



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-21:58

APPLICANTS: Owner Sonia Sanchez

SUBJECT PROPERTY: Municipal address **375 East 36th St., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: C district (Urban Protected Residential)

PROPOSAL: To permit the construction of a new 32.0m², one storey attached garage in the front yard of the existing single family dwelling notwithstanding that:

1. A front yard depth of 3.7m shall be provided instead of the minimum required front yard depth of 6.0m
2. One (1) parking space shall be provided whereas the by-law requires parking for a Single Family Dwelling to be provided at a rate of two (2) parking spaces for the first eight (8) habitable rooms, plus 0.5 spaces for each addition habitable room.
3. A manoeuvring space being 3.0m shall be provided on-site instead of the minimum 6.0m manoeuvring space required to be onsite for each parking space.

NOTES:

- i. This is a corner lot. For zoning purposes, the lot line along 375 East 36th Street is considered the front lot line.

The proposed attached garage is intended to replace the car-port existing in the front yard. The applicant intends to enclose this car-port and utilize the existing roof-structure for the proposed garage.

This application will be heard by the Committee as shown below:

DATE: Thursday, March 18th, 2021
TIME: 2:40 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 2nd, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

Address: 375 EAST 36TH ST HAMILTON ON
Description: BUILDING PERMIT DRAWINGS

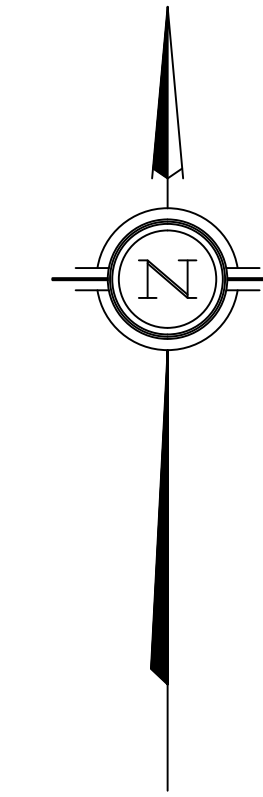
Drawing List

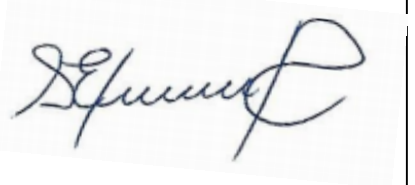
Drawings Types

SITE PLAN
FLOOR PLAN 1
FLOOR PLAN 2
ELEVATION 1
ELEVATION 2
ELEVATION 3
WALL SECTION

Sheet Number

S1
F1
F2
E1
E2
E3
D1



Owner's signature: 

PROJECT: COVERPAGE	
DRAWN BY: OWNER	DATE DRAWN: JAN, 2021
SHEET TITLE: 375 EAST 36TH ST	
SCALE: NTS	SHEET NO.: 00
REVISION: -	

E. 36TH ST

SIDEWALK

PROPERTY LINE

373

GRASS

FLOWER GARDEN

INTERLOCKING

HEDGE

125

12'-6"

21'-11"

ENCLOSED GARAGE
ROOF TO REMAIN UNTOUCHED
15'4"X21'11"

14'-8"

15'-4"

EXISTING INTERLOCKING WALKWAY

FLOWER GARDEN

GRASS

375 EAST 36TH ST

HEDGE

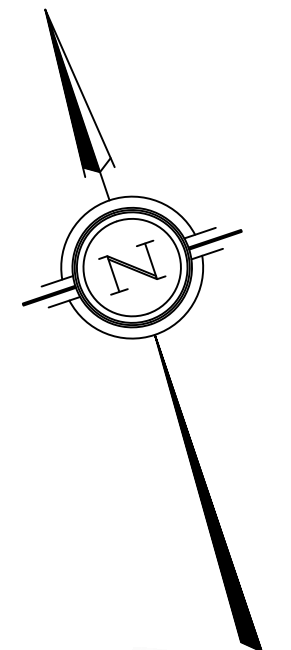
PROPERTY LINE

EXISTING INTERLOCKING DRIVEWAY

10'-0"

SIDEWALK

MACASSA AVE



Owner's signature: *[Handwritten Signature]*

LEGEND:

- HEDGE
- FLOWER GARDEN
- TREE
- BUILDING OUTLINE
- OVERHANG
- PROPOSED OUTLINE
- PROPOSED OVERHANG
- PROPERTY LINE
- CONCRETE SIDEWALK
- FENCELINE
- DRIVEWAY
- CONCRETE PAVEMENT
- INTERLOCKING PAVEMENT

PROJECT: WORK AREA

DRAWN BY: OWNER DATE DRAWN: JAN, 2021

SHEET TITLE: SITE PLAN

SCALE: SCALE: 1/16" = 1'-0"

REVISION: - SHEET NO: S1

Description	Existing	Addition	Total	Setbacks	Existing	Proposed
Area	325sqft	0	325sqft	Front Yard	12ft6"	12ft6"
Proposed Gross Floor Area	325sqft	0	325sqft	Rear Yard	14ft8in	14ft8in
No. of Stories	1 Storey	0	1 Storey	Side	10ft	10ft
Width	15ft4in	15ft4in				
Depth	21ft11in	21ft11in				

NOTE:

BUILDING FACE AREA = 484.12SqFt

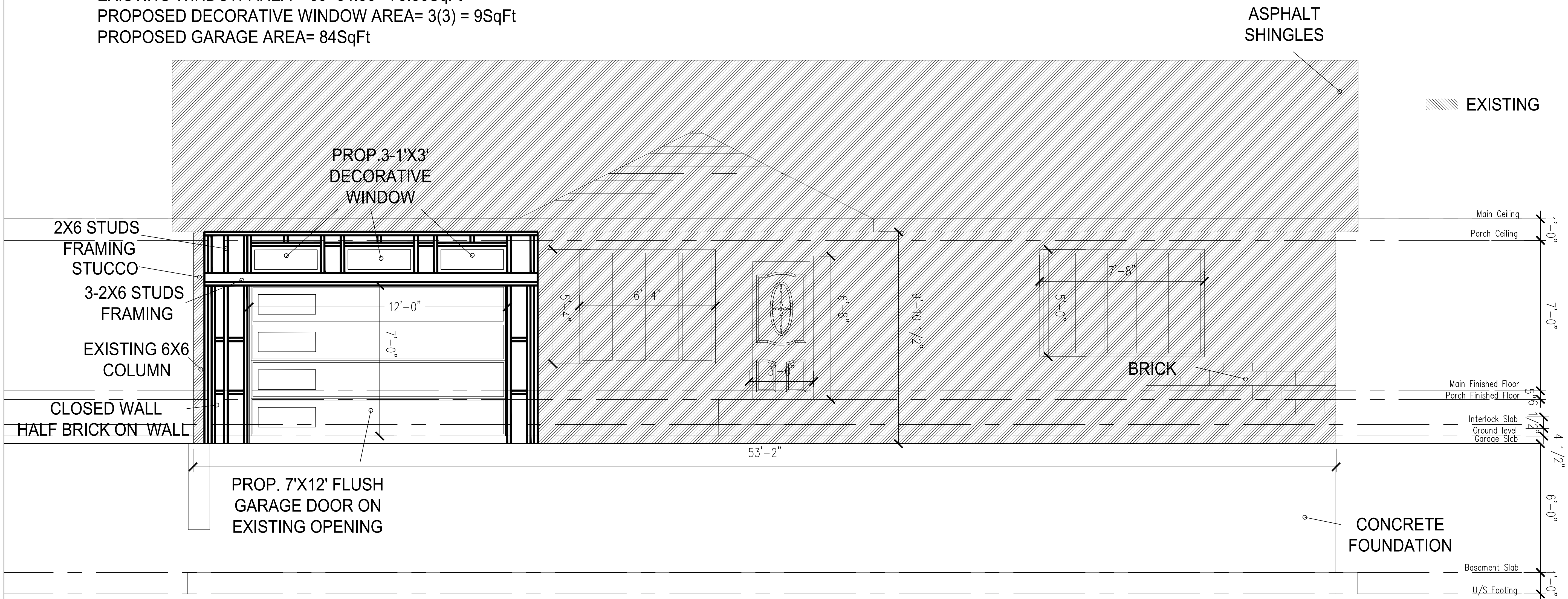
EXISTING DOOR AREA = 20.04SqFt

EXISTING WINDOW AREA = 39+34.56= 73.56SqFt

PROPOSED DECORATIVE WINDOW AREA= 3(3) = 9SqFt

PROPOSED GARAGE AREA= 84SqFt

ENCLOSED EXISTING GARAGE
NORTH ELEVATION



Owner's signature: *[Signature]*

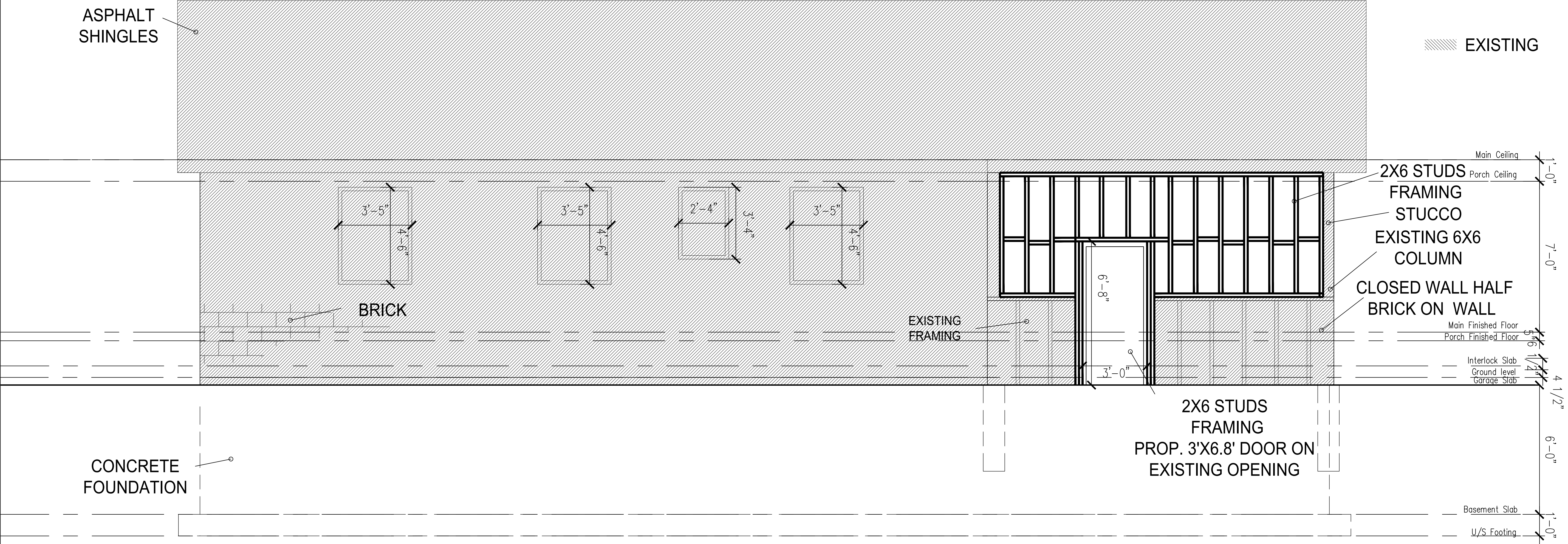
PROJECT: ENCLOSED EXISTING GARAGE	
DRAWN BY: OWNER	DATE DRAWN: JAN, 2021
SHEET TITLE: FRONT ELEVATION	
SCALE: SCALE: 3/8" = 1'-0"	SHEET NO.: E1
REVISIONS: -	

ENCLOSED EXISTING GARAGE
NORTH ELEVATION

NOTE:
 BUILDING FACE AREA = 484.12SqFt
 EXISTING WINDOW AREA = 3(16.1) + 8.16 = 56.46SqFt
 PROPOSED DOOR AREA = 20.04SqFt

ASPHALT
SHINGLES

EXISTING



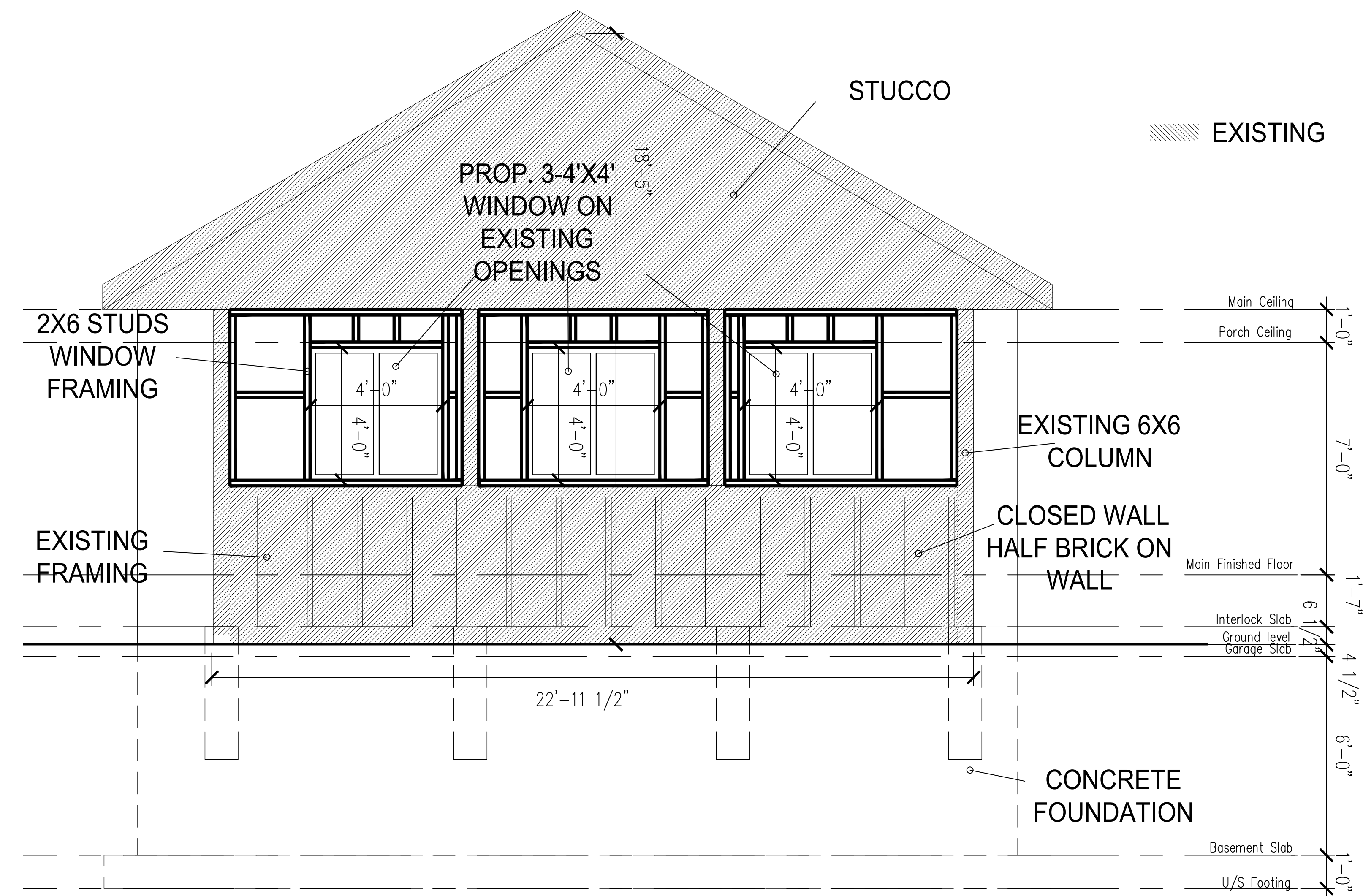
CONCRETE
FOUNDATION

Owner's signature:

PROJECT: ENCLOSED EXISTING GARAGE	
DRAWN BY: OWNER	DATE DRAWN: JAN, 2021
SHEET TITLE: BACK ELEVATION	
SCALE: SCALE: 3/8" = 1'-0"	SHEET NO.: E2
REVISIONS:	

ENCLOSED EXISTING GARAGE
SIDE ELEVATION

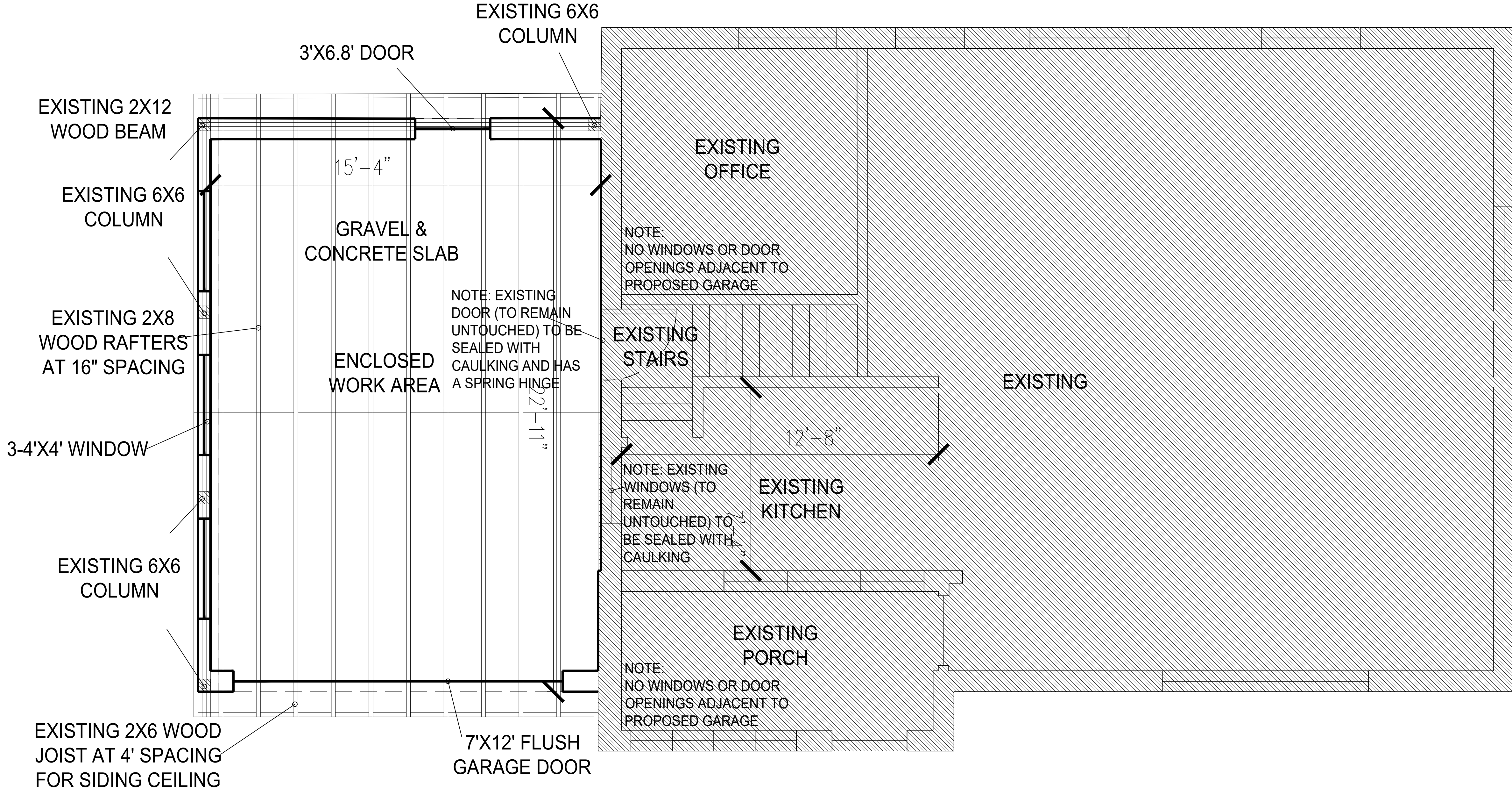
NOTE:
 BUILDING FACE AREA = 350.56SqFt
 PROPOSED WINDOW AREA = 48SqFt



Owner's signature: *[Signature]*

PROJECT: ENCLOSED EXISTING GARAGE	
DRAWN BY: OWNER	DATE DRAWN: JAN, 2021
SHEET TITLE: SIDE ELEVATION	
SCALE: SCALE: 3/8" = 1'-0"	SHEET NO.: E3
REVISIONS: -	

GROUND FLOOR



EXISTING

NOTE: EXISTING SIDING CEILING/
ROOF/RAFTERS/JOIST TO REMAIN
UNTOUCHED

NOTE:
NO WINDOWS OR DOOR
OPENINGS ADJACENT TO
PROPOSED GARAGE

NOTE: EXISTING
DOOR (TO REMAIN
UNTOUCHED) TO BE
SEALED WITH
CAULKING AND HAS
A SPRING HINGE

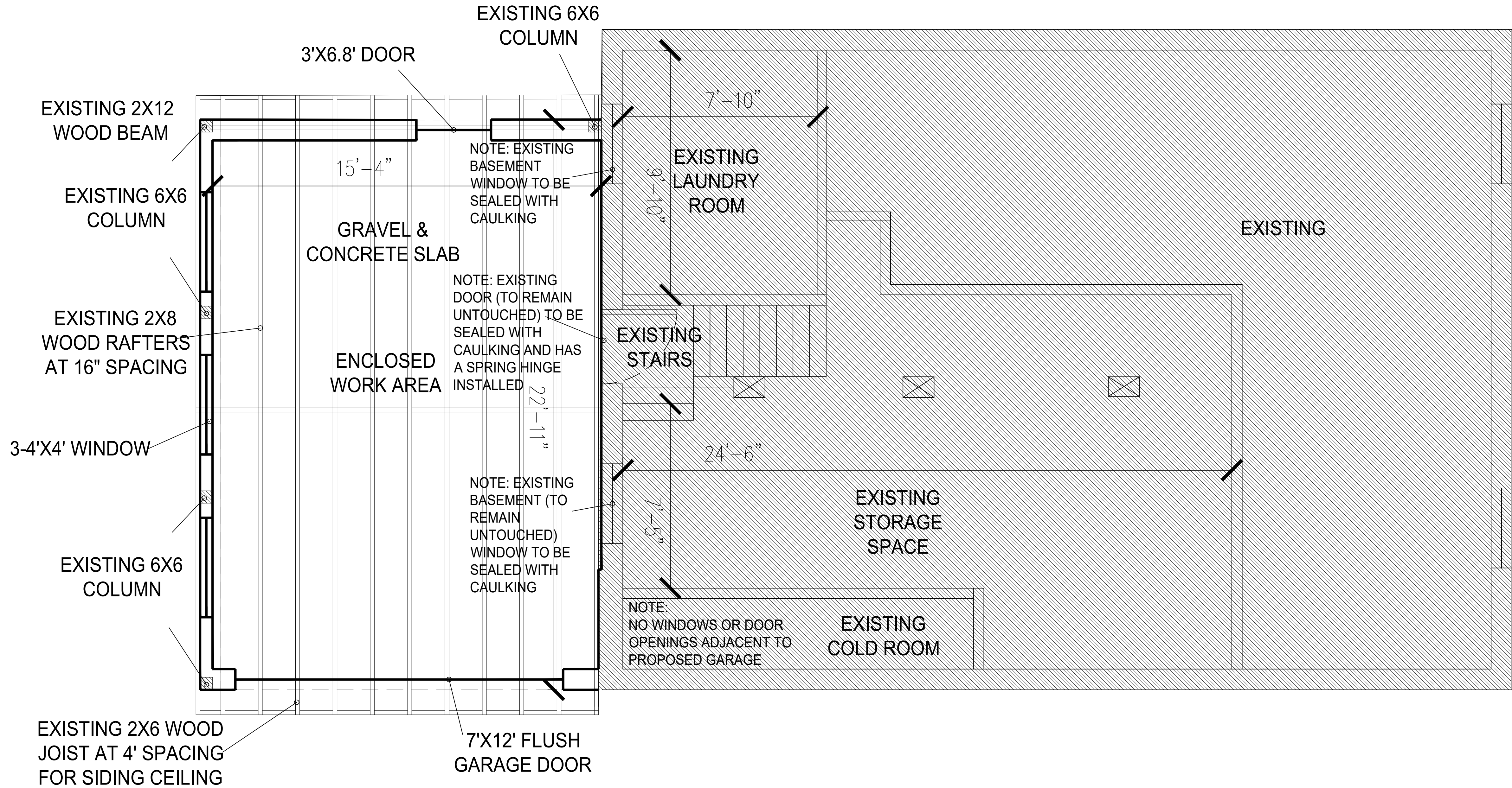
NOTE: EXISTING
WINDOWS (TO
REMAIN
UNTOUCHED) TO
BE SEALED WITH
CAULKING

NOTE:
NO WINDOWS OR DOOR
OPENINGS ADJACENT TO
PROPOSED GARAGE

Owner's signature: *[Signature]*

PROJECT: ENCLOSED EXISTING GARAGE	
DRAWN BY: OWNER	DATE DRAWN: JAN, 2021
SHEET TITLE: FLOOR PLAN	
SCALE: SCALE: 3/8" = 1'-0"	SHEET NO.: F1
REVISIONS: -	

BASEMENT



EXISTING

NOTE: EXISTING SIDING CEILING/
ROOF/RAFTERS/JOIST TO REMAIN
UNTOUCHED

Owner's signature: *[Signature]*

PROJECT: ENCLOSED EXISTING GARAGE	
DRAWN BY: OWNER	DATE DRAWN: JAN, 2021
SHEET TITLE: FLOOR PLAN	
SCALE: SCALE: 3/8" = 1'-0"	SHEET NO.: F2
REVISIONS: -	

EXISTING ROOF
(TO REMAIN UNTOUCHED)
ASPHALT SHINGLES
ROOF UNDERLAYMENT
ROOF MEMBRANE
2X8 WOOD RAFTERS
AT 16" SPACING
EXISTING 2X6 WOOD JOIST
AT 4' SPACING FOR SIDING
CEILING

EXISTING

EXISTING ROOF
3/2X12
WOOD BEAM ABOVE
COLUMN
ATTACH TO 3/2X12 WOOD BEAM

EXISTING WALL
(TO REMAIN UNTOUCHED)
BRICK
AIR SPACE
BUILDING PAPER
SHEATHING
2X4 STUDS
INSULATION
VAPOUR BARRIER
DRYWALL
CONCRETE SLAB

RIDGE INSULATION
ROCKWOOL INSULATION
2X6 STUDS
FRAMING AT 16" SPACING
VAPOUR BARRIER
DRYWALL
4'x4' WINDOWS

EXISTING WOOD SHEATHING
EXISTING BUILDING PAPER
RIGID INSULATION
CLOSED WALL WITH STUCCO

EXISTING WOOD SHEATHING
EXISTING HOUSE WRAP
CLOSED WALL WITH
MORTAR JOINT & BRICK
LINTEL COLUMN TO COLUMN

RIDGE INSULATION
ROCKWOOL INSULATION
EXISTING 6X6 COLUMNS
EXISTING 2X6 STUDS
FRAMING AT 16" SPACING
VAPOUR BARRIER
DRYWALL

Main Finished Floor
Porch Finished Floor

Interlock Slab
Ground level
Garage Slab

GRAVEL & CONCRETE SLAB

Basement Slab

U/S Footing

1'-0"
7'-0"
5'-6"
4'-1/2"
6'-0"
1'-0"

5'-7 1/2"

Owner's signature: 

PROJECT: WALL SECTION	
DRAWN BY: OWNER	DATE DRAWN: JULY, 2020
SHEET TITLE: SECTION	
SCALE: SCALE: 3/4" = 1'-0"	SHEET NO.: D1
REVISIONS:	



Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS	
Registered Owners(s)	Sonia Sanchez		
Applicant(s)*	Sonia Sanchez		
Agent or Solicitor			Phone: E-mail:

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:
Closing existing carport
5. Why it is not possible to comply with the provisions of the By-law?
The carport is existing, when enclosed one side doesn't meet the setback
6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):
375 East 36th St Hamilton, ON L8V3Z9

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial
Agricultural Vacant

Other The property will remain residential

- 8.1 If Industrial or Commercial, specify use _____
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes No Unknown
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes No Unknown
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes No Unknown
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes No Unknown
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes No Unknown
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes No Unknown
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes No Unknown
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?
The use of the property hasn't changed.

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Feb. 03, 2021
Date


Signature Property Owner
Sonia Sanchez
Print Name of Owner

10. Dimensions of lands affected:
Frontage 15ft 4in
Depth 21ft 4in
Area 325sqft
Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:
Carport:
Width: 15ft 4in, Length: 21ft 4in
Area: 325sqft
Storey: 1 storey, Height: 10ft2in

Proposed
Carport (enclosed):
Width: 15ft 4in, Length: 21ft 4in
Area: 325sqft
Storey: 1 storey, Height: 10ft2in

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:
Carport:
Width: 15ft 4in, Length: 21ft 4in
Area: 325sqft
Storey: 1 storey, Height: 10ft2in

Proposed:
Carport (enclosed):
Width: 15ft 4in, Length: 21ft 4in
Area: 325sqft
Storey: 1 storey, Height: 10ft2in

PART 25 AFFIDAVIT OR SWORN DECLARATION

This declaration to be sworn by a Commissioner of Oaths.

I, Sonia Sanchez of the city of Hamilton
in the province of Ontario solemnly declare that:

All of the above statements are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Declared before me at the
at the city of Mississauga)
in the Regional Municipality)
of Peel)
this 03 day of February A.D. 20 21)

[Signature]
Applicant

[Signature]
A Commissioner, etc.

Muhammad Riaz Sahi
Barrister, Solicitor & Notary Public
RIAZ SAHI LAW OFFICE
2 Robert Speck Parkway, Suite 750
Mississauga, Ontario, L4Z 1H8
Tel: (647) 670 - 2424 Fax: (647) 670 - 2307

PART 26 OWNERS AUTHORIZATION

As of the date of this application, I (Sonia Sanchez) (NAME) registered Owner of the lands described in this application, and I have examined the contents of this application and hereby certify that the information submitted with the application is correct insofar as I have knowledge of these facts, and I hereby authorize:

city of Hamilton

to act as my agent in this matter and to provide any of my personal information that will be included in this application or collected during the processing of the application.

DATE Feb. 03, 2021 SIGNED _____

PART 27 CONSENT OF THE OWNER

Complete the consent of the owner concerning personal information set out below.
Consent of Owner to the Disclosure of Application Information and Supporting Documentation
Application information is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P.13. In accordance with that Act, it is the policy of the City of Hamilton to provide public access to all *Planning Act* applications and supporting documentation submitted to the City.

I, Sonia Sanchez, the Owner, hereby agree and acknowledge
(Print name of Owner)

that the information contained in this application and any documentation, including reports, studies and drawings, provided in support of the application, by myself, my agents, consultants and solicitors, constitutes public information and will become part of the public record. As such, and in accordance with the provisions of the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c. M.56, I hereby consent to the City of Hamilton making this application and its supporting documentation available to the general public, including copying and disclosing the application and its supporting documentation to any third party upon their request.

Feb. 03, 2021
Date

[Signature]
Signature of Owner

PART 28 PERMISSION TO ENTER

Date: Feb. 03, 2021

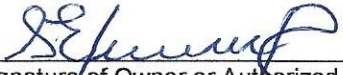
Secretary/Treasurer
Committee of Adjustment
City of Hamilton,
City Hall

Dear Secretary/Treasurer;

Re: Application to Committee of Adjustment

Location of Land: 375 East 36th Street, Hamilton, ON L8V 3Z9
(Municipal address)

I hereby authorize the members of the Committee of Adjustment and members of the staff of the City of Hamilton to enter on to the above-noted property for the limited purposes of evaluating the merits of this application.



Signature of Owner or Authorized agent
Sonia Sanchez

Please print name

Note: The Committee of Adjustment requires that all properties be identified with the municipal address clearly visible from the street. Where there is no municipal address or the property is vacant then the property shall be identified in accordance with the Committee's policy included on the back of the Application Form. Failure to properly identify the subject property may result in the deferral of the application.

PART 29 COLLECTION OF INFORMATION

The personal information contained on this form is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P.13, and will be used for the purpose of processing the application. This information will become part of the public record and will be made available to the general public. Questions about the collection of this information should be directed to the Coordinator of Business Facilitation, Planning and Economic Development Department, City of Hamilton, 1st floor, 71 Main Street West, City Hall, Hamilton, Ontario, Telephone: 905-546-2424, ext.1284.