



NOTICE OF PUBLIC HEARING Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-21:55

APPLICANTS: Agent N-Cubed Service c/o D. Nguyen
Owners L. Liang & O. Mironov

SUBJECT PROPERTY: Municipal address **34 Parkside Dr., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended 96-125 & 19-307

ZONING: "C"/S-1364 and S-1788 district (Urban Protected Residential)

PROPOSAL: To permit the construction of a 2-storey rear addition, and a full 2nd storey to the existing single-family dwelling notwithstanding that;

1. A maximum building height of 10.0 m shall be provided instead of the maximum permitted height of 9.0 m; and
2. A minimum front yard depth of 4.6 m shall be provided instead of the minimum required front yard depth of 6.0 m; and
3. A minimum side yard width of 0.9 m shall be provided on the northerly side lot line instead of the minimum required side yard width of 1.2 m; and
4. A maximum Gross Floor Area of 95 % shall be permitted instead of the maximum permitted 45 %; and
5. A minimum parking space length of 5.7 m shall be provided for one of the parking spaces instead of the minimum required 6.0 m in length; and
6. A minimum access driveway having a width of 2.7 m shall be provided instead of the minimum required 2.8 m; and

Notes:

Eaves or gutters may project into a required front yard not more than 1.5 m provided that no such projection shall be closer to a street than 1.5 m, whichever is the lesser. No details have been provided; therefore, further variances may be required.

Eaves or gutters may project into a required side yard not more than one-half of its width, or 1.0 m, whichever is the lesser. No details have been provided; therefore, further variances may be required.

This application will be heard by the Committee as shown below:

DATE: Thursday, March 18th, 2021
TIME: 1:40 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 2nd, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS
Registered Owners(s)	Oleg Mironov Lorraine Liang	
Applicant(s)*	Oleg Mironov Lorraine Liang	
Agent or Solicitor	Duy Nguyen (N-Cubed Services Inc)	

Note: Unless otherwise requested all communications will be sent to the agent, if

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Building height of 10m where 9m is required.
North side yard setback of 0.93m where 1.04m is required.
GFA of 91.76% where 45% is required.
Front yard setback of 4.67m where 6m is required.
Parking space dimension of 2.7mx5.74m.

5. Why it is not possible to comply with the provisions of the By-law?

The additional 1m height is required to maintain architectural massing.
North side yard setback is an existing condition.
GFA increase is required to make the house functional for a single family dwelling.
Front yard setback is required to provide architectural relief from having large straight building sections.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

34 Parkside Drive Hamilton, ON

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial
Agricultural Vacant

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Site inspection and real estate records.

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

February 2, 2021
Date


Signature Property Owner

Oleg Mironov and Lorraine Liang
Print Name of Owner

10. Dimensions of lands affected:

Frontage	<u>Refer to siteplan SP1.01</u>
Depth	<u>Refer to siteplan SP1.01</u>
Area	<u>Refer to siteplan SP1.01</u>
Width of street	<u>Unknown</u>

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: Refer to sitestats SP1.01

Proposed
Refer to sitestats SP1.01

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

13. Date of acquisition of subject lands:
January 2021
-
14. Date of construction of all buildings and structures on subject lands:
Unknown
-
15. Existing uses of the subject property:
Single family residential
16. Existing uses of abutting properties:
Single family residential
17. Length of time the existing uses of the subject property have continued:
Continuous
18. Municipal services available: (check the appropriate space or spaces)
- | | | | |
|----------------|----------|-----------|----------|
| Water | <u>X</u> | Connected | <u>X</u> |
| Sanitary Sewer | <u>X</u> | Connected | <u>X</u> |
| Storm Sewers | <u>X</u> | | |
19. Present Official Plan/Secondary Plan provisions applying to the land:
Ainslie Wood Secondary Plan
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
ZBL 6593 CS-1364
21. Has the owner previously applied for relief in respect of the subject property?
 Yes No
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.