



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-21:68

APPLICANTS: Owner Kimberly Piper
Agent Graham Day

SUBJECT PROPERTY: Municipal address **232 Bold St., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended 19-307

ZONING: D/S-1787 district (Urban Protected Residential - One and Two Family Dwellings, etc.)

PROPOSAL: To permit the conversion of the existing single family dwelling to a two family dwelling under Section 19 of the Zoning By-law (Residential Conversion Requirements) and to permit the construction of an open stair at the rear of the dwelling, notwithstanding,

1. A minimum lot area of 151 square metres shall be permitted instead of providing the minimum required lot area of 200 square metres; and,
2. An open stair at the rear of the dwelling shall be permitted to encroach 2.9 metres into the minimum required rear yard instead of the maximum permitted encroachment of 1.0 metre into a required rear yard.

This application will be heard by the Committee as shown below:

DATE: Thursday, March 18th, 2021
TIME: 2:05 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 2nd , 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

ADDITIONAL NOTES:

1. PROVIDE MINIMUM 4"Ø CLEAN UNOBSTRUCTED FRICTIONLESS DUCT FOR DRYERS. FLEXIBLE TRANSITION HOSE BETWEEN DRYER WALL OUTLET TO BE EITHER FOIL OR ALUMINUM TYPE FLEXIBLE DUCT. DO NOT USE PLASTIC OR VINYL. CONCEALED DUCTING TO BE RIGID METAL (GALVANIZED OR ALUMINUM) DUCT. DUCT JOINTS TO BE INSTALLED SO THAT THE MALE END OF THE DUCT POINTS IN THE DIRECTION OF AIRFLOW. JOINTS TO BE SECURED WITH METAL TAPE (NOT DUCT TAPE). DO NOT USE RIVETS OR SCREWS IN THE JOINTS OR ANYWHERE ELSE IN THE DUCT. LENGTH OF CONCEALED RIGID METAL DUCTING SHALL NOT EXCEED 35 FEET. DEDUCT 5 FEET FROM THE ALLOWABLE LENGTH FOR EVERY 90 DEGREE ELBOW AND TWO AND A HALF FEET FOR EVERY 45 DEGREE FITTING. THESE LENGTHS MAY VARY PER LOCAL CODES AND DRYER MANUFACTURERS RECOMMENDATIONS. DRYER VENTING SHALL BE INDEPENDENT OF ANY OTHER SYSTEMS (CHIMNEYS OR EXHAUST VENTS). TERMINATION OF DRYER VENTING MUST BE TO THE EXTERIOR WITH A PROPER HOOD OR ROOF CAP EQUIPPED WITH A BACKDRAFT DAMPER. SMALL ORIFICE METAL SCREENING SHOULD NOT BE PART OF THE HOOD OR ROOF CAP. THE HOOD OPENING SHOULD POINT DOWN AND HAVE 12" OF CLEARANCE BETWEEN THE BOTTOM OF THE HOOD AND THE GROUND OR OTHER OBSTRUCTION.

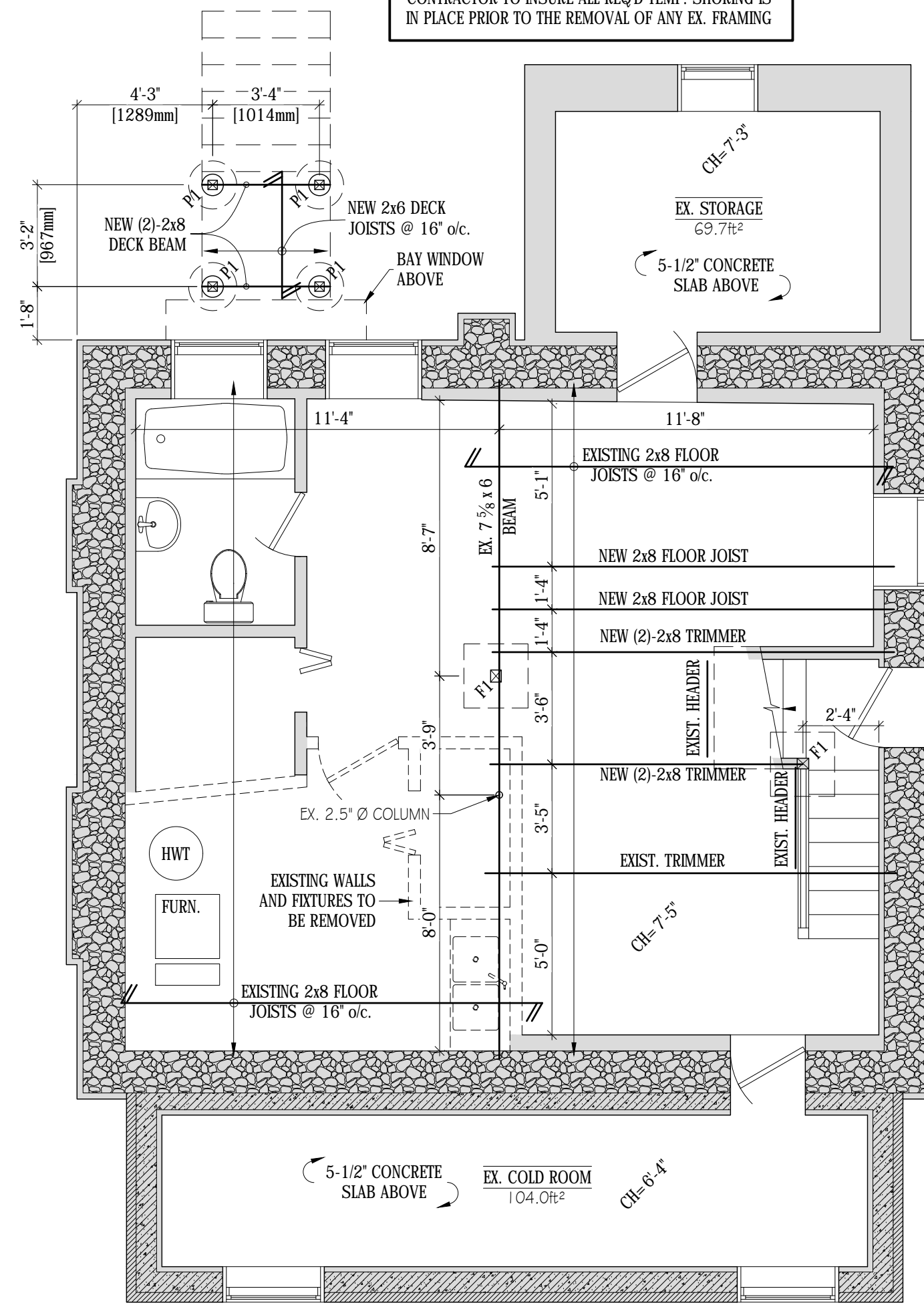


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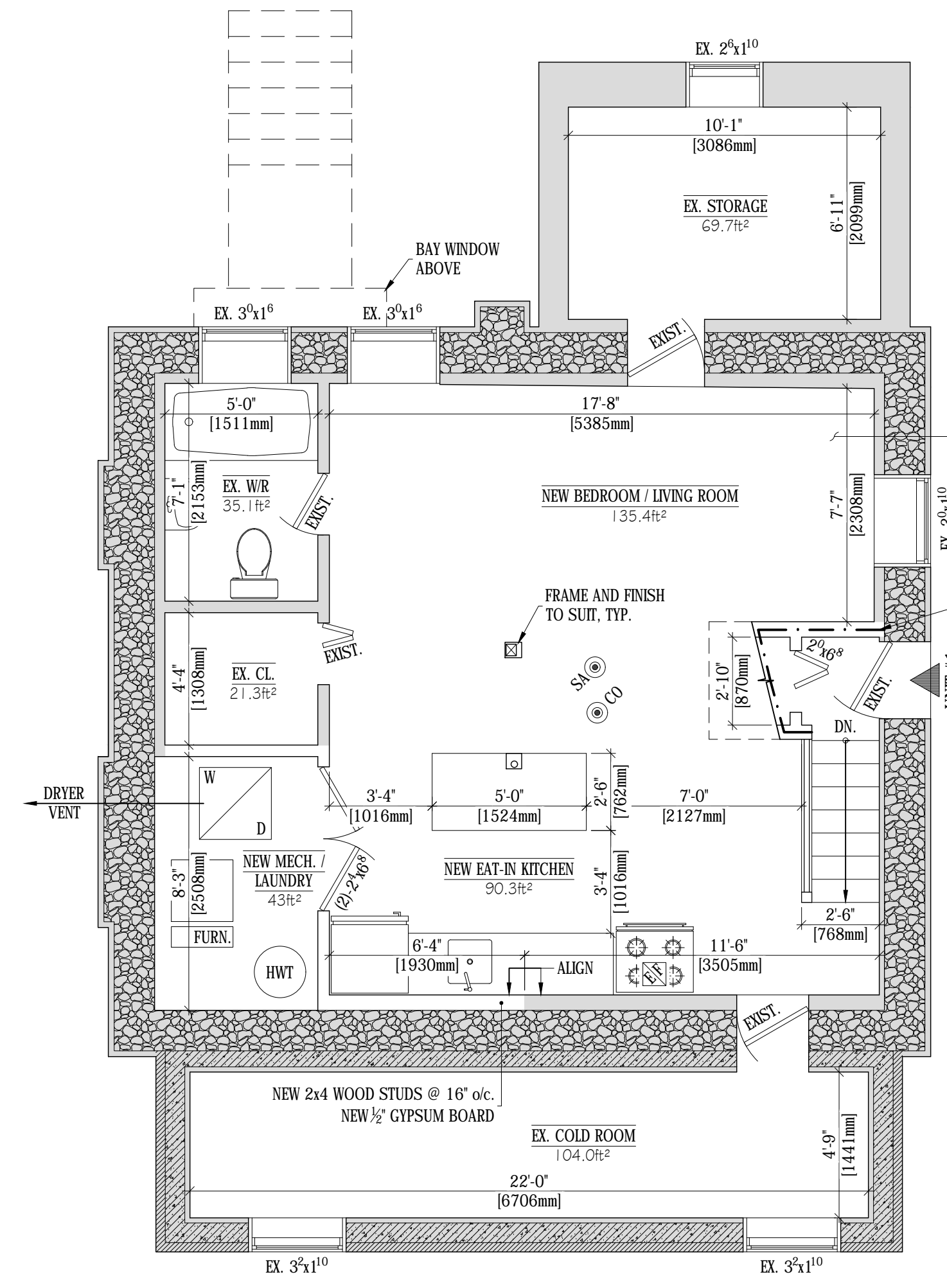


CONSTRUCTION

CONTRACTOR TO INSURE ALL REQ'D TEMP. SHORING IS IN PLACE PRIOR TO THE REMOVAL OF ANY EX. FRAMING



1 EXIST. / DEMO. AND STRUCTURAL REPAIRS BASEMENT FLOOR PLAN
A1.1 SCALE: 1/4" = 1'-0"



2 FINISHED BASEMENT FLOOR PLAN
A1.1 SCALE: 1/4" = 1'-0"

REQ. MIN. UNOBSTRUCTED GLASS AREA (OBC TABLE 9.7.2.3. / CA107)

LIVING / BEDROOM	5%
ROOM AREA	135.4ft²
GLASS AREA REQUIRED	6.8ft²
GLASS AREA PROVIDED	10.0ft²

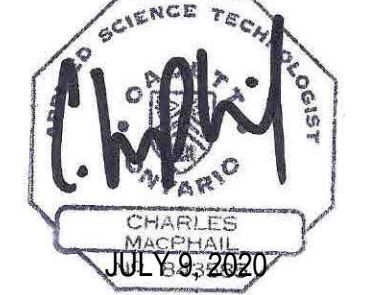
NEW VERTICAL ASSEMBLY PROVIDE 45min. FRR w/ MIN. STC RATING OF 51 (2012 OBC, SB-3 W4a)
 5/8" TYPE X GYPSUM BOARD
 2x4 STUDS @ 16" o.c.
 ROXUL BATT INSULATION
 RESILIENT METAL CHANNELS @ 16" o.c.
 2 LAYERS - 5/8" TYPE X GYPSUM BOARD

- TYPICAL NOTES**
- STAIRS (AS PER O.B.C. 9.8)
- RISE - MIN. 4 7/8", MAX. 7 7/8"
 - RUN - MIN. 8 1/4", MAX. 14"
- HANDRAILS (AS PER O.B.C. 9.8.7)
- MIN. 2'-10" HIGH, MAX. 3'-2" HIGH
 - OPENINGS BETWEEN PICKETS TO BE LESS THAN 4"
- GUARDS (AS PER O.B.C. 9.8.8)
- MIN. 2'-11" HIGH, U.N.O.
 - OPENINGS BETWEEN PICKETS TO BE LESS THAN 4"

Charles Linsey & Associates Limited

37 Main Street South, Tel: (905) 548-7607
 PO Box 1479, Info@charleslinsey.com
 Waterdown, On LOR 2H0, www.charleslinsey.com

Note: The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on this document.



CHARLES MacPHAIL, BCIN# 25723
 CHARLES LINSEY & ASSOCIATES LIMITED, BCIN# 41983

DRAWING LIST

- AO.1 SCOPE OF WORK, GENERAL & CONSTRUCTION NOTES AND SITE PLAN
 A1.1 BASEMENT FLOOR PLAN
 A1.2 MAIN FLOOR PLAN
 A1.3 SECOND FLOOR PLAN
 A3.1 CROSS SECTION
 A3.2 STAIR SECTION

- LEGEND**
- EXISTING ASSEMBLY / CONSTR. TO REMAIN
 - PROPOSED ASSEMBLY / CONSTR.
 - DENOTES EXISTING ASSEMBLY / CONSTR. TO BE REMOVED
 - NEW ASSEMBLY / FRAMING
 - DENOTES EXISTING / NEW FRR ASSEMBLY
 - SA SMOKE ALARM, SEE CONST. NOTES
 - CO CARBON MONOXIDE ALARM
 - EX EXHAUST FAN
 - L1 NEW (2) - 2" x 6" S-P-F
 - F1 MINIMUM 3 1/2" SOLID LEVEL BEARING ON 2'-0" x 2'-0" x 10" THICK CONC. FOOTING c/w 8-10M REBARS E/W.
 - P1 NEW 4x4 POST w/ SUITABLE SADDLE ON 8" Ø CONCRETE PIER c/w 1 8" Ø BELLED FOOTING
 - SB PROVIDE NEW MINIMUM 3 1/2" SOLID LEVEL BEARING FOR NEW BEAM / LINTEL

REV.	DESCRIPTION	DATE
0	FOR MINOR VARIANCE APPLICATION	JULY 9/20

client: HOME OWNER

project: 232 BOLD STREET HAMILTON, ONTARIO
 PROJECT No. 20-XXX

title: BASEMENT FLOOR PLAN WITH MAIN FLOOR FRAMING ABOVE (UNIT #1)

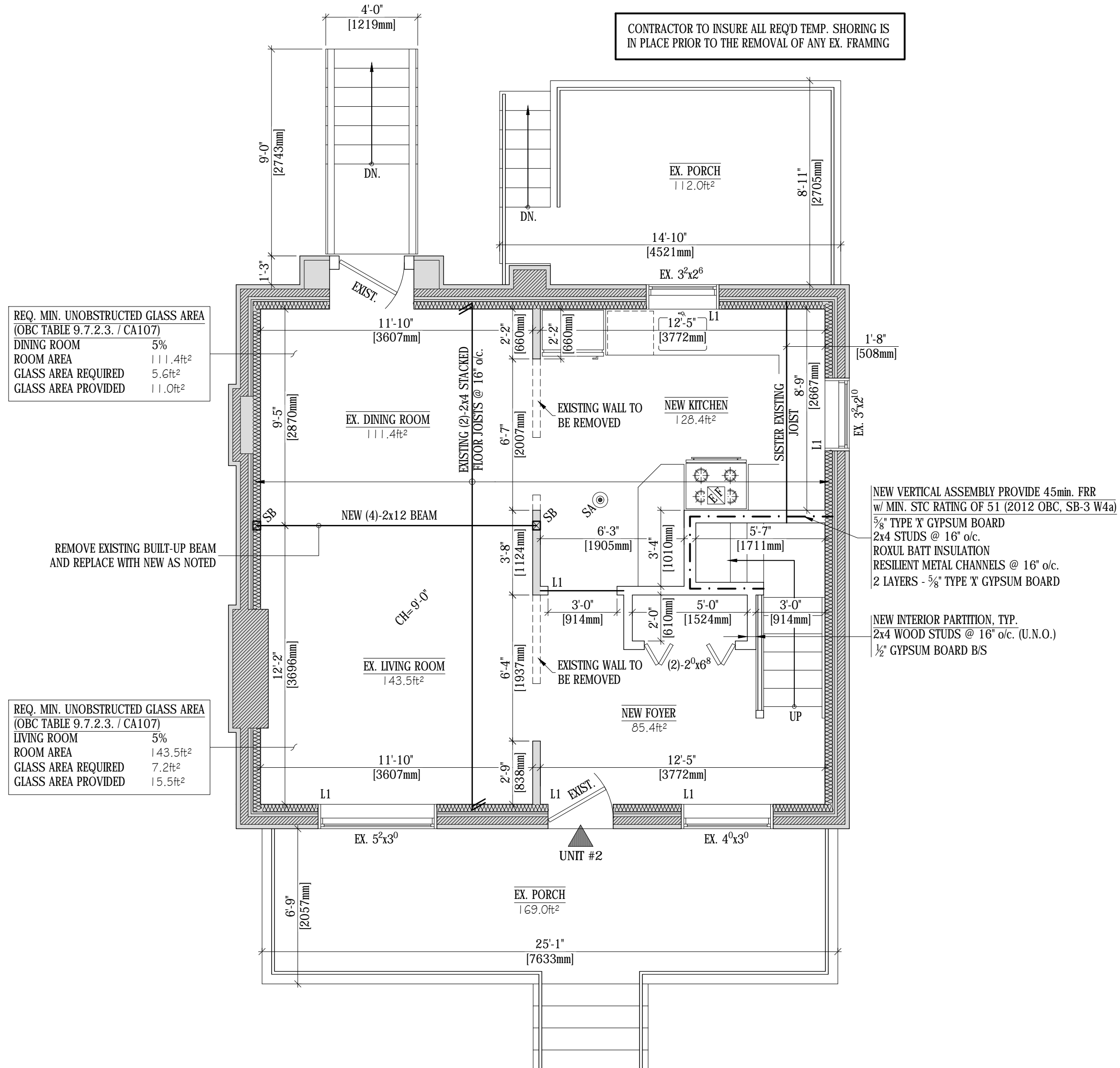
drawn	checked
G.D.	C.M.
date	scale
JULY 2020	1/4" = 1'-0"
revision number	drawing number
0	A1.1



TRUE



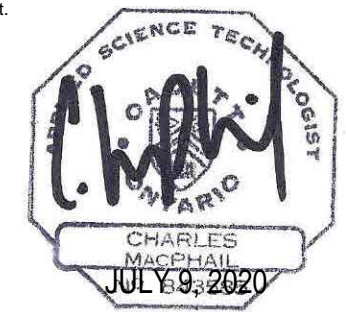
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- A3.1 CROSS SECTION
- A3.2 STAIR SECTION

LEGEND

- EXISTING ASSEMBLY / CONSTR. TO REMAIN
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- CARBON MONOXIDE ALARM
- EXHAUST FAN
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- PROVIDE NEW MINIMUM 3 1/2" SOLID LEVEL BEARING FOR NEW BEAM / LINTEL

REV.	DESCRIPTION	DATE
0	FOR MINOR VARIANCE APPLICATION	JULY 9/20

client: HOME OWNER

project: 232 BOLD STREET HAMILTON, ONTARIO
 PROJECT No. 20-XXX

title: MAIN FLOOR PLAN WITH SECOND FLOOR FRAMING ABOVE (UNIT #2)

drawn	checked
G.D.	C.M.
date	scale
JULY 2020	1/4" = 1'-0"
revision number	drawing number
0	A1.2

TYPICAL NOTES

STAIRS (AS PER O.B.C. 9.8)

- RISE - MIN. 4 7/8", MAX. 7 7/8"
- RUN - MIN. 8 1/4", MAX. 14"

HANDRAILS (AS PER O.B.C. 9.8.7)

- MIN. 2'-10" HIGH, MAX. 3'-2" HIGH
- OPENINGS BETWEEN PICKETS TO BE LESS THAN 4"

GUARDS (AS PER O.B.C. 9.8.8)

- MIN. 2'-11" HIGH, U.N.O.
- OPENINGS BETWEEN PICKETS TO BE LESS THAN 4"

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TRUE

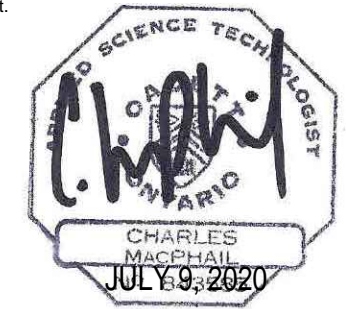


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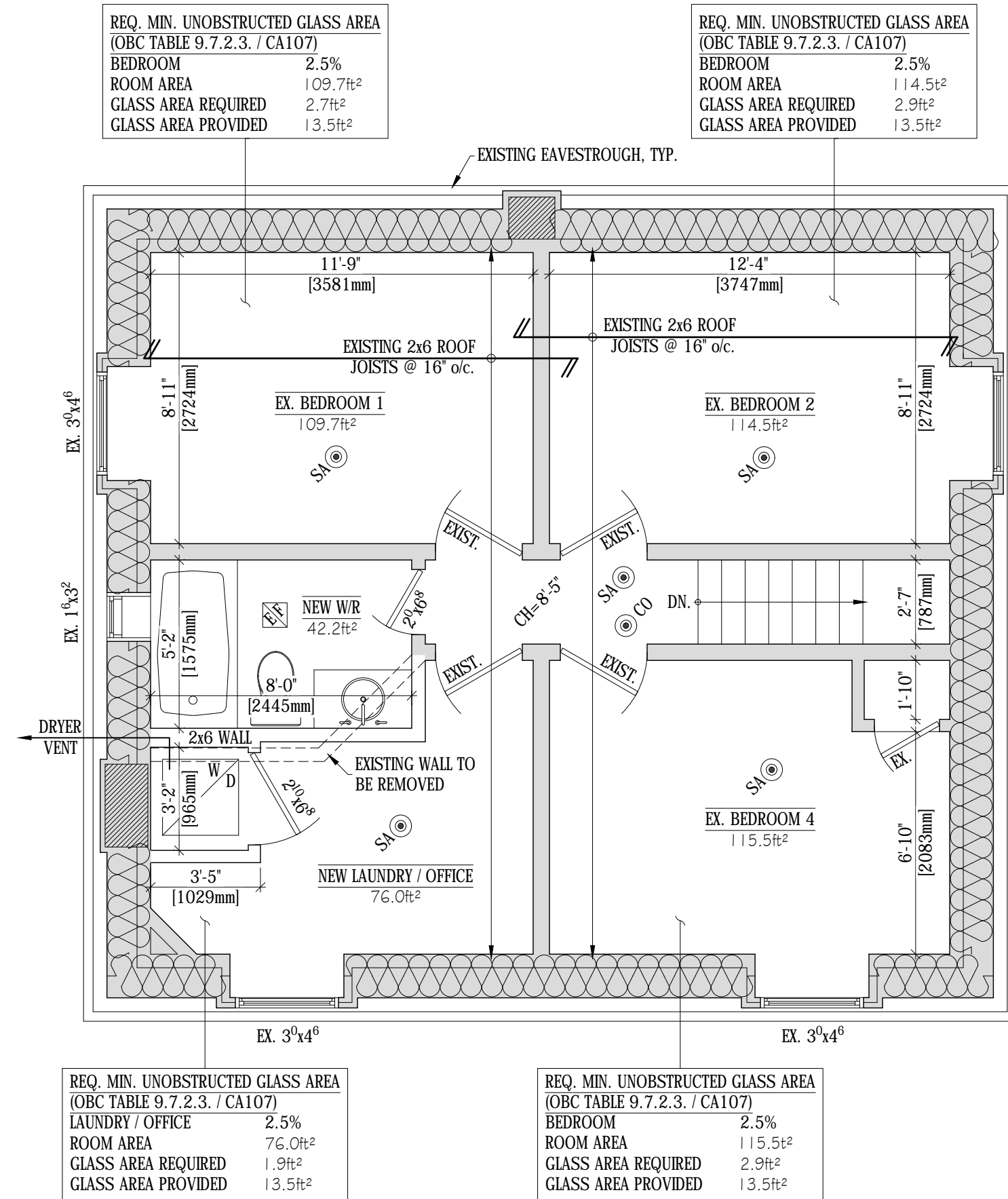
CHARLES MacPHAIL BCIN# 25723
 CHARLES LINSEY & ASSOCIATES LIMITED BCIN# 41983

DRAWING LIST

- AO.1 SCOPE OF WORK, GENERAL & CONSTRUCTION NOTES AND SITE PLAN
- A1.1 BASEMENT FLOOR PLAN
- A1.2 MAIN FLOOR PLAN
- A1.3 SECOND FLOOR PLAN
- A3.1 CROSS SECTION
- A3.2 STAIR SECTION

LEGEND

- EXISTING ASSEMBLY / CONSTR. TO REMAIN
- PROPOSED ASSEMBLY / CONSTR.
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- CARBON MONOXIDE ALARM
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- L1 NEW (2) - 2" x 6" S-P-F
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- PROVIDE NEW MINIMUM 3 1/2" SOLID LEVEL BEARING FOR NEW BEAM / LINTEL



REQ. MIN. UNOBSTRUCTED GLASS AREA (OBC TABLE 9.7.2.3. / CA107)	
BEDROOM	2.5%
ROOM AREA	109.7ft²
GLASS AREA REQUIRED	2.7ft²
GLASS AREA PROVIDED	13.5ft²

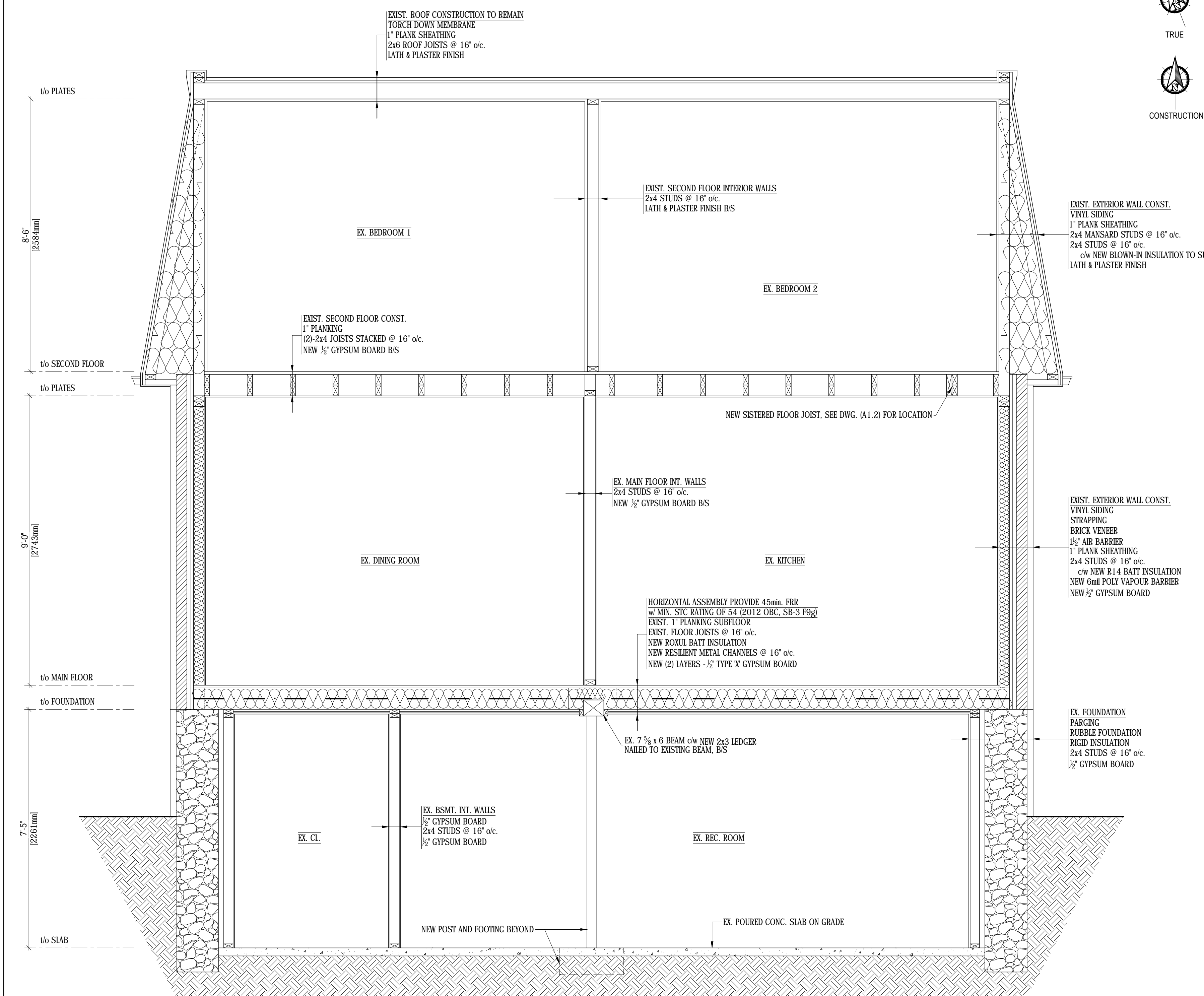
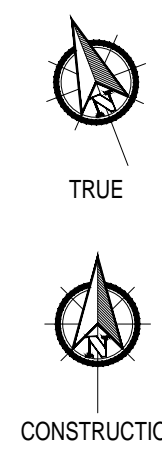
REQ. MIN. UNOBSTRUCTED GLASS AREA (OBC TABLE 9.7.2.3. / CA107)	
BEDROOM	2.5%
ROOM AREA	114.5ft²
GLASS AREA REQUIRED	2.9ft²
GLASS AREA PROVIDED	13.5ft²

REQ. MIN. UNOBSTRUCTED GLASS AREA (OBC TABLE 9.7.2.3. / CA107)	
LAUNDRY / OFFICE	2.5%
ROOM AREA	76.0ft²
GLASS AREA REQUIRED	1.9ft²
GLASS AREA PROVIDED	13.5ft²

REQ. MIN. UNOBSTRUCTED GLASS AREA (OBC TABLE 9.7.2.3. / CA107)	
BEDROOM	2.5%
ROOM AREA	115.5ft²
GLASS AREA REQUIRED	2.9ft²
GLASS AREA PROVIDED	13.5ft²

REV.	DESCRIPTION	DATE
0	FOR MINOR VARIANCE APPLICATION	JULY 9/20

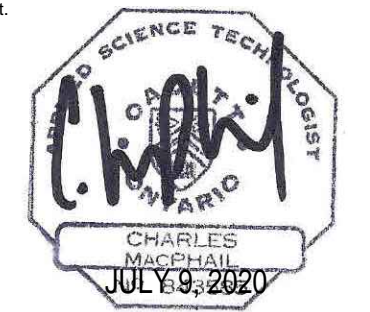
client	HOME OWNER	
project	232 BOLD STREET HAMILTON, ONTARIO PROJECT No. 20-XXX	
title	SECOND FLOOR PLAN WITH ROOF FRAMING ABOVE (UNIT #2)	
drawn	G.D.	checked C.M.
date	JULY 2020	scale 1/4" = 1'-0"
revision number	0	drawing number A1.3



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REV.	DESCRIPTION	DATE
0	FOR MINOR VARIANCE APPLICATION	JULY 9/20

client	HOME OWNER	
project	232 BOLD STREET HAMILTON, ONTARIO PROJECT No. 20-XXX	
title	CROSS SECTION	
drawn	G.D.	checked C.M.
date	JULY 2020	scale 1/4" = 1'-0"
revision number	0	drawing number A3.1



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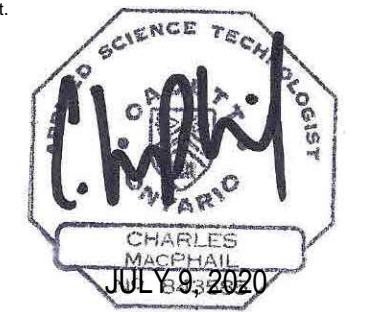


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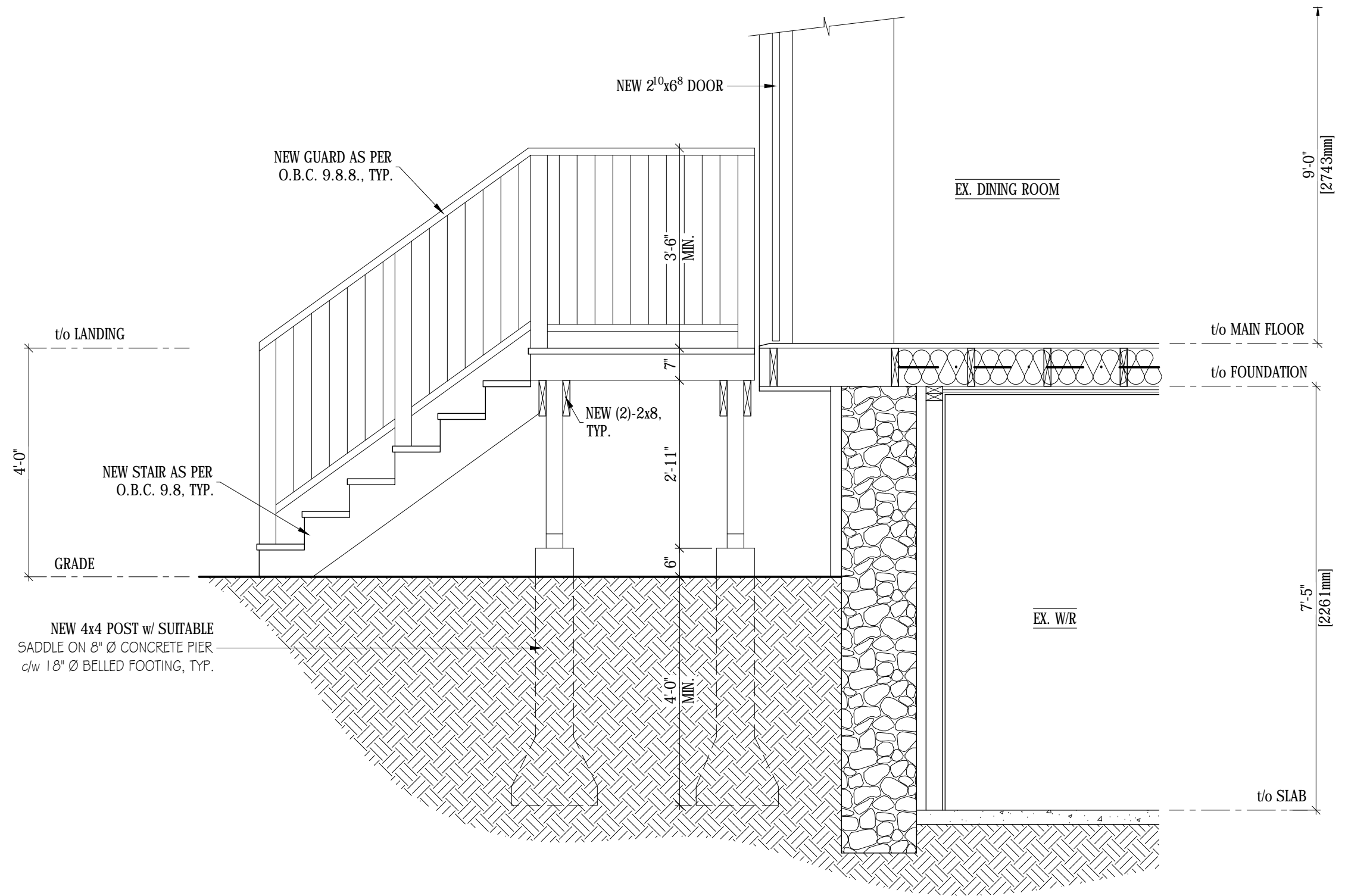
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TYPICAL NOTES

- STAIRS (AS PER O.B.C. 9.8)**
- RISE - MIN. 4 7/8", MAX. 7 7/8"
 - RUN - MIN. 8 1/4", MAX. 14"
- HANDRAILS (AS PER O.B.C. 9.8.7)**
- MIN. 2'-10" HIGH, MAX. 3'-2" HIGH
 - OPENINGS BETWEEN PICKETS TO BE LESS THAN 4"
- GUARDS (AS PER O.B.C. 9.8.8)**
- MIN. 2'-11" HIGH, U.N.O.
 - OPENINGS BETWEEN PICKETS TO BE LESS THAN 4"

REV.	DESCRIPTION	DATE
0	FOR MINOR VARIANCE APPLICATION	JULY 9/20

client
 HOME OWNER

project
 232 BOLD STREET
 HAMILTON, ONTARIO
 PROJECT No. 20-XXX

title
 CROSS SECTION

drawn	checked
G.D.	C.M.
date	scale
JULY 2020	1/4" = 1'-0"
revision number	drawing number
0	A3.1



APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS	
Registered Owners(s)	Kimberley Piper		
Applicant(s)*	GRAHAM DAY		
Agent or Solicitor			Phone:
			E-mail:

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:
N/A

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

TO ALLOW FOR AN EXISTING NON-CONFORMING LOT SIZE TO ALLOW FOR A DUPLEX

5. Why it is not possible to comply with the provisions of the By-law?

EXISTING LOT SIZE DOES NOT CONFORM TO MINIMUM BY-LAW SIZE

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

232 BOLD STREET

PT LT 4 BLK 4 RANGE 1 JAMES MILLS SURVEY (BTN BOLD ST, QUEEN ST, HUNTER ST, RAY ST) AS IN VM237368; CITY OF HAMILTON

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?

GOOGLE MAP
OWNER KNOWLEDGE

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

February 11, 2021

Date

Kimberley
Piper

Digitally signed by
Kimberley Piper
Date: 2021.02.11
16 04:36 -05'00'

Signature Property Owner

Kimberley Piper

Print Name of Owner

10. Dimensions of lands affected:

Frontage	9.22m
Depth	15.24m
Area	151m ²
Width of street	±9m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

(2) STOREY SINGLE FAMILY DWELLING
GROSS FLOOR AREA 194.6m²
MAIN FLOOR AREA 59.4m²

Proposed

(2) STOREY DUPLEX
GROSS FLOOR AREA 194.6m²
MAIN FLOOR AREA 59.4m²
UNIT #1 82.5m²
UNIT #2 112.1m²

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

DWELLING FRONT (SOUTH) 0.2m, REAR (NORTH) 7.3m,
SIDE (WEST) -0.04m, SIDE (EAST) 0.9m
EXIST. PORCH / STAIRS FRONT (SOUTH) -1.8m, REAR (NORTH) 4.6m,
SIDE (WEST) 1.1m, SIDE (EAST) 1.1m

Proposed:

N/A

13. Date of acquisition of subject lands:
August 27, 1993
-
14. Date of construction of all buildings and structures on subject lands:
Unknown
-
15. Existing uses of the subject property:
 RESIDENTIAL SINGLE FAMILY
16. Existing uses of abutting properties:
 RESIDENTIAL
17. Length of time the existing uses of the subject property have continued:
 SINCE CONSTRUCTION
18. Municipal services available: (check the appropriate space or spaces)
 Water YES Connected YES
 Sanitary Sewer YES Connected YES
 Storm Sewers YES
19. Present Official Plan/Secondary Plan provisions applying to the land:
 Parent Bylaw Number 6593 Former Hamilton, D/S-1787,
 Urban Protected Residential - One And Two Family Dwellings, Etc.
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
21. Has the owner previously applied for relief in respect of the subject property?
 Yes No
 If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

PART 25 AFFIDAVIT OR SWORN DECLARATION

This declaration to be sworn by a Commissioner of Oaths.

I, Graham Alexander Day of the City of Burlington
in the Province of Ontario solemnly declare that:

All of the above statements are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Declared before me at the
at the City of Burlington)
in the Province)
of Ontario)
this 12th day of February A.D. 2021)

[Signature]
Applicant

[Signature]
Veronika Rados
Barrister & Solicitor
A Commissioner, etc. **Notary Public and Commissioner of Oaths**
in and for the Province of Ontario.
My commission is of unlimited duration.
No legal advice given.

Sworn/declared before me
at the city of Burlington
in the Province of Ontario
on this 12 day of Feb, 2021
[Signature]

Walk-In Notary
4145 North Service Road
Suite 200
Burlington, ON., L7L 6A3
www.walkinnotary.com

PART 26 OWNERS AUTHORIZATION

As of the date of this application, I (NAME) Kimberley Piper am the registered Owner of the lands described in this application, and I have examined the contents of this application and hereby certify that the information submitted with the application is correct insofar as I have knowledge of these facts, and I hereby authorize:

GRAHAM DAY of GRAHAM ALEXANDER

to act as my agent in this matter and to provide any of my personal information that will be included in this application or collected during the processing of the application.

DATE February 11, 2021 SIGNED Kimberley Piper
Digitally signed by Kimberley Piper
Date: 2021.02.11 16:05:26 -0500

PART 27 CONSENT OF THE OWNER

Complete the consent of the owner concerning personal information set out below.
Consent of Owner to the Disclosure of Application Information and Supporting Documentation

Application information is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P.13. In accordance with that Act, it is the policy of the City of Hamilton to provide public access to all *Planning Act* applications and supporting documentation submitted to the City.

I, Kimberley Piper, the Owner, hereby agree and acknowledge
(Print name of Owner)

that the information contained in this application and any documentation, including reports, studies and drawings, provided in support of the application, by myself, my agents, consultants and solicitors, constitutes public information and will become part of the public record. As such, and in accordance with the provisions of the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c. M.56, I hereby consent to the City of Hamilton making this application and its supporting documentation available to the general public, including copying and disclosing the application and its supporting documentation to any third party upon their request.

February 11, 2021 Kimberley Piper
Date Signature of Owner
Digitally signed by Kimberley Piper
Date: 2021.02.11 16:05:46 -0500