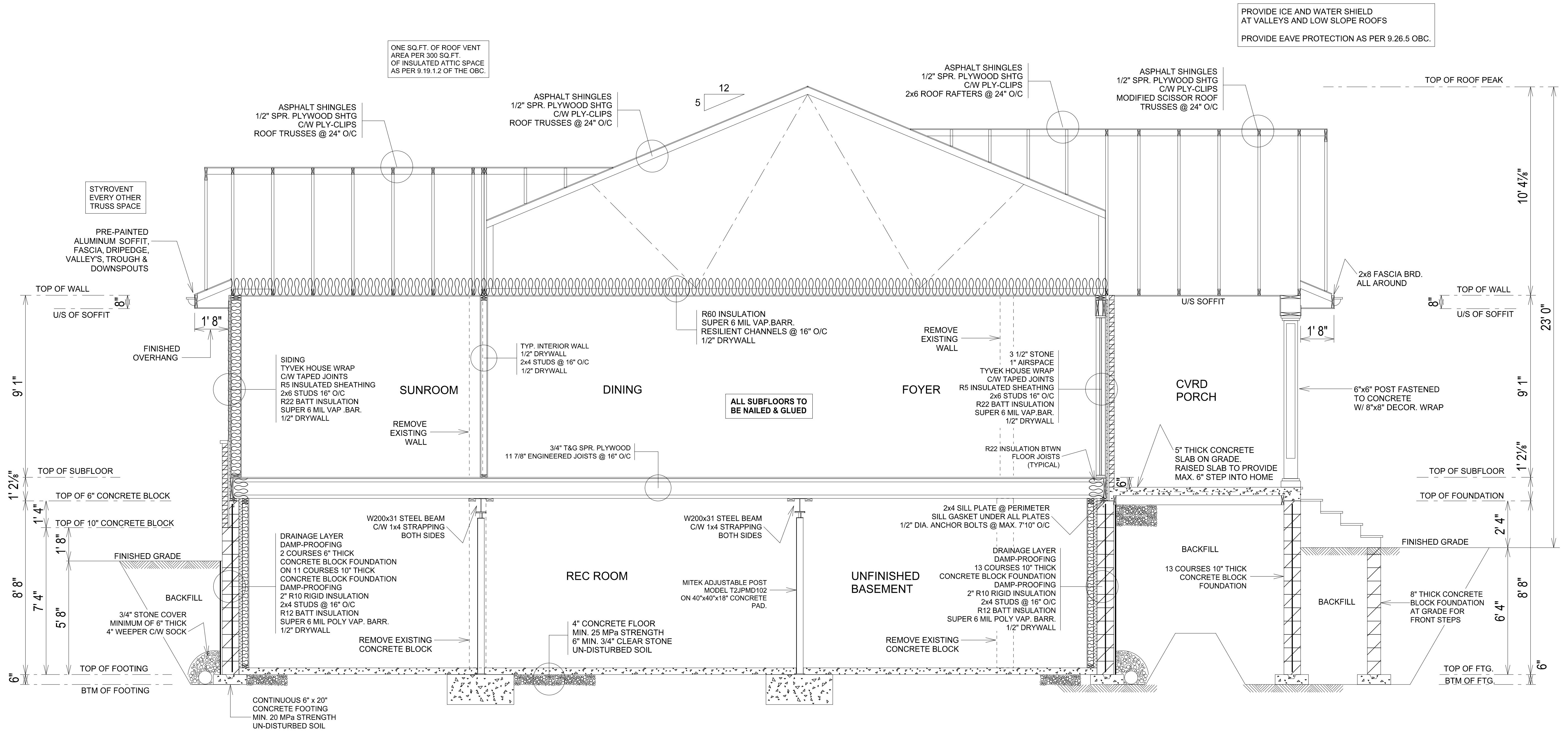
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NEVER SCALE BLUEPRINTS.

SPECIFIC NOTES:



CROSS SECTION 3/8" = 1'0"

PROVIDE ICE AND WATER SHIELD AT VALLEYS AND LOW SLOPE ROOFS
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GROSS FLOOR AREA	2092 SQ.FT.
LOCATION:	17 SUMMIT DRIVE WATERDOWN, ON
TITLE:	CROSS SECTION
DATE :	MAY 2020
PAGE:	6



Hamilton

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ **DATE APPLICATION RECEIVED** _____

PAID _____ **DATE APPLICATION DEEMED COMPLETE** _____

SECRETARY'S SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS	
Registered Owners(s)			
Applicant(s)*			
Agent or Solicitor			Phone:
			E-mail:

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

5. Why it is not possible to comply with the provisions of the By-law?

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

7. PREVIOUS USE OF PROPERTY

Residential _____ Industrial _____ Commercial _____

Agricultural _____ Vacant _____

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes _____ No _____ Unknown _____

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes _____ No _____ Unknown _____

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes _____ No _____ Unknown _____

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes _____ No _____ Unknown _____

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes _____ No _____ Unknown _____

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes _____ No _____ Unknown _____

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes _____ No _____ Unknown _____

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes _____ No _____ Unknown _____

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes _____ No _____ Unknown _____

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes _____ No _____

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

_____ Date

_____ Signature Property Owner

_____ Print Name of Owner

10. Dimensions of lands affected:

Frontage _____

Depth _____

Area _____

Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

Proposed

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Proposed:

13. Date of acquisition of subject lands:

14. Date of construction of all buildings and structures on subject lands:

15. Existing uses of the subject property:
16. Existing uses of abutting properties:
17. Length of time the existing uses of the subject property have continued:
18. Municipal services available: (check the appropriate space or spaces)
Water _____ Connected _____
Sanitary Sewer _____ Connected _____
Storm Sewers _____
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
21. Has the owner previously applied for relief in respect of the subject property?
Yes No
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.