

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-20:252

APPLICANTS: Owner: 2002002 Ontario Inc. c/o Carlo Caravaggio
Agent: GSP Group c/o Brenda Khes

SUBJECT PROPERTY: Municipal address **202 Cannon St. E., Hamilton**

ZONING BY-LAW: Zoning By-law 05-200, as Amended

ZONING: D5, H17, H19, H20 district (Downtown Residential “D5” zone)

PROPOSAL: To permit the construction of a sixteen (16) unit Multiple Dwelling and accessory buildings in order to facilitate Site Plan Application File No. DA-20-040 notwithstanding that:

1. A minimum rear yard of 7.0m shall be permitted instead of the minimum required rear yard of 7.5m.
2. Buildings and structures accessory to the multiple dwelling shall not be subject to maximum side yard (being 7.5m) and maximum flankage yard (being 3.0m) regulations.

NOTE:

- i) The variances are necessary to facilitate Site Plan File No. DA-20-040.
- ii) No Building or Elevation Plans were submitted.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 1st, 2021

TIME: 2:25 p.m.

PLACE: Via video link or call in (see attached sheet for details)

To be streamed at www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

Important note: *If a person or public body that files an appeal of a decision of the Committee of Adjustment in respect of the proposed consent does not make written submission to the Committee of Adjustment before it gives or refuses to give a provisional consent, the Local Planning Appeal Tribunal (LPAT) may dismiss the appeal.*

MORE INFORMATION

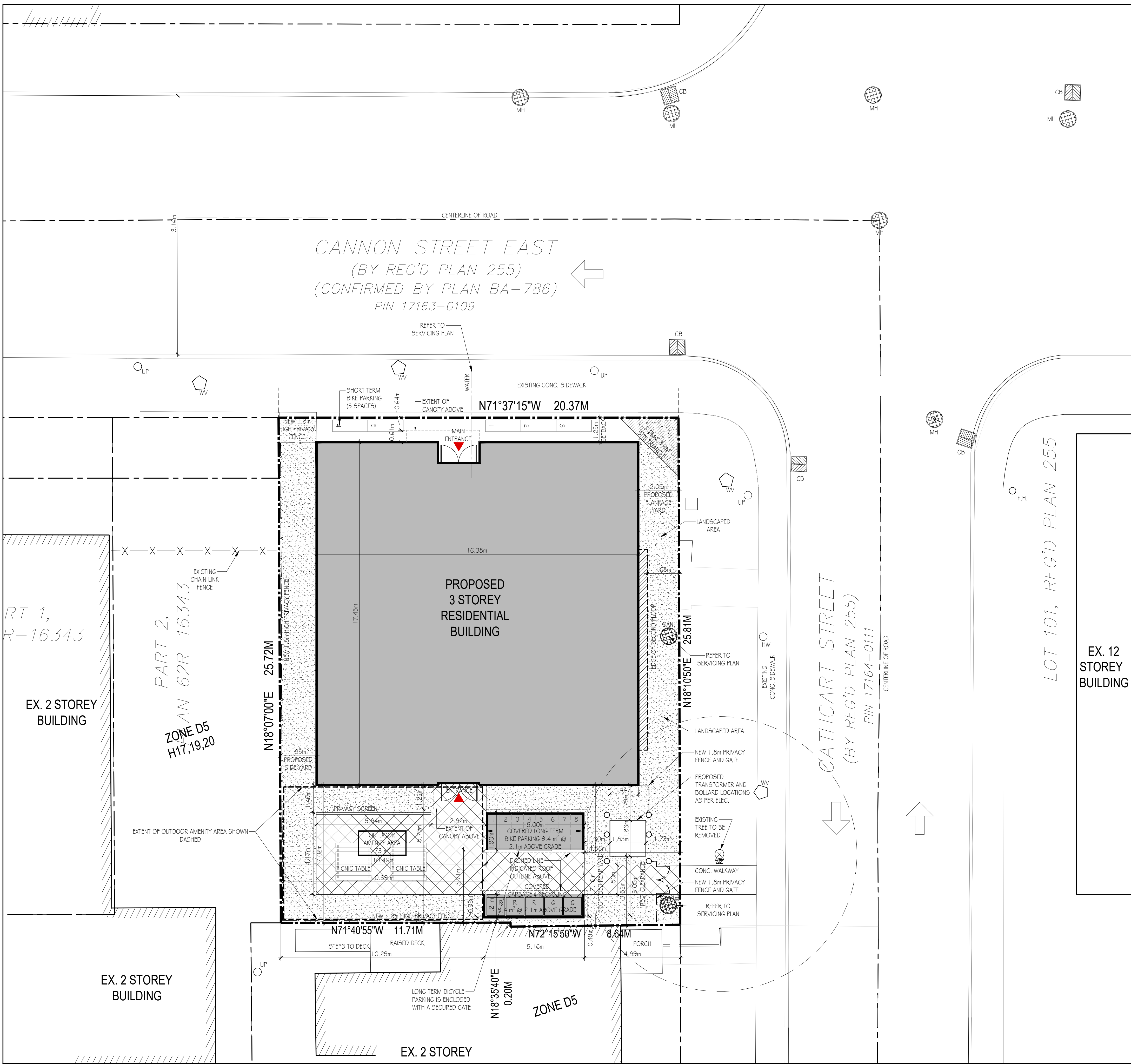
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 16th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

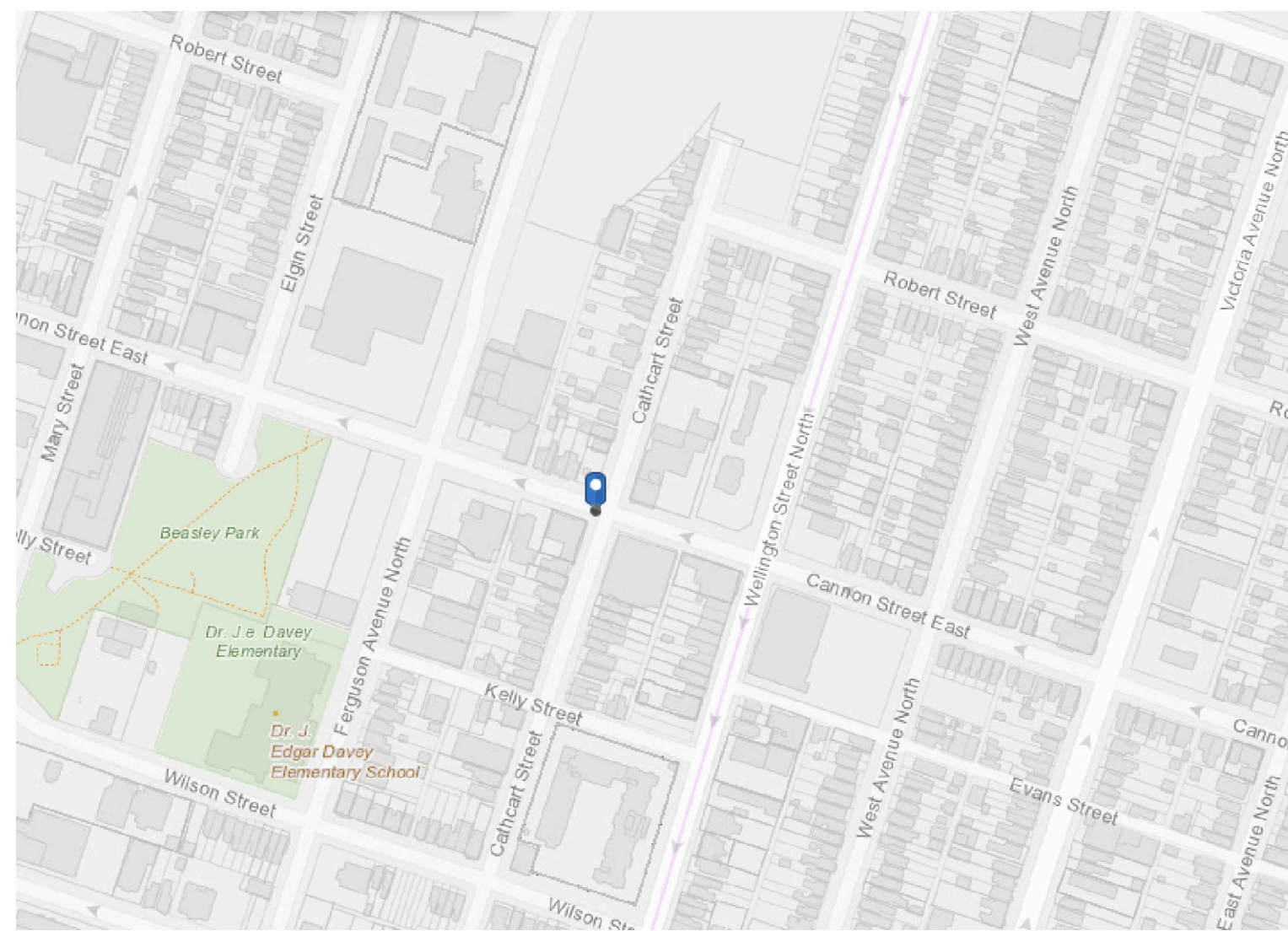
Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



1 PROPOSED SITE PLAN
SCALE: 1:100

DEVELOPMENT STATISTICS				November 10, 2020
Municipal Address	202-204 Cannon St E			
Legal Description	Part of Lots 78 & 79, Registered Plan 255, City of Hamilton			
Existing Zoning	D5			
Existing Use	Multiple Dwelling			
Proposed Use	Multiple Dwelling – 16 units			
ZONING REGULATIONS	D5 Downtown Residential Required	Proposed		Compliance ✓ or ✗
Site Data				
Street Frontage	4.50 m min.	20.37 m	✓	
Lot Width	12.00 m min.	20.37 m	✓	
Lot Area	300 m² min.	524.48m²	✓	
Yards & Setbacks				
Front Yard (Cannon St E)	4.50 m max.	1.25 m	✓	
Flankage Yard (Cathcart St)	3.00 m max.	1.60 m (2 nd /3 rd Floor)	✓	
Rear Yard (South)	7.50 m min.	7.16 m	✗	
Side Yard (West)	7.50 m max.	1.85 m	✓	
Building				
Building Area	225.00 m2 min.	288 m²	✓	
Building Height	7.50 m min (15.00 m max.)	11.54 m	✓	
Number of Storeys	N/A (D5) 30 Storeys (Official Plan)	3 1/2 Storeys	✓	
Floor Area		Basement	282 m²	N/A
		Ground Floor	282 m²	N/A
		Second Floor	288 m²	N/A
		Third Floor	288 m²	N/A
		Total	1,140 m²	N/A
Dwelling Units				
Number of Dwelling Units	N/A	16 units TOTAL	N/A	
Bachelor (<50m2)		3 units		
1 Bedroom (<50m2)		6 units		
1 Bedroom (>50m2)		7 units		
Parking				
Occupant Spaces	Units >50m2 - 1 to 12 units = 0 space/unit	0 spaces	✓	
	Units <50m2 – 1 to 12 units = 0 space/unit	0 spaces	✓	
Bicycle Parking (Long-Term)	0.5 spaces/dwelling unit min. @ 16 units = 8 spaces	8 spaces	✓	
Bicycle Parking (Short-Term)	5 spaces min.	5 spaces	✓	
Amenity Area				
Dwelling Units	4.0 m²/unit min. where 10+ units @ 16 units = 64 m²	73.00 m²	✓	
Landscape Area	10% of Lot Area min. @ 524.48 m² = 52.44 m²	100.00 m²	✓	
Accessory Building Areas				
Bike Storage	<42.4 m² (30% of rear yard (140.8m²))	9.4 m²	✓	
Garbage Storage	<42.4 m² (30% of rear yard (140.8m²))	5.4 m²	✓	
Accessory Building Setbacks (General Provisions Section 4.8.1.c.) AREA <10 m²				
Bike Storage				
Rear Yard (South)	n/a	3.71 m	n/a	
Flankage Yard (Cathcart St)	n/a	4.86 m	n/a	
Side Yard (West)	n/a	10.46 m	n/a	
Garbage Storage				
Rear Yard (South)	n/a	0.33 m	n/a	
Flankage Yard (Cathcart St)	n/a	4.89 m	n/a	
Side Yard (West)	n/a	10.29 m	n/a	

2 SITE AND ZONING DATA
SCALE: N.T.S.



3 LOCATION MAP
N.T.S.



NOTES:
1. THE CONTRACTOR OR PROJECT MANAGER WILL CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. COORDINATION OF WORK IS THE RESPONSIBILITY OF THE CONTRACTOR OR OWNER/CONTRACTOR.
2. THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SIGNED BY THE ARCHITECT.
3. ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE COPIED, REPRODUCED OR ALTERED WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT.
4. DO NOT SCALE THE DRAWINGS.

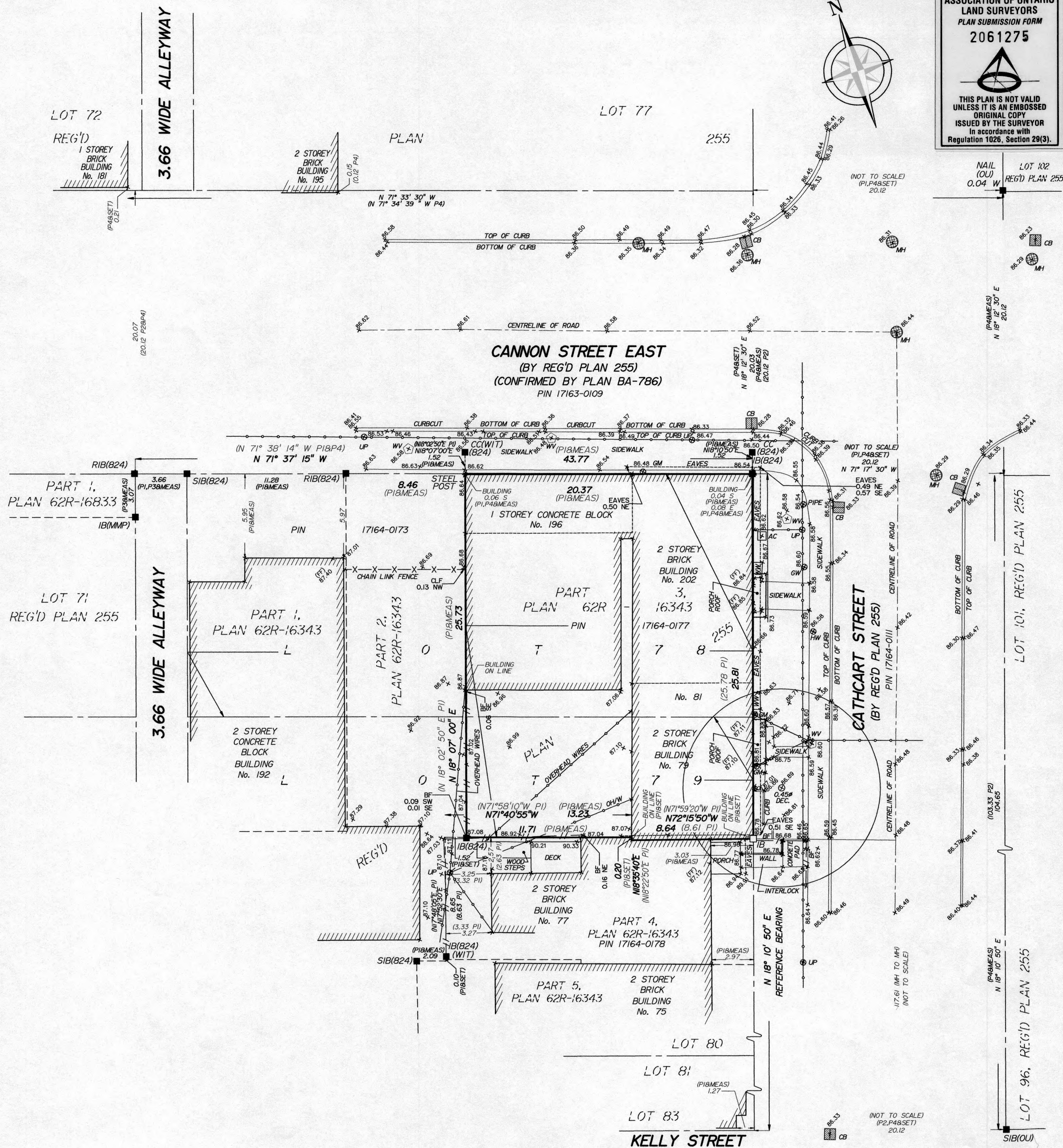
DD/MM/YY	REVISION
10/11/2020	ISSUED FOR SITE PLAN APPLICATION REVISION

SCALE:	AS NOTED
DRAWN BY:	RL
PRINT DATE:	11/02/2020

CANNON ST. E.
MULTI-UNIT RESIDENTIAL
202-204 CANNON ST. E.
HAMILTON, ONTARIO

PROPOSED
SITE PLAN

A1.0



ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2061275

THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29(3).

SURVEYOR'S REAL PROPERTY REPORT - PART 1
PLAN OF SURVEY AND TOPOGRAPHY OF
PART OF LOTS 78 & 79
REGISTERED PLAN 255
CITY OF HAMILTON

0 5 10 15 20 Metres

SCALE 1 : 200

J. H. Gelbloom Surveying Limited
Ontario Land Surveyor 2018

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the written permission of J. H. Gelbloom Surveying Limited is Strictly Prohibited.

SURVEYOR'S REAL PROPERTY REPORT - PART 2
REGISTERED EASEMENTS AND/OR RIGHT-OF-WAY
None

NOTABLES
note the Location of the Fences around the Subject Property.
note the Location of the Eaves along the Northerly & Easterly Limit
of the Subject Property.

- LEGEND**
- Survey Monument Found
 - Survey Monument Set
 - SIB Standard Iron Bar
 - IB Iron Bar
 - RIB Round Iron Bar
 - CC Cut Cross
 - (OU) Origin Unknown
 - (WIT) Witness
 - MMP Mackay Mackay & Peters Ltd., O.L.S.
 - B24 A. T. McLaren O.L.S.
 - P1 Plan 62R-16343
 - P2 Registered Plan 255
 - P3 Plan 62R-16833
 - P4 Plan BA-786
 - WV Water Valve
 - BF Board Fence
 - UP Utility Pole
 - DEC. Deciduous
 - MH Maintenance Hole
 - CB Catch Basin
 - CLF Chain Link Fence
 - N Denotes North
 - S Denotes South
 - E Denotes East
 - W Denotes West
 - GM Gas Metre
 - WW Window Well
 - HW Hand Well

BENCHMARK
Elevations are Referred to the City of Hamilton Benchmark No. 07720100048
having an Elevation of 87.622 m.

NOTE
This REPORT can be updated by this office, however NO ADDITIONAL
PRINTS of this ORIGINAL REPORT will be issued, subsequent to the
DATE OF CERTIFICATION.
All building ties are perpendicular to property lines unless otherwise noted.

This REPORT was prepared for Caran Developments Ltd. and the undersigned
accepts no responsibility for use by other parties.

NOTE
Distances shown on this plan are in metres and can be converted to
feet by dividing by 0.3048.

BEARING NOTE
Bearings are Astronomic, and are Referred to the Westerly limit of
Cathcart Street as shown on Plan BA 786, having a Bearing
of N 18° 10' 50" E.

SURVEYOR'S CERTIFICATE
I certify that:
1: This survey and plan are correct and in accordance with the Surveys
Act, the Surveyors Act, and the Regulations made under them.
2: The survey was completed on the 29th day of October, 2018.

Oct. 31, 2018
Date

A. Musil
Andrew Musil, O.L.S.

Party Chief: M.A./D.L.	Drawn By: M.K./M.A.	Checked By: A.M.	Project: 18-175
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J. H. Gelbloom Surveying Limited
Ontario Land Surveyor
476 Morden Road, Unit 102, Oakville, Ont, L6K 3W4
office@jhgsurveying.ca
Phone:(905) 338-8210 Fax:(905) 338-9446