



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: FL/A-21:73

APPLICANTS: Ian Jonkman on behalf of the owners C. & K. Scharringa

SUBJECT PROPERTY: Municipal address **19 MacDonald St., Flamborough**

ZONING BY-LAW: Zoning By-law 05-200, as Amended 15-173

ZONING: "P7; (S1 is outside of development area) (Conservation /Hazard Land-Rural) district

PROPOSAL: To permit the expansion of an existing single detached dwelling with a gross floor area of 241.92 square metres and the replacement and construction of a legally established non-conforming accessory building within the P7 Zone, notwithstanding that:

1. The maximum gross floor area for the expansion of a single detached dwelling shall be 23% consisting of a 55.6 square metre addition instead of the maximum requirement of 10% of the existing building to allow for a 24.19 square metre addition.
2. An accessory building to replace an existing legally established non-conforming accessory building shall be relocated and constructed having a setback of 1.0 metre from the westerly side lot line instead of the current setback of 12.19 metres; a setback of 64.16 metres from the southerly side lot line (also the boundary of the unopened road allowance of McDonald Street) instead of the current setback of 92.18 metres; and 52.12 metres from the rear lot line instead of the current setback of 30.56 metres.
3. An accessory building to replace an existing legally established non-conforming accessory building shall be permitted to have up to 195.1 square metres of gross floor area instead of the requirement to not exceed the existing gross floor area of 146.1 square metres for the accessory building.

NOTES:

1. The property is zoned P7 (Conservation/Hazard Land-Rural) Zone and S1 (Settlement Residential) Zone. All of the development is within the P7 Zone. The proposed changes are subject to Site Plan Approval.
2. The frontage of the property is along Old Highway No 8. There is no frontage along McDonald Street. The property however, is accessible from a driveway which extends from the open portion of McDonald Street over the unopened road allowance of McDonald Street.
3. The variances are written as requested by the applicant.

4. The site plan that was submitted was not legible in terms of the setbacks for existing and proposed buildings. The information that was provided in the applicant's cover letter was used in the wording of Variance #2. Additional variances may be required if this information is incorrect.

5. The property contains a floodplain and is under conservation management. The property is subject to permits from the Grand River Conservation Authority.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 1st, 2021
TIME: 1:15 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

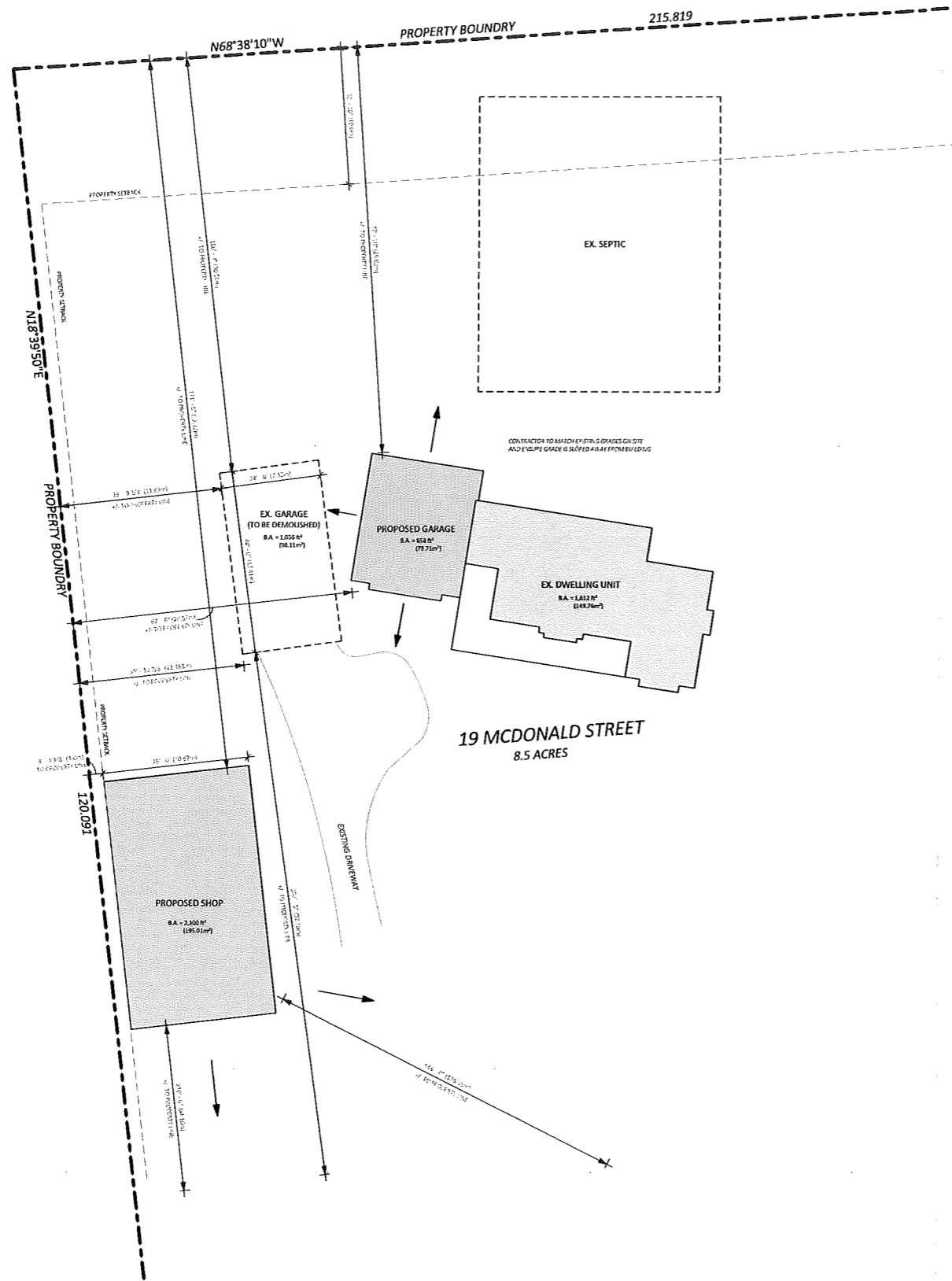
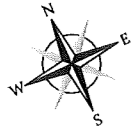
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

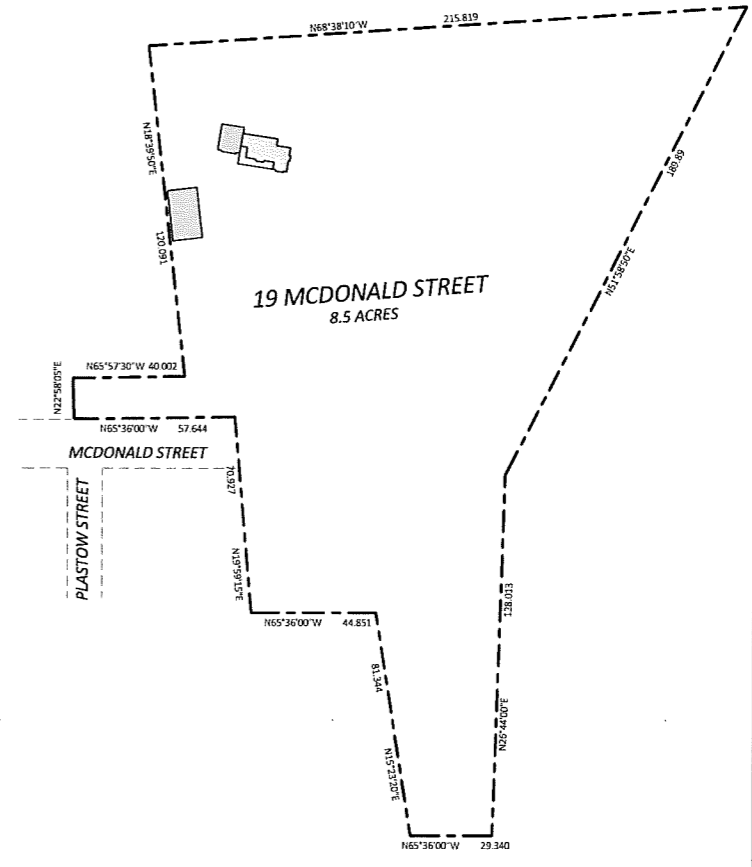
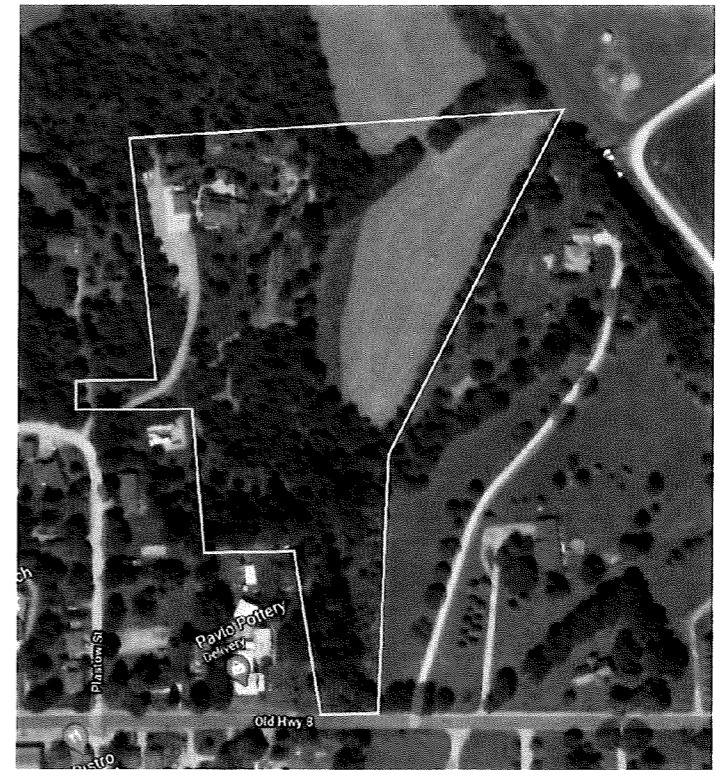
DATED: March 16th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

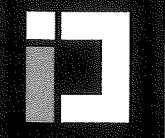
Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



1 SITE PLAN
S.1 1/16" = 1'-0"



2 KEY PLAN
S.1 1" = 100'-0"



- GENERAL NOTES**
1. THE CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS ON THE JOB PRIOR TO CONSTRUCTION.
 2. BEFORE ORDERING ROOF TRUSSES, VERIFY ALL DIMENSIONS ON THE JOB.
 3. DRAWINGS ARE NOT TO BE SCALED.
 4. ALL CONSTRUCTION IS TO MEET THE CURRENT REQUIREMENTS OF THE ONTARIO BUILDING CODE (O.B.C.) AND MUNICIPAL BY-LAWS. THE REQUIRED PERMITS AND APPROVALS ARE TO BE OBTAINED BEFORE THE CONTRACTOR COMMENCES WITH THE WORK.
 5. IF THERE ARE ANY DESIRED CHANGES TO THE DESIGN OF THE BUILDING FOR WHICH THE BUILDING PERMIT WAS ISSUED FOR, THE DESIGNER MUST BE NOTIFIED OF SUCH DESIRED CHANGES AND GIVE APPROVAL BEFORE THE CHANGE COMMENCES.
 6. IF ANY ERRORS ARE DISCOVERED ON THE DRAWINGS, THE DESIGNER MUST BE NOTIFIED BEFORE CONSTRUCTION COMMENCES.

NO.	DATE	DESCRIPTION
1	2020.01.29	PRELIMINARY DESIGN
2	2020.11.13	ISSUED FOR CLIENT REVIEW
3	2020.02.27	ISSUED FOR ALTERNATIVE APPLICATION

NO.	DATE	DESCRIPTION

iDESIGN
580 Sheppard Rd., R.R. #1,
Troy, Ontario L0R 2B0
Office: 519-647-3223
Cell: 519-751-8412 | i-design.ca

Ian Jonkman reviews and takes responsibility for the design work on behalf of a firm, Andy Jonkman Construction Ltd., registered under Sub-section 3.7.4. of Division C of the Building Code.

Individual BCIN: 45579
Firm BCIN: 108245

Ian Jonkman
NAME SIGNATURE

PROJECT INFORMATION
Scharringa Residence - Addition -
19 McDonald Street
Rockton, ON
L0R 1X0

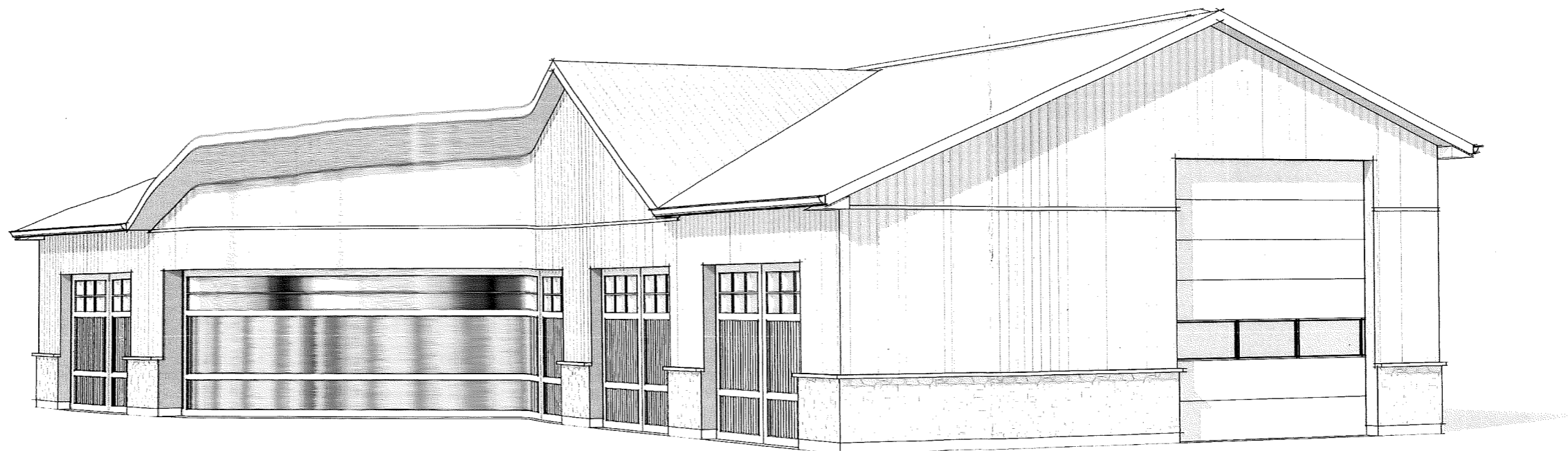
SHEET TITLE
Site Plan

OWNER: C & K Scharringa
DRAWN BY: B.Powell
CHECKED BY: I.Jonkman

DATE: 2020.01.29 **SHEET:** S.1
SCALE: As indicated **OF:**
PROJECT No.: J20109



Storage Shed



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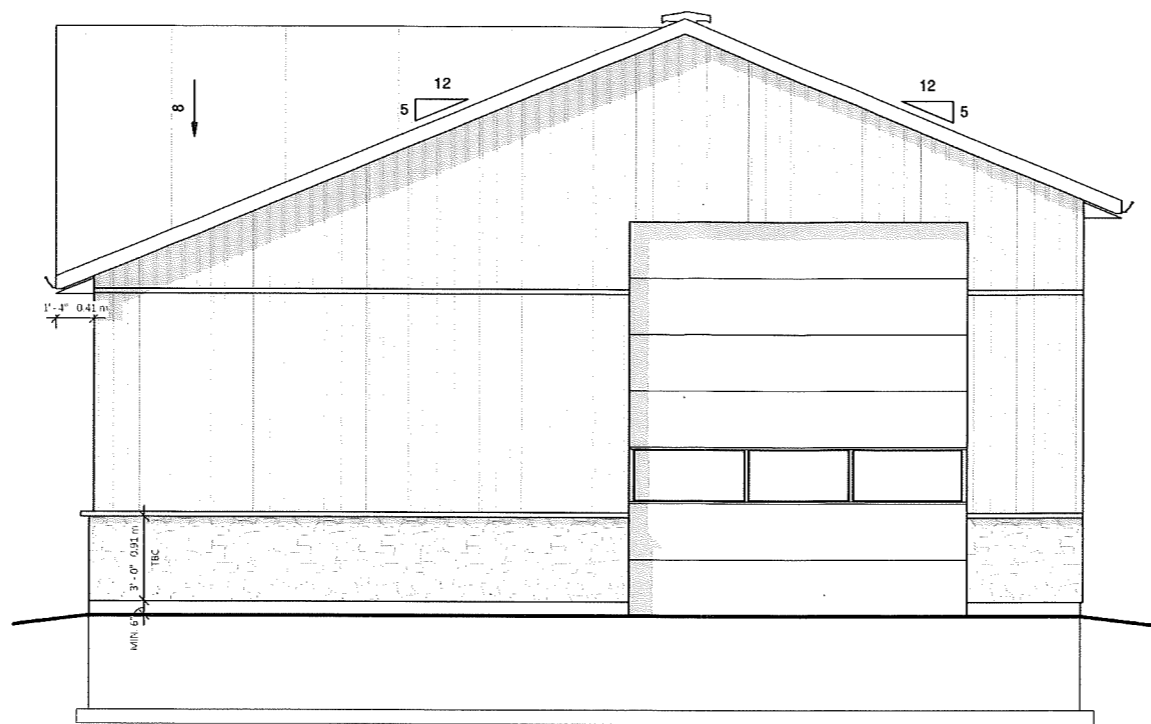
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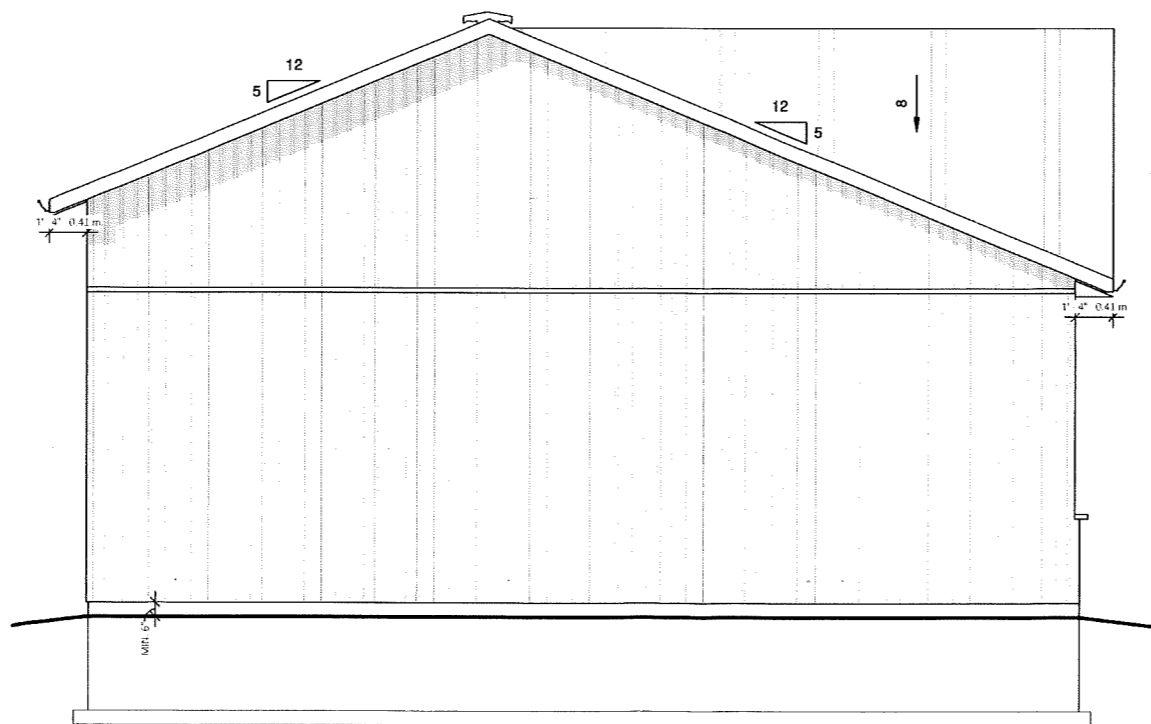
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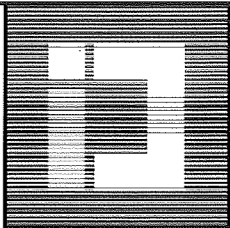
PRC



1 NORTH ELEVATION
A3 1/4" = 1'-0"



2 SOUTH ELEVATION
A3 1/4" = 1'-0"



GENERAL NOTES

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2. Before ordering roof trusses, verify all dimensions on site.
3. Drawings are not to be scaled.
4. All construction is to meet the current requirements of the Ontario Building Code (O.B.C.) & municipal By-laws. The required permits & approvals are to be obtained before the contractor commences with the work.
5. If there are any desired changes to the design of the building in which the building permit was issued for, the designer must be notified of such 'desired changes' and give approval before the change commences.
6. If any errors are discovered on the drawings, the designer must be notified before construction commences.

No.	DATE	DESCRIPTION
DR1	2020.09.30	Preliminary Design
DR2	2020.11.09	Preliminary Design 2
DR3	2020.01.29	Issued for Minor Variance Application

Ian Jonkman reviews and takes responsibility for the design work on behalf of a firm, Andy Jonkman Construction Ltd., registered under sub-section 3.2.4. of Division C of the Building Code.
Individual BCIN: **45579**
Firm BCIN: **103245**
Ian Jonkman

NAME: _____ SIGNATURE: _____

I-DESIGN
ARCHITECTURE & DESIGN

580 Sheffield Rd., R.R.#1,
Troy, Ontario L0R 2B0

Office: 519-647-3223
Cell: 519-751-8412 i-design.ca

PROJECT INFORMATION

Scharringa Storage Shed
19 McDonald Street
Rockton, ON
L0R 1X0

SHEET TITLE

North & South Elevations

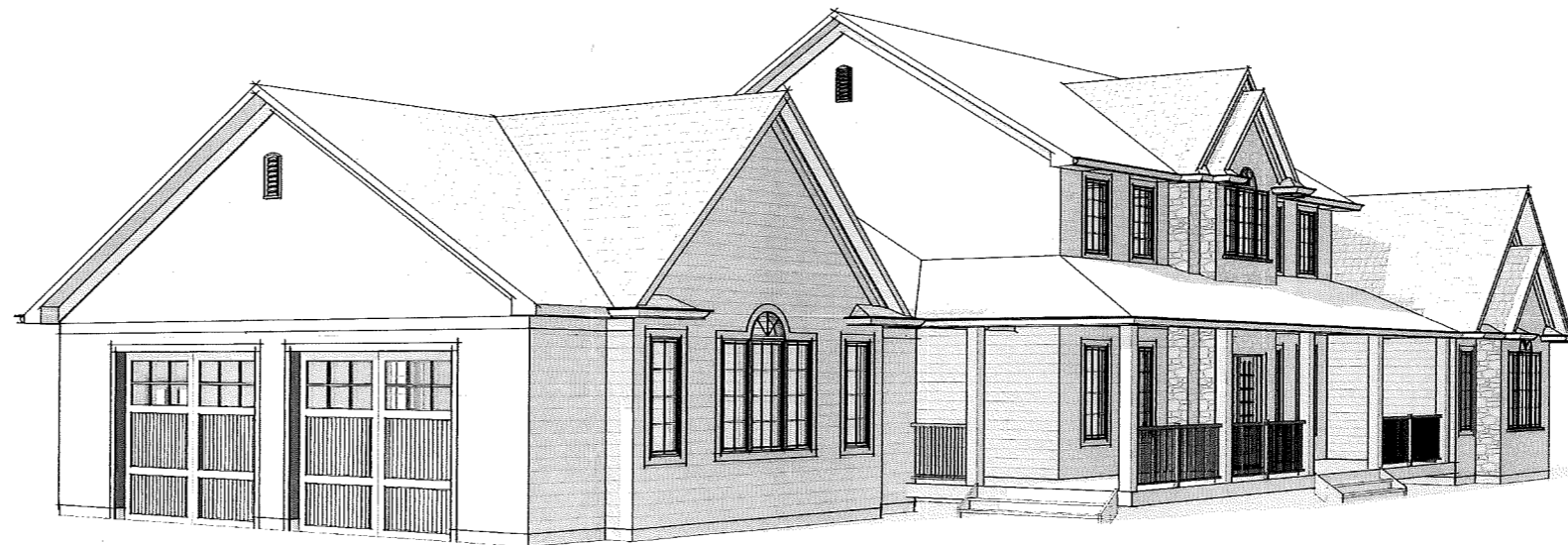
OWNER: C & K Scharringa
DRAWN BY: B.Powell
CHECKED BY: I. Jonkman

DATE 2021.01.29
SHEET **A.3**
SCALE 1/4" = 1'-0" OF

PROJECT No.: J20110



Scharringa Residence - Addition -



PROJECT INFORMATION

ITEM	DESCRIPTION	Existing	Proposed	Total
1.	Building Area & Gross Area			
	Living Area			
	Main Floor Living Area	= 1,612 sq. ft. (149.76 sq. m.)	= 0 sq. ft. (0 sq. m.)	= 1,612 sq. ft. (149.76 sq. m.)
	Second Floor Living Area	= 992 sq. ft. (92.16 sq. m.)	= 0 sq. ft. (0 sq. m.)	= 992 sq. ft. (92.16 sq. m.)
	Gross Living Area	= 2,604 sq. ft. (241.92 sq. m.)	= 0 sq. ft. (0 sq. m.)	= 2,604 sq. ft. (241.92 sq. m.)
	Attached Garage			
	Attached Garage Area	= 0 sq. ft. (0 sq. m.)	= 858 sq. ft. (79.71 sq. m.)	= 858 sq. ft. (79.71 sq. m.)
2.	Storeys	= 1 storey		
3.	Specified Snow Load	= 1.5kPa		
4.	Climatic Zone	= Zone 1 (<5000 Degree Days)		

GENERAL NOTES

1. The contractor must check and verify all dimensions on the job prior to construction.
2. Before ordering roof trusses, verify all dimensions on site.
3. Drawings are not to be scaled.
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No.	DATE	DESCRIPTION
DR1	2020.09.04	Preliminary Design
DR2	2020.11.13	Issued For Client Review
DR3	2020.01.29	Issued for Minor Variance Application

Ian Jonkman reviews and takes responsibility for the design work on behalf of a firm, Andy Jonkman Construction Ltd., registered under sub-section 3.2.4. of Division C of the Building Code.
 Individual BCIN: **45579**
 Firm BCIN: **103245**

Ian Jonkman

NAME SIGNATURE



580 Sheffield Rd., R.R.#1,
Troy, Ontario L0R 2B0

Office: 519-647-3223
 Cell: 519-751-8412 i-design.ca

PROJECT INFORMATION

**Scharringa Residence
- Addition -**
 19 McDonald Street
 Rockton, ON
 L0R 1X0

SHEET TITLE

Title Page

OWNER: C & K Scharringa

DRAWN BY: B.Powell

CHECKED BY: I. Jonkman

DATE
2020.01.29

SCALE
1/4" = 1'-0"

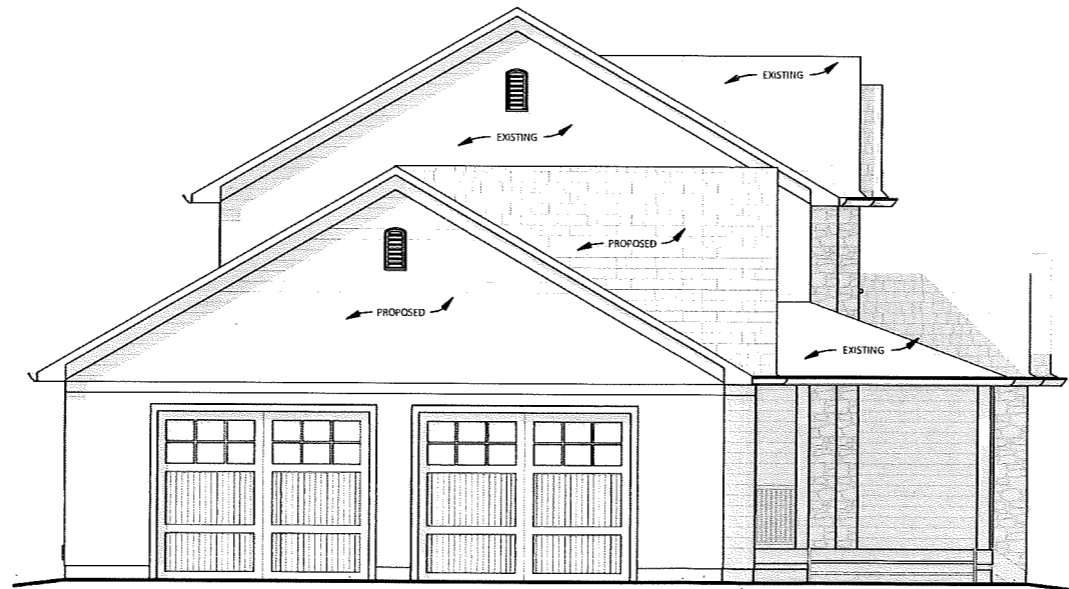
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OF

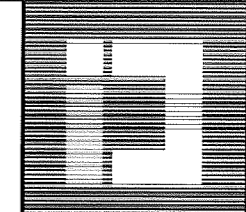
PROJECT No. : J20109



2 EAST ELEVATION
A.3 3/16" = 1'-0"



1 WEST ELEVATION
A.3 3/16" = 1'-0"



GENERAL NOTES
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DR1	2020.09.04	Preliminary Design
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DR3	2020.01.29	Issued for Minor Variance Application

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 Individual BCIN: 45579
 Firm BCIN: 103245
Ian Jonkman

NAME SIGNATURE

i-DESIGN
 GROUP INC.
 580 Sheffield Rd., R.R.#1,
 Troy, Ontario L0R 2B0
 Office: 519-647-3223
 Cell: 519-751-8412 i-design.ca

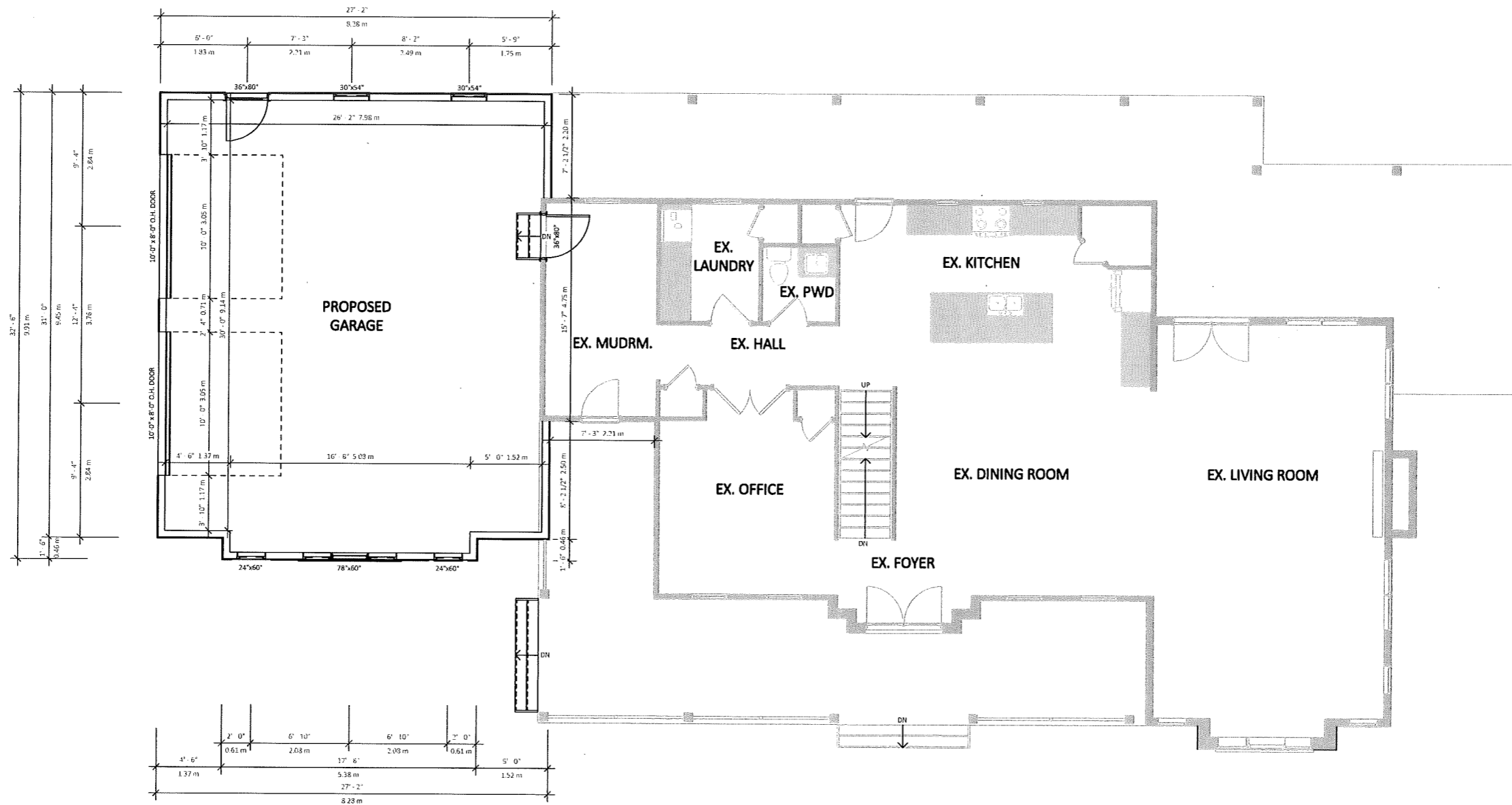
PROJECT INFORMATION
Scharringa Residence
 - Addition -
 19 McDonald Street
 Rockton, ON
 L0R 1X0

SHEET TITLE
 East & West Elevations

OWNER: C & K Scharringa
DRAWN BY: B.Powell
CHECKED BY: I. Jonkman

DATE	SHEET
2020.01.29	A.3
SCALE	
3/16" = 1'-0"	OF

PROJECT No. : J20109



1 MAIN FLOOR PLAN
A.5 3/16" = 1'-0"

GENERAL NOTES

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No.	DATE	DESCRIPTION
D01	2020.09.04	Preliminary Design
D02	2020.11.13	Issued For Client Review
D03	2020.01.29	Issued for Minor Variance Application

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 Individual BCIN: **45579**
 Firm BCIN: **103245**
Ian Jonkman

NAME SIGNATURE

i-DESIGN
ARCHITECTURE
 580 Sheffield Rd., R.R.#1,
 Troy, Ontario L0R 2B0
 Office: 519-647-3223
 Cell: 519-751-8412 i-design.ca

PROJECT INFORMATION
Scharringa Residence
 - Addition -
 19 McDonald Street
 Rockton, ON
 L0R 1X0

SHEET TITLE
Main Floor Plan

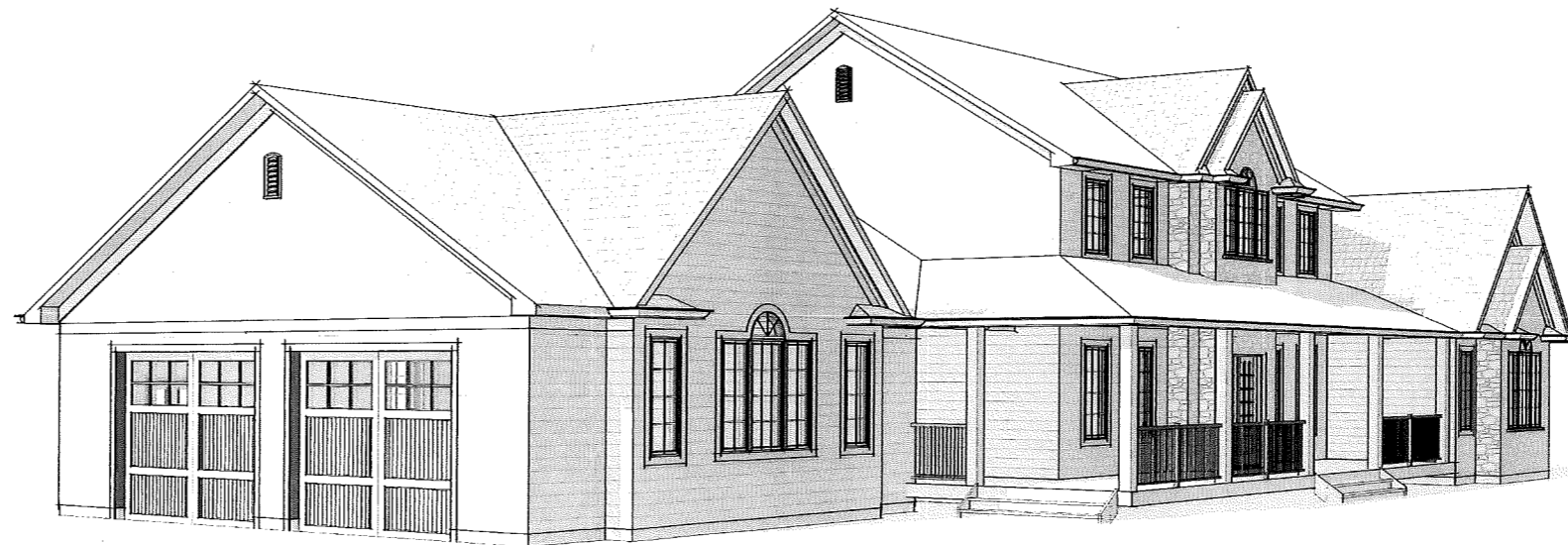
OWNER: C & K Scharringa
DRAWN BY: B. Powell
CHECKED BY: I. Jonkman

DATE 2020.01.29
SCALE 3/16" = 1'-0" OF
SHEET **A.5**

PROJECT No.: J20109



Scharringa Residence - Addition -



PROJECT INFORMATION

ITEM	DESCRIPTION	Existing	Proposed	Total
1.	Building Area & Gross Area			
	Living Area			
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2.	Storeys	= 1 storey		
3.	Specified Snow Load	= 1.5kPa		
4.	Climatic Zone	= Zone 1 (<5000 Degree Days)		

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NO.	DATE	DESCRIPTION
DR1	2020.09.04	Preliminary Design
DR2	2020.11.13	Issued For Client Review
DR3	2020.01.29	Issued For Minor Variance Application

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 Individual BCIN: **45579**
 Firm BCIN: **103245**

Ian Jonkman



580 Sheffield Rd., R.R.#1,
Troy, Ontario L0R 2B0

Office: 519-647-3223
 Cell: 519-751-8412 i-design.ca

PROJECT INFORMATION

**Scharringa Residence
- Addition -**
 19 McDonald Street
 Rockton, ON
 L0R 1X0

SHEET TITLE

Title Page

OWNER: C & K Scharringa

DRAWN BY: B.Powell

CHECKED BY: I. Jonkman

DATE
2020.01.29

SCALE
1/4" = 1'-0"

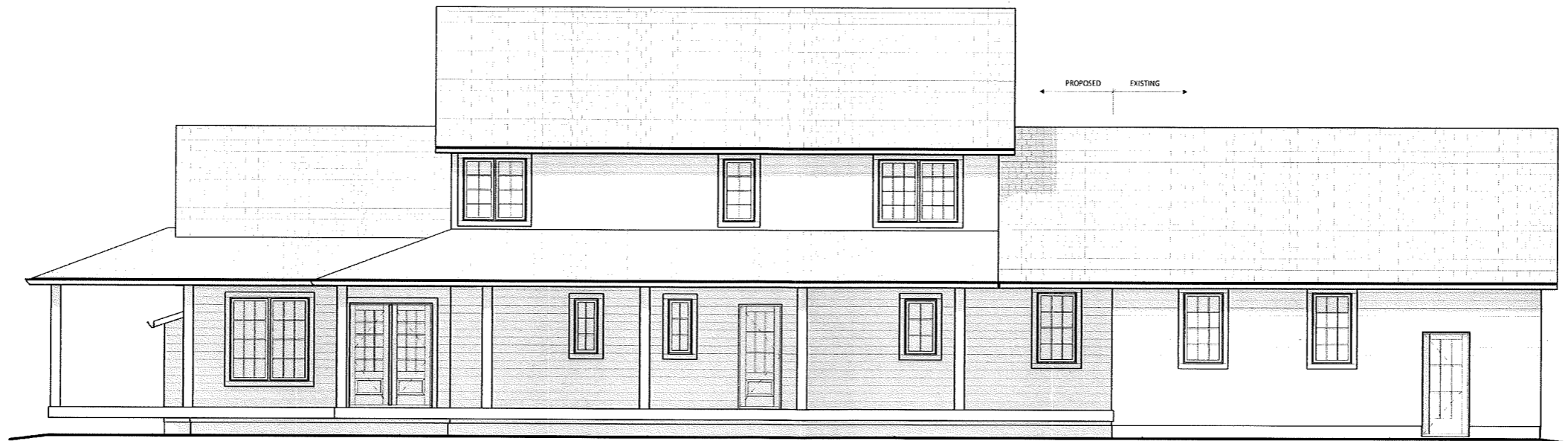
SHEET
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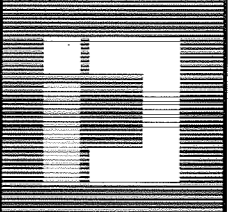
PROJECT No. : J20109



1 SOUTH ELEVATION
A.2 3/16" = 1'-0"



2 NORTH ELEVATION
A.2 3/16" = 1'-0"



GENERAL NOTES
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Ian Jonkman

NAME SIGNATURE

i-DESIGN
 580 Sheffield Rd., R.R.#1,
 Troy, Ontario L0R 2B0
 Office: 519-647-3223
 Cell: 519-751-8412 i-design.ca

PROJECT INFORMATION
 Scharringa Residence
 - Addition -
 19 McDonald Street
 Rockton, ON
 L0R 1X0

SHEET TITLE
 North & South Elevations

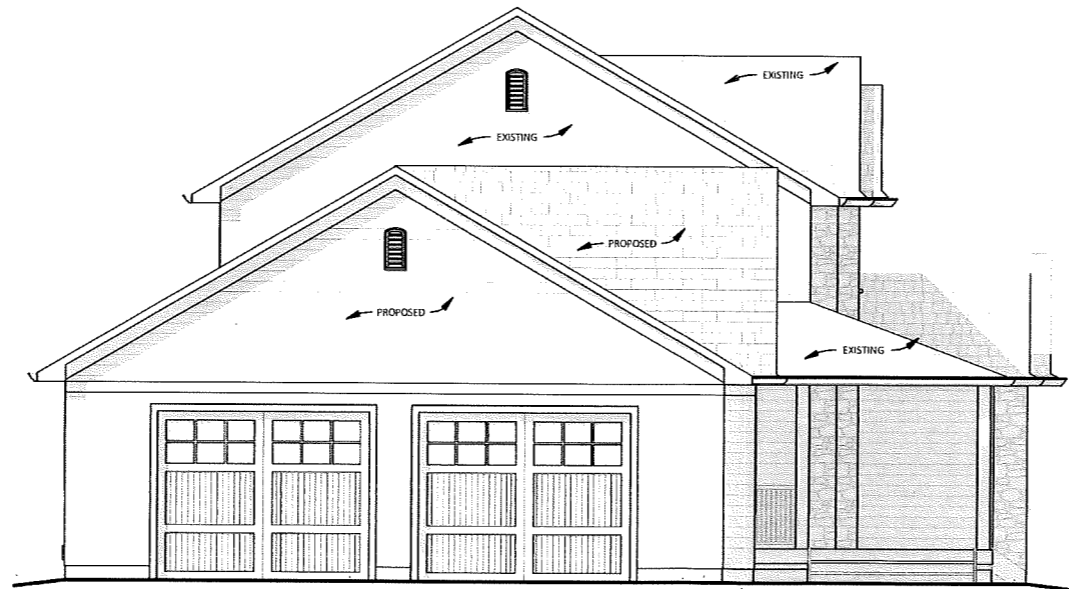
OWNER: C & K Scharringa
DRAWN BY: B.Powell
CHECKED BY: I. Jonkman

DATE 2020.01.29
SCALE 3/16" = 1'-0" OF
SHEET A.2

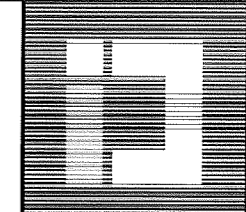
PROJECT No.: J20109



2 EAST ELEVATION
A.3 3/16" = 1'-0"



1 WEST ELEVATION
A.3 3/16" = 1'-0"



GENERAL NOTES
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 Firm BCIN: 103245
Ian Jonkman

NAME SIGNATURE

i-DESIGN
 ARCHITECTURE
 580 Sheffield Rd., R.R.#1,
 Troy, Ontario L0R 2B0
 Office: 519-647-3223
 Cell: 519-751-8412 i-design.ca

PROJECT INFORMATION
Scharringa Residence
 - Addition -
 19 McDonald Street
 Rockton, ON
 L0R 1X0

SHEET TITLE
 East & West Elevations

OWNER: C & K Scharringa

DRAWN BY: B.Powell

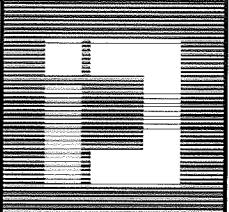
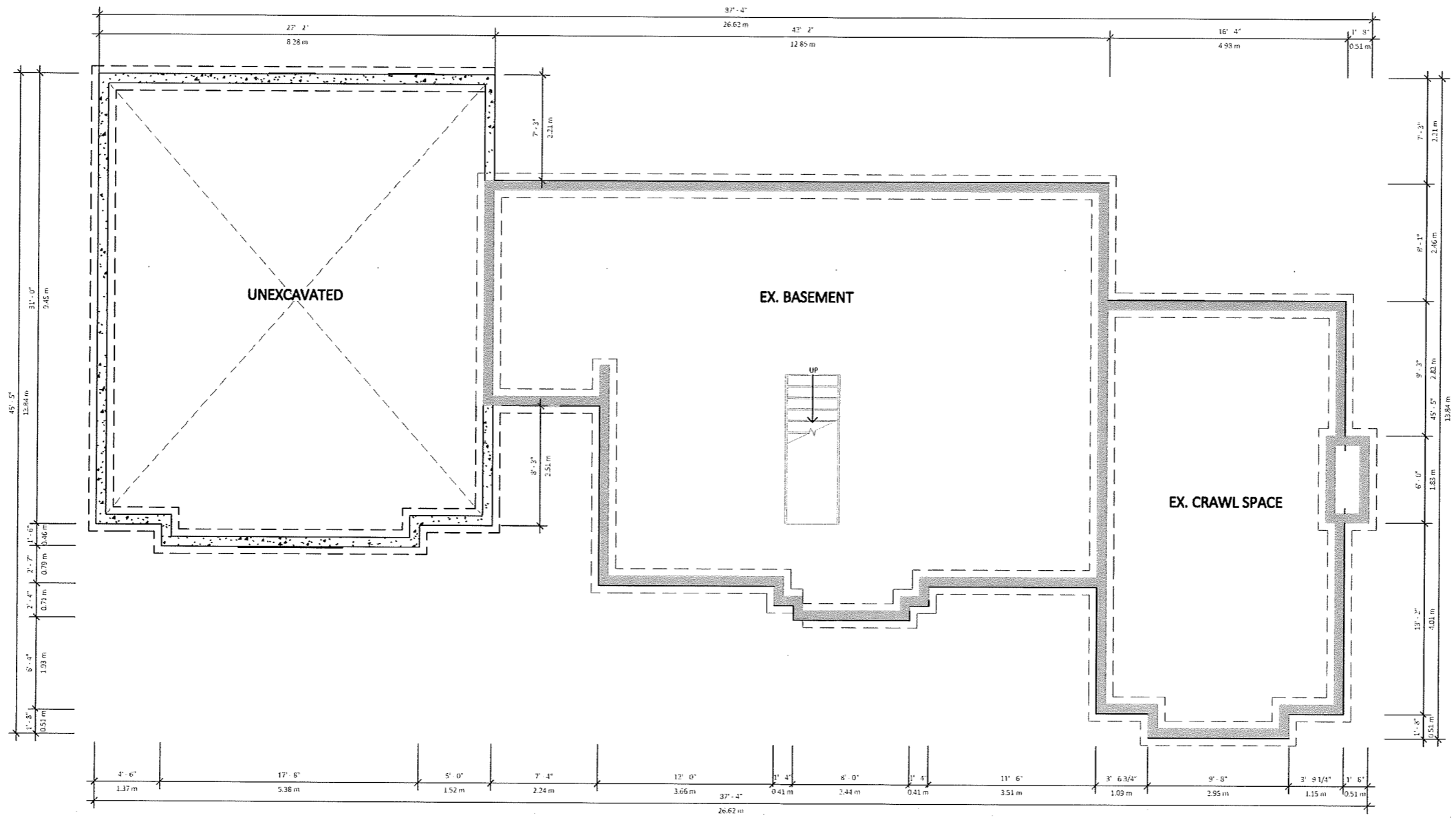
CHECKED BY: I. Jonkman

DATE 2020.01.29

SHEET A.3

SCALE 3/16" = 1'-0" OF

PROJECT No. : J20109



GENERAL NOTES

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DR2	2020.11.13	Issued For Client Review
DR3	2020.01.29	Issued for Minor Variance Application

Ian Jonkman reviews and takes responsibility for the design work on behalf of a firm, Andy Jonkman Construction Ltd., registered under sub-section 3.2.4, of Division C of the Building Code.
 Individual BCIN: **45579**
 Firm BCIN: **103245**
Ian Jonkman

NAME	SIGNATURE

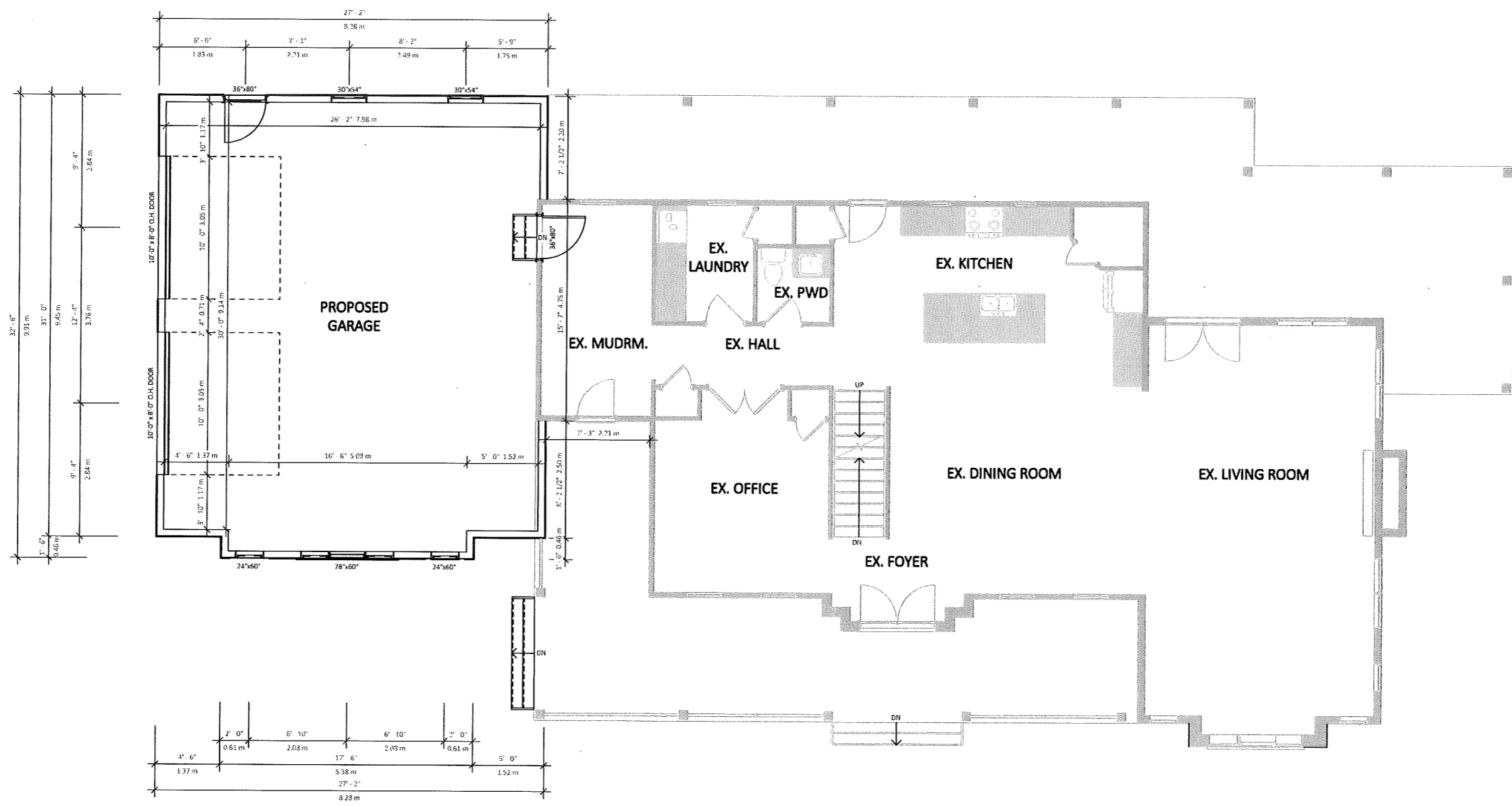
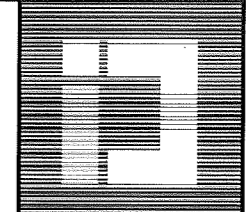
i-DESIGN DRAFTING
 580 Sheffield Rd., R.R.#1,
 Troy, Ontario L0R 2B0
 Office: 519-647-3223
 Cell: 519-751-8412 i-design.ca

PROJECT INFORMATION
Scharringa Residence - Addition -
 19 McDonald Street
 Rockton, ON
 L0R 1X0

SHEET TITLE
Foundation Plan

OWNER:	C & K Scharringa
DRAWN BY:	B. Powell
CHECKED BY:	I. Jonkman
DATE	2020.01.29
SCALE	3/16" = 1'-0" OF
PROJECT No. :	J20109

1 FOUNDATION PLAN
 A.4 3/16" = 1'-0"



1 MAIN FLOOR PLAN
A.5 3/16" = 1'-0"

GENERAL NOTES

1. The contractor must check and verify all dimensions on the job prior to construction.
2. Before ordering roof trusses, verify all dimensions on site.
3. Drawings are not to be scaled.
4. All construction is to meet the current requirements of the Ontario Building Code (O.B.C.) & municipal By-laws. The required permits & approvals are to be obtained before the contractor commences with the work.
5. If there are any desired changes to the design of the building in which the building permit was issued for, the designer must be notified of such 'desired changes' and give approval before the change commences.
6. If any errors are discovered on the drawings, the designer must be notified before construction commences.

No.	DATE	DESCRIPTION
D01	2020.09.04	Preliminary Design
D02	2020.11.13	Issued For Client Review
D03	2020.01.29	Issued For Minor Variance Application

Ian Jonkman reviews and takes responsibility for the design work on behalf of a firm, Andy Jonkman Construction Ltd., registered under sub-section 3.2.4. of Division C of the Building Code.
 Individual BCIN: 45579
 Firm BCIN: 103245
Ian Jonkman

NAME SIGNATURE



580 Sheffield Rd., R.R.#1,
Troy, Ontario L0R 2B0
 Office: 519-647-3223
 Cell: 519-751-8412 i-design.ca

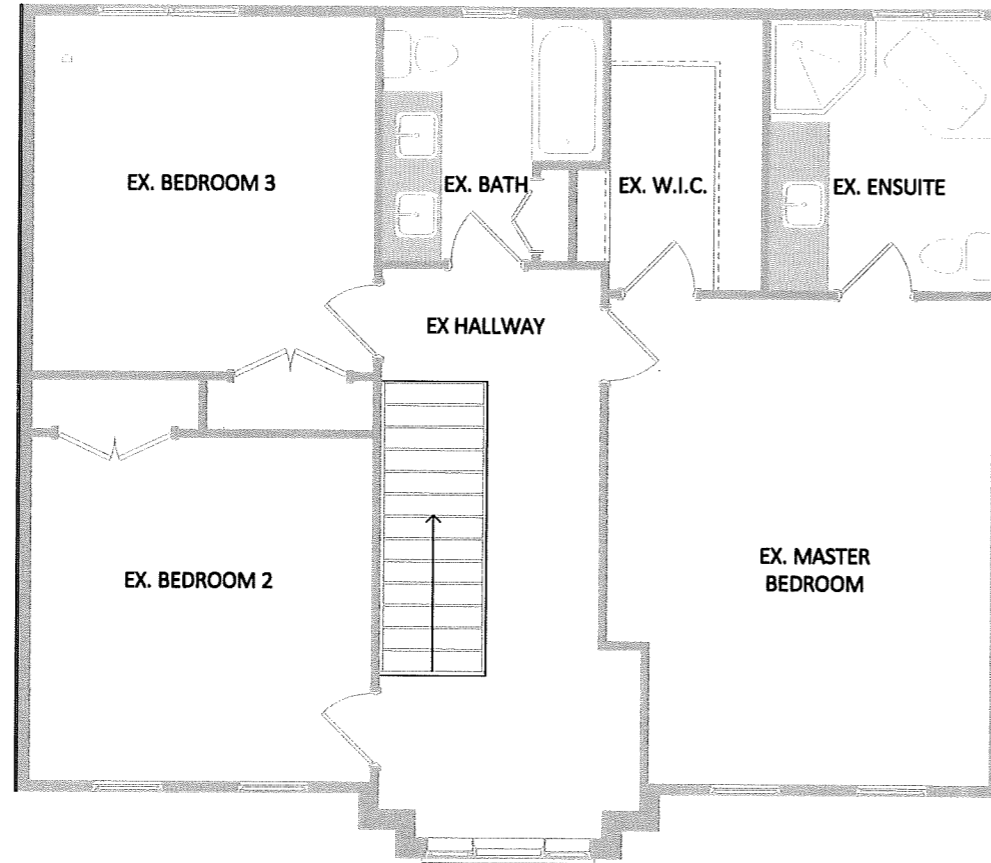
PROJECT INFORMATION
 Scharringa Residence
 - Addition -
 19 McDonald Street
 Rockton, ON
 L0R 1X0

SHEET TITLE
 Main Floor Plan

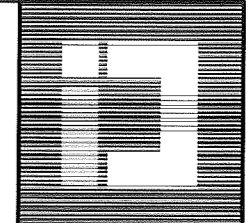
OWNER: C & K Scharringa
DRAWN BY: B. Powell
CHECKED BY: I. Jonkman

DATE 2020.01.29
SCALE 3/16" = 1'-0" OF
SHEET A.5

PROJECT No.: J20109



1 SECOND FLOOR PLAN
A.6 1/4" = 1'-0"



- GENERAL NOTES**
1. The contractor must check and verify all dimensions on the job prior to construction.
 2. Before ordering roof trusses, verify all dimensions on site.
 3. Drawings are not to be scaled.
 4. All construction is to meet the current requirements of the Ontario Building Code (O.B.C.) & municipal By-laws. The required permits & approvals are to be obtained before the contractor commences with the work.
 5. If there are any desired changes to the design of the building in which the building permit was issued for, the designer must be notified of such 'desired changes' and give approval before the change commences.
 6. If any errors are discovered on the drawings, the designer must be notified before construction commences.

No.	DATE	DESCRIPTION
DR1	2020.09.04	Preliminary Design
DR2	2020.11.13	Issued For Client Review
DR3	2020.01.29	Issued for Minor Variance Application

Ian Jonkman reviews and takes responsibility for the design work on behalf of a firm, Andy Jonkman Construction Ltd., registered under sub-section 3.2.4. of Division C of the Building Code.
 Individual BCIN: 45579
 Firm BCIN: 103245
Ian Jonkman

NAME SIGNATURE

i-DESIGN
ARCHITECTURE & ENGINEERING

580 Sheffield Rd., R.R.#1,
 Troy, Ontario L0R 2B0

Office: 519-647-3223
 Cell: 519-751-8412 i-design.ca

PROJECT INFORMATION

Scharringa Residence
 - Addition -
 19 McDonald Street
 Rockton, ON
 L0R 1X0

SHEET TITLE

Second Floor Plan

OWNER: C & K Scharringa

DRAWN BY: B.Powell

CHECKED BY: I. Jonkman

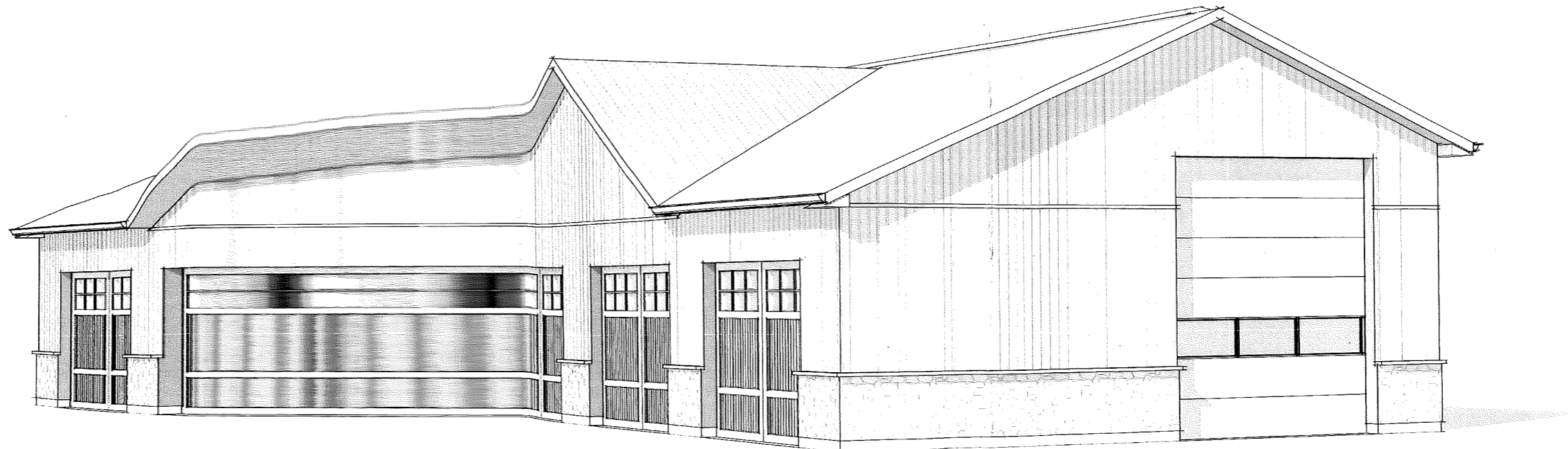
DATE 2020.01.29 **SHEET** A.6

SCALE 1/4" = 1'-0" OF

PROJECT No. : J20109



Storage Shed



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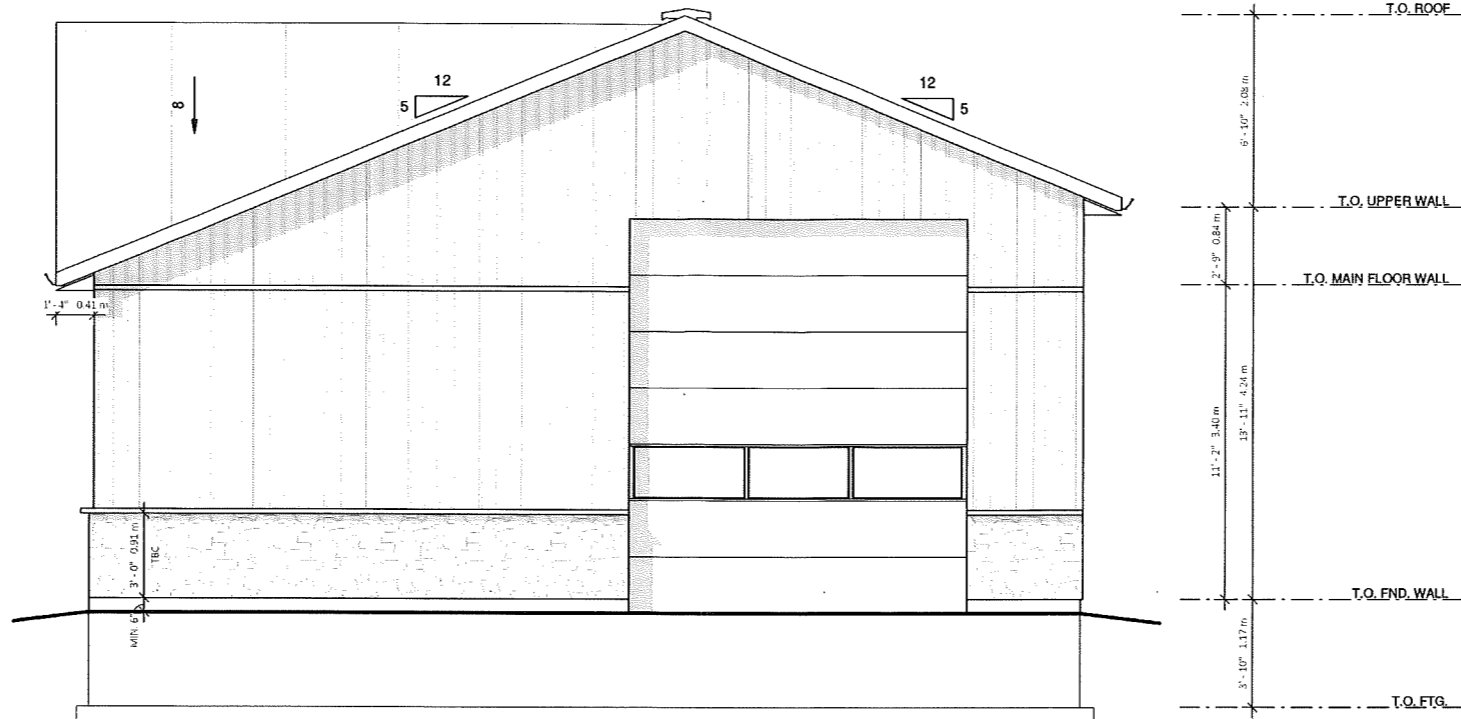
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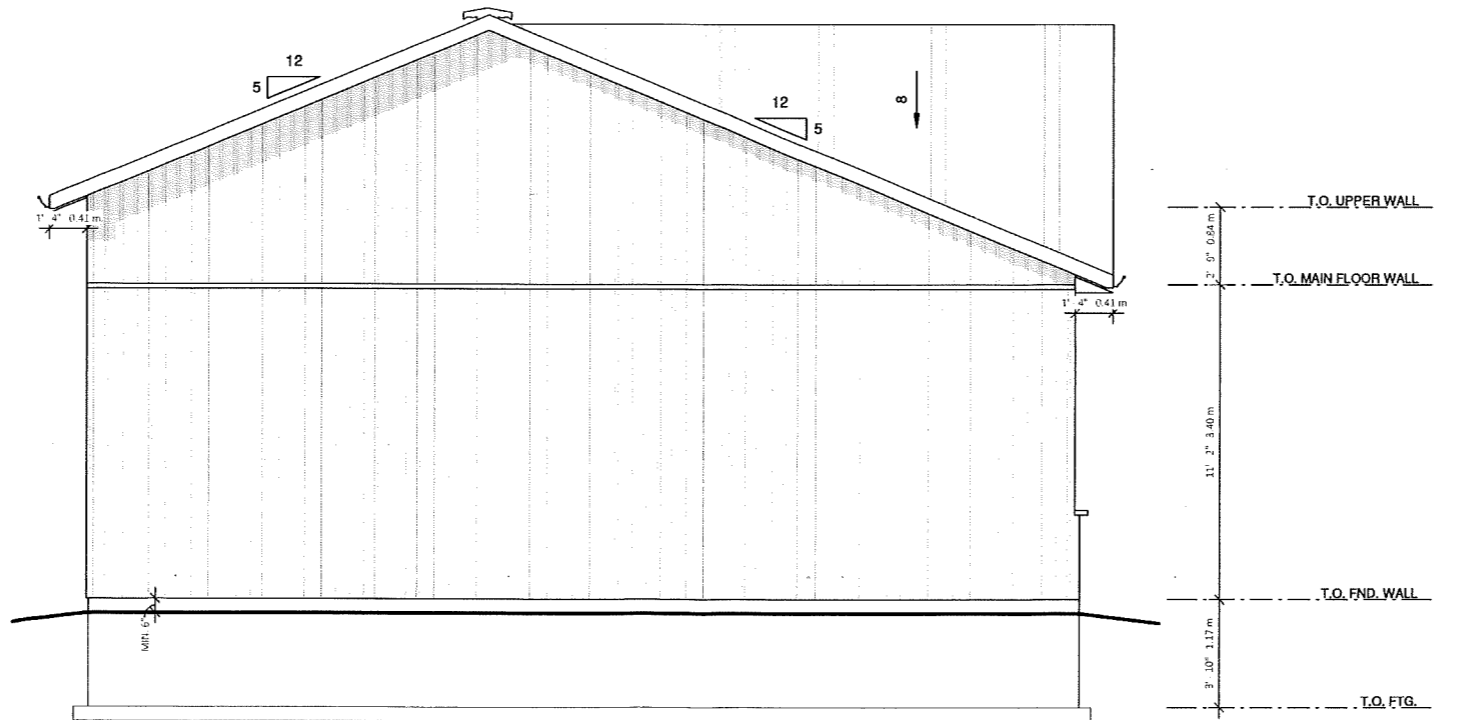
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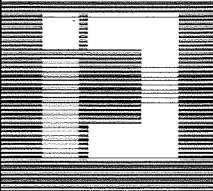
PRC



1 NORTH ELEVATION
A3 1/4" = 1'-0"



2 SOUTH ELEVATION
A3 1/4" = 1'-0"



- GENERAL NOTES**
1. The contractor must check and verify all dimensions on the job prior to construction.
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 3. Drawings are not to be scaled.
 4. All construction is to meet the current requirements of the Ontario Building Code (O.B.C.) & municipal By-laws. The required permits & approvals are to be obtained before the contractor commences with the work.
 5. If there are any desired changes to the design of the building in which the building permit was issued for, the designer must be notified of such 'desired changes' and give approval before the change commences.
 6. If any errors are discovered on the drawings, the designer must be notified before construction commences.

No.	DATE	DESCRIPTION
D81	2020.09.30	Preliminary Design
D82	2020.11.09	Preliminary Design 2
D83	2020.01.29	Issued for Minor Variance Application

Ian Jonkman reviews and takes responsibility for the design work on behalf of a firm, Andy Jonkman Construction Ltd., registered under sub-section 3.2.4. of Division C of the Building Code.
 Individual BCIN: **45579**
 Firm BCIN: **103245**
Ian Jonkman

NAME SIGNATURE

i-design
 architects & interior designers
 580 Sheffield Rd., R.R.#1,
 Troy, Ontario L0R 2B0
 Office: 519-647-3223
 Cell: 519-751-8412 i-design.ca

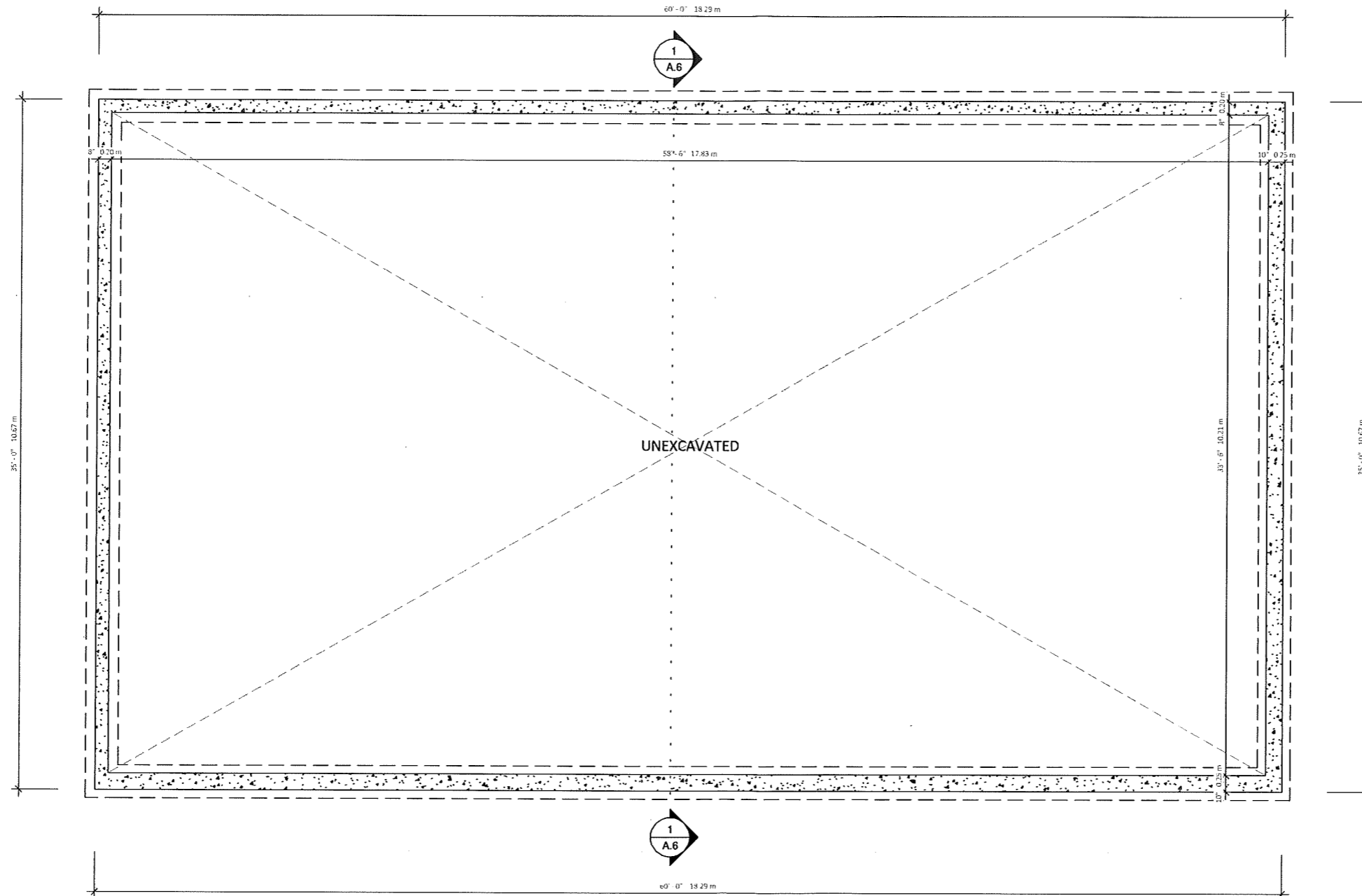
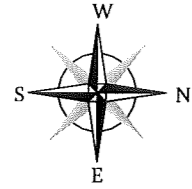
PROJECT INFORMATION
Scharringa Storage Shed
 19 McDonald Street
 Rockton, ON
 L0R 1X0

SHEET TITLE
 North & South Elevations

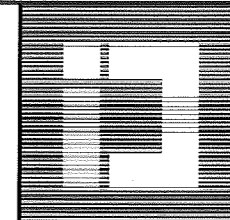
OWNER: C & K Scharringa
DRAWN BY: B.Powell
CHECKED BY: I. Jonkman

DATE 2021.01.29
SCALE 1/4" = 1'-0" OF
SHEET A.3

PROJECT No.: J20110



1
A.4 FOUNDATION PLAN
1/4" = 1'-0"



GENERAL NOTES

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2. Before ordering roof trusses, verify all dimensions on site.
3. Drawings are not to be scaled.
4. All construction is to meet the current requirements of the Ontario Building Code (O.B.C.) & Municipal By-laws. The required permits & approvals are to be obtained before the contractor commences with the work.
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6. If any errors are discovered on the drawings, the designer must be notified before construction commences.

No.	DATE	DESCRIPTION
DR1	2020.09.30	Preliminary Design
DR2	2020.11.09	Preliminary Design 2
DR3	2020.01.29	Issued for Minor Variance Application

Ian Jonkman reviews and takes responsibility for the design work on behalf of a firm, Andy Jonkman Construction Ltd., registered under sub-section 3.2.4. of Division C of the Building Code.
 Individual BCIN: **45579**
 Firm BCIN: **103245**
Ian Jonkman

NAME SIGNATURE



580 Sheffield Rd., R.R.#1,
 Troy, Ontario L0R 2B0
 Office: 519-647-3223
 Cell: 519-751-8412 i-design.ca

PROJECT INFORMATION

Scharringa Storage Shed
 19 McDonald Street
 Rockton, ON
 L0R 1X0

SHEET TITLE

Foundation Plan

OWNER: C & K Scharringa

DRAWN BY: B.Powell

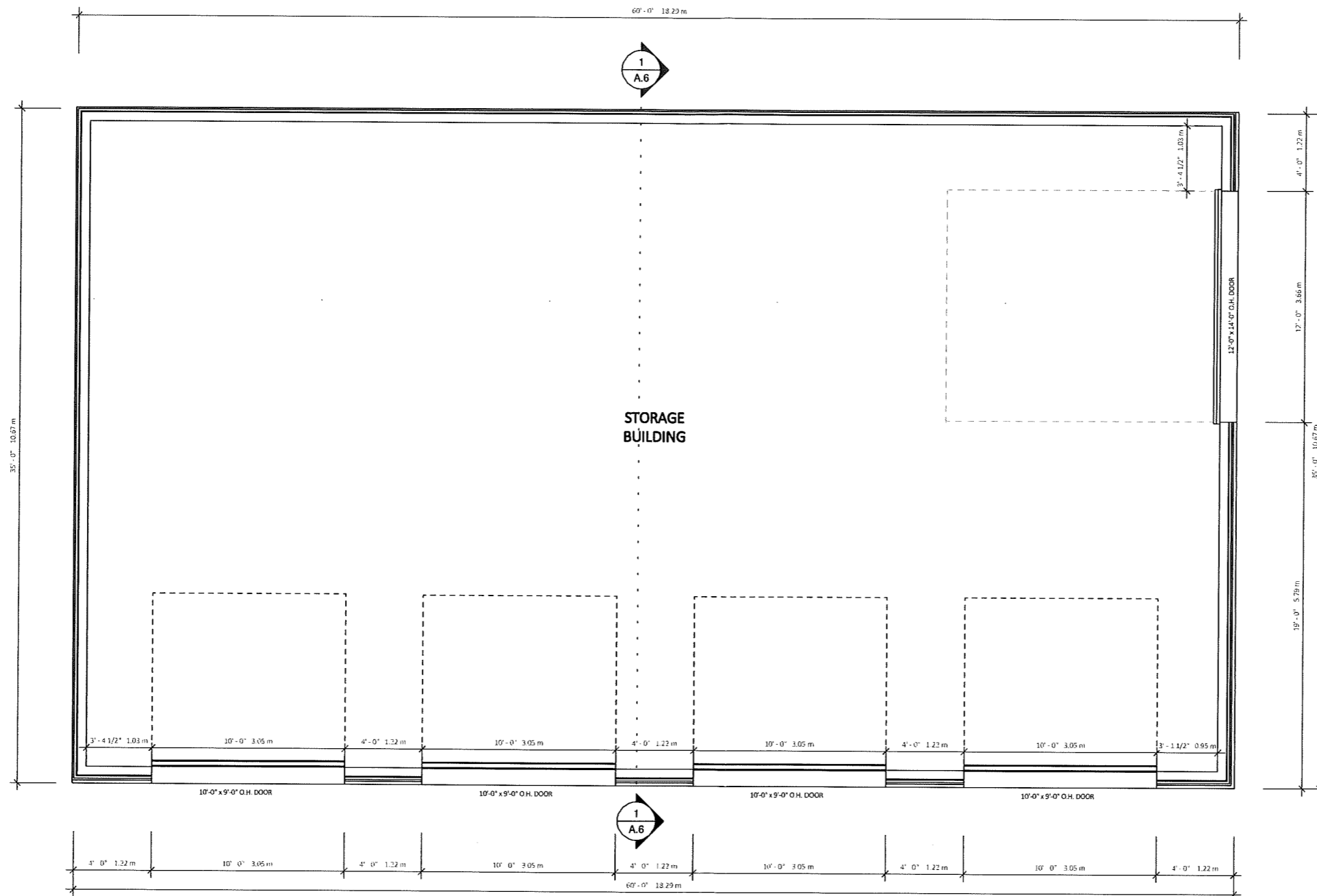
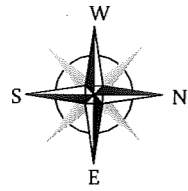
CHECKED BY: I. Jonkman

DATE: 2021.01.29

SHEET: A.4

SCALE: 1/4" = 1'-0" OF

PROJECT No.: J20110



1 MAIN FLOOR PLAN
A.5 1/4" = 1'-0"

GENERAL NOTES

1. The contractor must check and verify all dimensions on the job prior to construction.
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4. All construction is to meet the current requirements of the Ontario Building Code (O.B.C.) & municipal By-laws. The required permits & approvals are to be obtained before the contractor commences with the work.
5. If there are any desired changes to the design of the building in which the building permit was issued for, the designer must be notified of such 'desired changes' and give approval before the change commences.
6. If any errors are discovered on the drawings, the designer must be notified before construction commences.

No.	DATE	DESCRIPTION
DR1	2020.09.30	Preliminary Design
DR2	2020.11.09	Preliminary Design 2
DR3	2020.01.29	Issue for Minor Variance Application

Ian Jonkman reviews and takes responsibility for the design work on behalf of a firm, Andy Jonkman Construction Ltd., registered under sub-section 3.2.4. of Division C of the Building Code.
Individual BCIN: 45579
Firm BCIN: 103245
Ian Jonkman

NAME SIGNATURE



580 Sheffield Rd., R.R.#1,
Troy, Ontario L0R 2B0

Office: 519-647-3223
Cell: 519-751-8412 i-design.ca

PROJECT INFORMATION

Scharringa Storage Shed
19 McDonald Street
Rockton, ON
L0R 1X0

SHEET TITLE

Ground Floor Plan

OWNER: C & K Scharringa

DRAWN BY: B.Powell

CHECKED BY: I. Jonkman

DATE
2021.01.29

SHEET
A.5

SCALE
1/4" = 1'-0" OF

PROJECT No.: J20110



Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS
Registered Owners(s)	Calvin & Karen Scharringa	
Applicant(s)*		
Agent or Solicitor	Ian Jonkman	

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:
N/A on the property

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:
Information provided on a separate sheet due to limited space.

5. Why it is not possible to comply with the provisions of the By-law?
Information provided on a separate sheet due to limited space.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

Lots 11 and 12
Registered Plan 336
and Part of Lot 21
Concession 4

19 McDONALD ST.
ROCKTON, ON
LOR 1X0

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?

The owner's knowledge of the past history of this property and of the small town of Rockton as a whole.


8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. **ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Feb 8/21
Date


Signature Property Owner
Calvin & Karen Schaminger
Print Name of Owner

10. Dimensions of lands affected:

Frontage +/- 57.91 m (difficult to say with irregular property shape)
Depth +/- 292 m x +/- 215m (difficult to say with irregular property shape)
Area 8.5 acres
Width of street 6.09m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

Existing House: 2 storey, 149.76 sq. m. building area, 241.92 sq. m. gross area, building height = 8.33m, no attached garage, 102.94 sq. m. of covered porches attached to the house. Existing Detached Garage: two storey, 73.03 sq.m. building area, 146.015 sq. m. gross area, building height = 7.010m,

Proposed

Attached Garage: 1 storey, 79.71 sq. m, building height = 5.98m.
Detached Storage Shed: 1 storey, 195.1 sq. m., building height = 6.48m.

BUILDING AREA.

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

EXISTING HOUSE: WEST SIDE YARD = +/- 28.46m, NORTH SIDE YARD = +/- 37.53m, SOUTH SIDE YARD = +/- 90.53m, AND EAST SIDE YARD = +/- 120.09m
EXISTING DETACHED GARAGE: WEST SIDE YARD = +/- 11.83m, NORTH SIDE YARD = +/- 30.50m, SOUTH SIDE YARD = +/- 92.18m AND EAST SIDE YARD = +/- 144.43m

Proposed:

ATTACHED GARAGE: WEST SIDE YARD = +/- 20.57m, NORTH SIDE YARD = +/- 29.82m, SOUTH SIDE YARD = +/- 95.02m AND EAST SIDE YARD = +/- 145.39m
DETACHED GARAGE: WEST SIDE YARD = 1.0m, NORTH SIDE YARD = +/- 52.12m, SOUTH SIDE YARD = +/- 64.16m AND EAST SIDE YARD = +/- 134.62m

13. Date of acquisition of subject lands:
August 2008
-
14. Date of construction of all buildings and structures on subject lands:
The house was built in 1998. The detached garage shortly after. An addition was added to the house in 2014.
-
15. Existing uses of the subject property:
P7 - Conservation/Hazard Land Rural Zone
Existing use contains a single family dwelling unit and a detached accessory building.
16. Existing uses of abutting properties:
S1-Settlement Residential, S2-Settlement Commercial, P7-Conservation/Hazard Land Rural Zone
17. Length of time the existing uses of the subject property have continued:
By-law 15-173 was passed in 2015 to change By-law No. 05-200.
18. Municipal services available: (check the appropriate space or spaces)
- | | | | |
|----------------|------------|-----------|------------|
| Water | <u>n/a</u> | Connected | <u>n/a</u> |
| Sanitary Sewer | <u>n/a</u> | Connected | <u>n/a</u> |
| Storm Sewers | <u>n/a</u> | | |
19. Present Official Plan/Secondary Plan provisions applying to the land:
Rockton Hamilton Official Plan - Natural Open Space
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
P7 - Conservation/Hazard Land Rural Zone
21. Has the owner previously applied for relief in respect of the subject property?
 Yes No
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information
No minor variance applications were required for the house and detached garage. An addition was put onto the existing house in 2014 and a building permit was issued with no complications.
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.



580 Sheffield Rd., R.R.#1
Troy, Ontario L0R 2B0
T 519-647-3223 F 519-647-2910
andyjonkmanconstruction.com

February 2, 2021

Committee of Adjustment
City Hall, 5th Floor
71 Main St. W.
Hamilton, ON.
L8P 4Y5

Attn: Committee of Adjustment

Re: Minor Variance Application Re. 19 McDonald St. in Rockton, ON.
Answers provided for Question #4
Answers provided for Question #5

4. Nature and extent of relief applied for:

The application is for relief for two proposed structures on the property: 1) attached garage to the house and 2) a detached accessory building.

1) Attached Garage to Existing House

- The zoning bylaw does not allow for an expansion to an existing building or structure to exceed 10% of the gross floor area of the existing building or structure. The existing gross area of the existing house is 241.92 sq. m. of which the maximum permitted expansion of 10% is 24.192 sq. m. We are seeking relief on the building size to allow the garage addition to be 55.518 sq. m. larger than the permitted size (79.71 sq. m – 24.192 sq. m.) to adequately fit vehicles inside.

2) Detached Accessory Building

- The zoning bylaw states that an existing legally established accessory building or structure that is to be demolished in whole may be rebuilt provided the setbacks, building height, and gross floor area to the building or structure that had existed on the date of passing of the By-law are maintained. The owner proposes to demolish in whole the existing legally established accessory building on the property and re-build a new accessory building in a different location.
 - The zoning bylaw permits a maximum increased encroachment of 10% of the existing setbacks. The existing west side yard setback is 12.16 m, north side yard setback is 30.56m, and south side yard

setback is 92.18m. We are seeking relief to change all of the setbacks by more than 10% for a proposed west side yard setback of 1.0m , north side yard setback of 52.12m, and south side yard setback of 64.16m.

- o The building height of the existing detached accessory building is 7.010m. The proposed building height of the proposed detached accessory building is 6.48m. Therefore the proposed building height is smaller in size (lower) than the existing building and hence is more favorable than the existing structure.
- o The existing building has an existing building area of 73.03 sq. m. and a gross area of 146.05 sq. m. The existing building has a loft above the ground floor. The proposed building is a single storey structure having a building area & gross area (same value) of 195.1 sq. m. We are seeking relief to allow the new detached accessory building to have a gross area of 49.05 sq. m. (195.1 sq. m. – 146.05 sq. m.) more than the permitted gross area.

5. Why is it not possible to comply with the provisions of the By-Law.

1) Attached Garage to Existing House

- This house does not currently have an attached garage on it. Adding a garage on to the existing house with a max. 10% size of 24.192 sq. m. will not serve any useful purpose to the property. 24.192 sq.m. is about 16'-0" wide x 16'-3" long and will not fit an vehicles inside. The only way to make the garage large enough to serve a purpose is to exceed 10% of the existing gross area. Prior to the By-law zoning change in 2015 the limitation of max. 10% of existing gross area was not applicable. All of the existing structures on this property have a building permit (including the most recent addition in 2014) and none of these existing structures required a minor variance when they were built. The explanatory note associated with the P7 Zone as mentioned in in Bylaw 15-173 which was responsible for the re-zoning states that '*P7 Zone applies to all lands identified as a Key Hydrological Feature... and to all lands identified as a Key Natural Heritage Feature within the Greenbelt natural Heritage System*'. The proposed garage addition is not interfering or harming any heritage features on this property as shown on the attached site plan and aerial map.

2) Detached Accessory Building

- The second floor of the existing detached building is not very useful and adds unnecessary height to the structure. The proposed building will not be built as high which will help soften the view lines and minimize the building's visibility. However, by going with a one storey structure instead of a two storey the footprint will automatically be larger making it impossible to meet all the existing setbacks. The existing structure is located in an awkward spot and interferes with the existing house and the proposed attached garage. The proposal is to locate the detached building in a more convenient spot along the west property line. We have chosen to

use a 1.0m side yard setback. Although this is a large 8.5 acre property there are limited locations to place the detached structure due to the irregularity of the property shape. If you refer to the site plan you can see the property is very odd shaped. Placing the building closer to the west side property line does not affect any neighboring properties. As reasoned above for the attached garage, the proposed location does not interfere with any key heritage features. This is a dry location, and no trees will be damaged. It is currently a gravel parking lot for vehicles. The structure will provide more useful storage space and will allow the owner to take the exterior storage clutter and combine it neatly indoors.

- The building height has been proven to be of lesser value then the existing building and a minor variance for height is not required.
- The smaller building footprint will not allow the owners to move all of their outdoor storage indoors. This is a large 8.5 acre property with an abundant amount of space in which we feel should not be a problem to build a 195.1 sq. m. structure. The property is tucked in the back of Rockton surrounded by trees which keeps this building out of site from the neighbors. Allowing the owner to build a larger building will keep the property looking neat and tidy.

If you have any further questions, please do not hesitate to contact me.

Sincerely,

Ian Jonkman, Arch. Dipl. Tech.
Andy Jonkman Construction Ltd.

