COMMITTEE OF ADJUSTMENT



City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-21:55

APPLICANTS: Agent N-Cubed Service c/o D. Nguyen

Owners L. Liang & O. Mironov

SUBJECT PROPERTY: Municipal address 34 Parkside Dr., Hamilton

ZONING BY-LAW: Zoning By-law 6593, as Amended 96-125 & 19-307

ZONING: "C"/S-1364 and S-1788 district (Urban Protected Residential)

PROPOSAL: To permit the construction of a 2-storey rear addition, and a full 2nd

storey to the existing single-family dwelling notwithstanding that;

- 1. A maximum building height of 10.0 m shall be provided instead of the maximum permitted height of 9.0 m; and
- 2. A minimum front yard depth of 4.6 m shall be provided instead of the minimum required front yard depth of 6.0 m; and
- 3. A minimum side yard width of 0.9 m shall be provided on the northerly side lot line instead of the minimum required side yard width of 1.2 m; and
- 4. A maximum Gross Floor Area of 95 % shall be permitted instead of the maximum permitted 45 %; and
- 5. A minimum parking space length of 5.7 m shall be provided for one of the parking spaces instead of the minimum required 6.0 m in length; and
- 6. A minimum access driveway having a width of 2.7 m shall be provided instead of the minimum required 2.8 m; and

Notes:

Eaves or gutters may project into a required front yard not more than 1.5 m provided that no such projection shall be closer to a street than 1.5 m, whichever is the lesser. No details have been provided; therefore, further variances may be required.

Eaves or gutters may project into a required side yard not more than one-half of its width, or 1.0 m, whichever is the lesser. No details have been provided; therefore, further variances may be required.

HM/A-21: 55 Page 2

This application will be heard by the Committee as shown below:

DATE: Thursday, March 18th, 2021

TIME: 1:40 p.m.

PLACE: Via video link or call in (see attached sheet for details)

To be streamed at

www.hamilton.ca/committeeofadjustment

for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

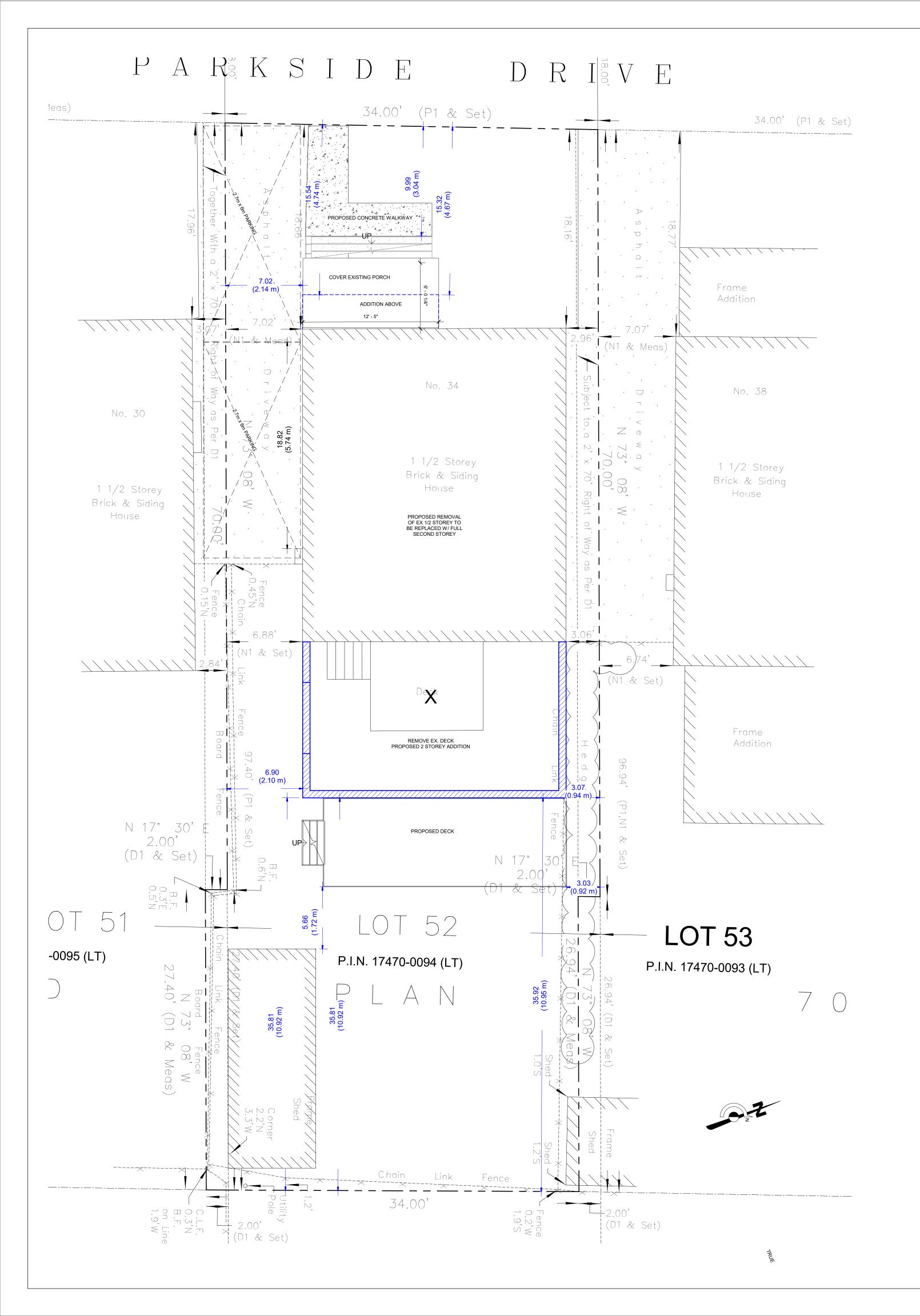
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 2nd, 2021.

Jamila Sheffield, Secretary-Treasurer Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



					Area				
Building Information			Exis	ting	Proposed				
			SF	SM	SF	SM			
Lot Area	_		3303.09	306.87	NC	NC			
	Base	ement	686.00	63.73	1031.00	95.78			
Gross Floor Area	Ground		686.00	63.73	1031.00	95.78			
GIOSS FIOOI AICA	Secon	Second Floor		63.73	1069.00	99.31			
	GFA S	ubtotal	2058.00	191.19	3131.00	290.88			
Proposed Deck			NA	NA	206.67	19.20			
NOTE: GFA MEASURED TO	THE EXTERIO	OR FACE O	EXTERIOR	WALLS					
Building	Allowed		Existing		Proposed				
Storeys		2		.0	2				
GFA Ratio	Allo	wed	Exis	ting	Prop	osed			
GFA	45.00%		62.31%		91.76%				
NOTE: MECH ROOM SUBT	RACTED FRO	M CALCUL	ATION AT 1	.00 SF					
Distances	nces Allowed		Existing		Proposed				
	(ft)	(m)	(ft)	(m)	(ft)	(m)			
Building Height	29.53	9.00	24.34	7.42	32.81	10			
Lot Width	NA	NA	34.00	10.36	34.00	10.36			
E - Rear Yard Setback	24.61	7.50	45.93	14	35.83	10.92			
W- Front Yard Setback	19.68	6.00	20.18	6.15	15.32	4.67			
North - Side Yard Setback (RQ'd: 10% lot Width)	3.40	1.04	2.96	9.71	3.06	0.93			
South - Side Yard Setback (RQ'd: 10% Lot Width)	3.40	1.04	6.88	22.57	6.89	2.10			
Parking		uired	Exis		Proposed				
C	2 2.7 m x 6m		2 2.7 m x 6m		2 1@ 2.7 m x 5.74m				
Spaces		_	1 4	_	1 4	-			



No.	Description	Date		
1 0	Issue for Variance	2021-2-1		

CLIENT	



897 King St W ~ Hamilton ON ~ 905-865-5355

34 Parkside Dr
Addition

Site Plan

Project number

Date

Drawn by

Checked by

Project Number

Issue Date

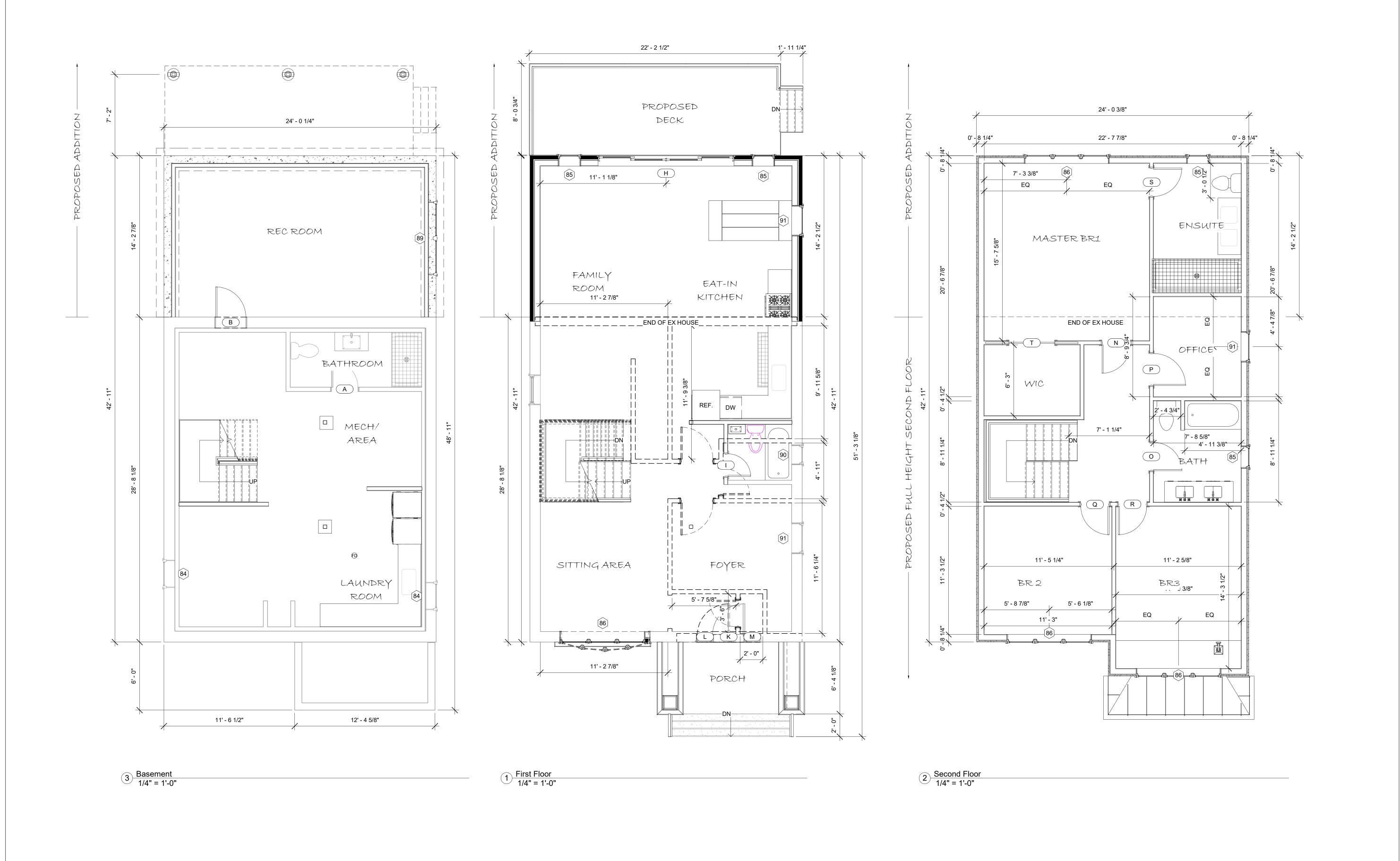
Author

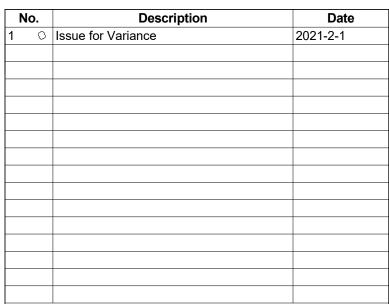
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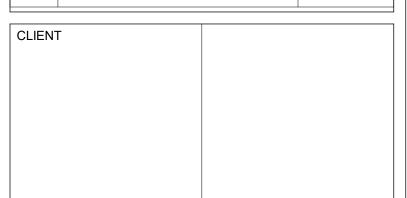
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SP1.01

Scale 1:60









897 King St W ~ Hamilton ON ~ 905-865-5355

34 Parkside Dr

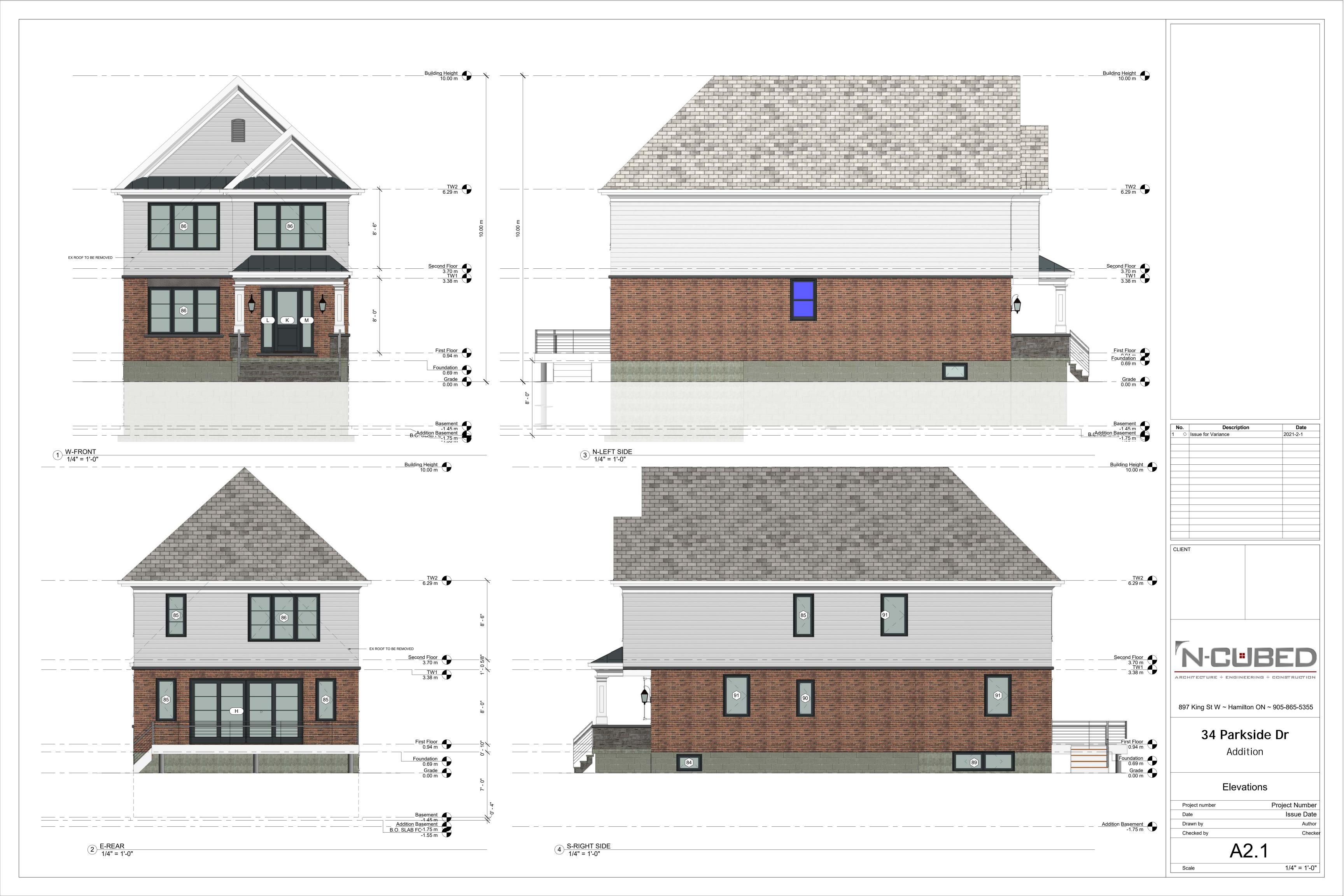
Addition

Floorplai

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker

A1.1

Scale 1/4" = 1'-0"





Committee of Adjustment

City Hall, 5th Floor, 71 Main St. W., Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ON	LY.
APPLICATION NO	DATE APPLICATION RECEIVED
PAID	DATE APPLICATION DEEMED COMPLETE
SECRETARY'S SIGNATURE	
Vision of the second se	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDDESS	
Registered Owners(s)	Oleg Mironov Lorraine Liang	ADDRESS	
Applicant(s)*	Oleg Mironov Lorraine Liang		
Agent or Solicitor	Duy Nguyen (N-Cubed Services Inc)		

Note:

Unless otherwise requested all communications will be sent to the agent, if

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4.	Nature and extent of relief applied for:
	Building height of 10m where 9m is required. North side yard setback of 0.93m where 1.04m is required. GFA of 91.76% where 45% is required. Front yard setback of 4.67m where 6m is required. Parking space dimension of 2.7mx5.74m.
5.	Why it is not possible to comply with the provisions of the By-law?
	The additional 1m height is required to maintain architectural massing. North side yard setback is an existing condition. GFA increase is required to make the house functional for a single family dwelling. Front yard setback is required to provide architectural relief from having large straight building sections.
6.	Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):
	34 Parkside Drive Hamilton, ON
7.	PREVIOUS USE OF PROPERTY
	Residential Industrial Commercial
	Agricultural Vacant Vacant
	Other
8.1	If Industrial or Commercial, specify use
8.2	Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
	Yes No Unknown O
8.3	Has a gas station been located on the subject land or adjacent lands at any time? Yes No Unknown
8.4	Has there been petroleum or other fuel stored on the subject land or adjacent lands? Yes No Unknown
8.5	Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands? Yes No Unknown
8.6	Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
	Yes O No O Unknown
8.7	Have the lands or adjacent lands ever been used as a weapon firing range? Yes No Inknown

0.10	and any rough	son to believe the son adjacent sites?	subject lan	d may h	ave been co	ntaminated by form	ner
	Yes O		Unknown	\bigcirc			
			O'II(IIOWII				
8.11	What information	did vou use to do	tormine th				
	Site inspection	n did you use to de and real estate red	rennine (U	e answe	ers to 9.1 to 9	.10 above?	
	and mopodion (and real estate ret	coras.				
8.12	If previous use of	f property is indust	rial or com	mercial	or if YES to a	any of 9.2 to 9.10	_
		entory showing all the subject land, is		s of the	subject land	or if appropriate, t	a the
	Is the previous us	se inventory attach	ied? Y	'es	☐ No		
9.	ACKNOWLEDG	EMENT CLAUSE					
	I acknowledge that	at the City of Hami	Iton is not	respons	ible for the id	entification and	
		ntamination on the oval to this Applica	HILLIAMA	which is	the subject of	f this Application –	- bv
		oral to this Applica	ation.		1		,
	February 2	, 2021	_/	1	184	\supseteq $\stackrel{\cdot}{\sim}$	>
	Date		Sign	ature Pr	operty Owne		
			Oleg	Mirono	ov and Lorrai	ne Liang	
			Print	Name o	of Owner		
10.	Dimensions of land	ds affected:					
	Frontage	Refer to sitepla	an SP1.01				
	Depth	Refer to sitepla	an SP1.01				
	Area	Refer to sitepla	an SP1.01			*	
	Width of street	Unknown					
11.	Particulars of all by	المالية المالية	the ext				
	Particulars of all buground floor area,	gross floor area	ires on or p	propose	d for the subj	ect lands: (Specify	/
	Existing:_	o a moo, a coa, i	idilibei oi	Stories,	width, length	n, height, etc.)	
	Refer to sitestats	SP1.01					
	Proposed						
	Refer to sitestats S	204.04					
	. Color to sitestats s	3F 1.01					

Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines) 12. Existing:

13.	Date of acquisition of subject lands: January 2021					
14.	Date of construction of all buildings and structures on subject lands: Unknown					
15.	Existing uses of the subject property: Single family residential					
16.	Existing uses of abutting properties: Single family residential					
17.	Length of time the existing uses of the subject property have continued: Continues					
18.	Municipal services available: (check the appropriate space or spaces) Water X Connected X					
	Sanitary Sewer X Storm Sewers X Connected X					
19.	Present Official Plan/Secondary Plan provisions applying to the land: Ainslie Wood Secondary Plan					
20.	Present Restricted Area By-law (Zoning By-law) provisions applying to the land: ZBL 6593 CS-1364					
21.	Has the owner previously applied for relief in respect of the subject property? Yes No If the answer is yes, describe briefly.					
22.	Is the subject property the subject of a current application for consent under Section 53 of the <i>Planning Act</i> ?					
23.	Yes No Additional Information					

24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adiustment such plan shall be signed by an Ontario I and Surveyor.