



## NOTICE OF PUBLIC HEARING Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

**APPLICATION NO.:** HM/A-21:84

**APPLICANTS:** Julia Mancini on behalf of the owner Sandra Lloyd

**SUBJECT PROPERTY:** Municipal address **348 Herkimer St., Hamilton**

**ZONING BY-LAW:** Zoning By-law 6593, as Amended 19-307

**ZONING:** "D/S-1787" (Urban Protected Residential - 1 & 2 Family Dwellings etc.) district

**PROPOSAL:** To permit the construction of a roofed-over unenclosed porch in the front of the existing single family dwelling; notwithstanding that;

1. The roofed-over unenclosed porch including the associated steps shall be permitted to be located as close as 1.0m from the front lot line instead of the minimum 3.0m setback required from a front lot line.

Notes: The applicant shall ensure that a minimum of 50.0% of the gross area of the front yard is maintained as landscaped area; otherwise, further variances will be required.

This application will be heard by the Committee as shown below:

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**DATE:** Thursday, April 1st, 2021  
**TIME:** 2:40 p.m.  
**PLACE:** Via video link or call in (see attached sheet for details)  
 To be streamed at  
[www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)  
 for viewing purposes only

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### PUBLIC INPUT

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

## MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

DATED: March 16th, 2021.

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

***Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.***

DO NOT SCALE DRAWINGS

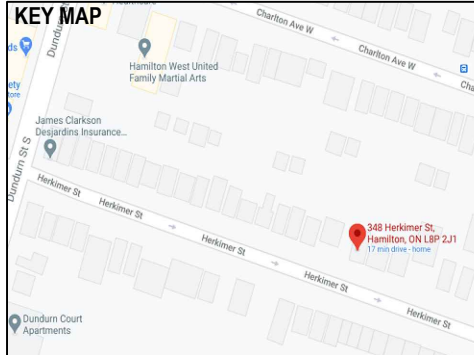
NOTE:

- 1) CONTRACTOR TO CHECK ALL DIMENSIONS, SPECIFICATIONS, ECT.ON SITE AND SHALL BE RESPONSIBLE FOR REPORTING ANY DISCREPANCY TO THE ENGINEER AND/ OR DESIGNER
- 2) ALL WORKS TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.

# 348 HERKIMER STREET HAMILTON, ONTARIO

## SCOPE OF WORK:

- NEW COVERED PORCH



### SHEET INDEX

- A0.01..... COVER PAGE
- SP1.01..... SITE PLAN
- A1.01..... EXISTING PORCH PLAN
- A1.02..... PROPOSED FOUNDATION
- A1.03..... PROPOSED PORCH PLAN
- A1.04..... PROPOSED ROOF PLAN
- A2.01..... PROPOSED FRONT ELEVATION
- A2.02..... PROPOSED SIDE ELEVATION
- A2.03..... PROPOSED SIDE ELEVATION

### AREA OF WORK (FT<sup>2</sup>)

NEW COVERED PORCH: 70 FT<sup>2</sup> (6.5 M<sup>2</sup>)



**Qualification Information**  
The undersigned has reviewed and takes responsibility for this design and has qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Signature *Julia Mancini*

Julia Mancini, Manco Design  
BCIN 113168

MANCO ARCHITECTURAL DESIGN  
Phone | 905-537-9578  
Email | julia@mancoarchitectural.com  
Website | www.mancoarchitectural.com



DRAWING SUBMISSIONS	
DATE	TYPE
20-12-10	PERMIT SET

348 HERKIMER STREET  
HAMILTON, ONTARIO

DRAWN BY: JM  
PLOT DATE: 2020-12-10

PAGE  
COVER PAGE

A0.01

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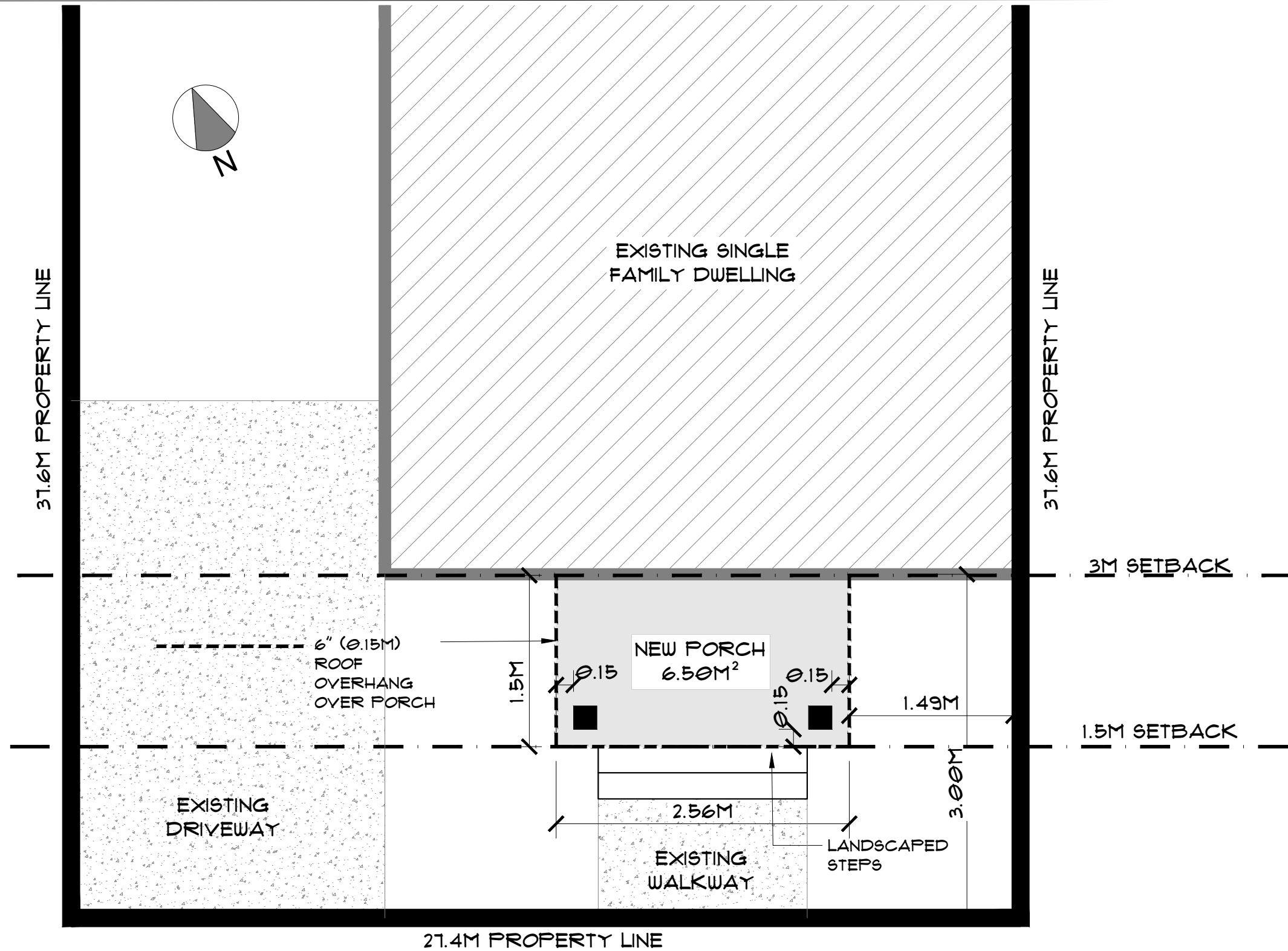
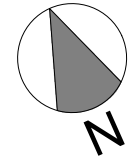


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A ROOFED-OVER OR SCREENED BUT OTHERWISE UNENCLOSED ONE-STOREY PORCH AT THE FIRST STOREY LEVEL, INCLUDING EAVES AND GUTTERS, MAY PROJECT INTO A REQUIRED FRONT YARD OR REAR YARD TO A DISTANCE OF NOT MORE THAN 3.0 METRES (9.84 FEET), AND EVERY SUCH PROJECTING PORCH SHALL BE DISTANT AT LEAST 1.5 METRES (4.92 FEET) FROM THE FRONT LOT LINE



MANCO ARCHITECTURAL DESIGN

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HAMILTON, ONTARIO

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PAGE

SITE PLAN

SP1.01

1

SITE PLAN

SP1.01

Scale 1:40

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**NOTE:**

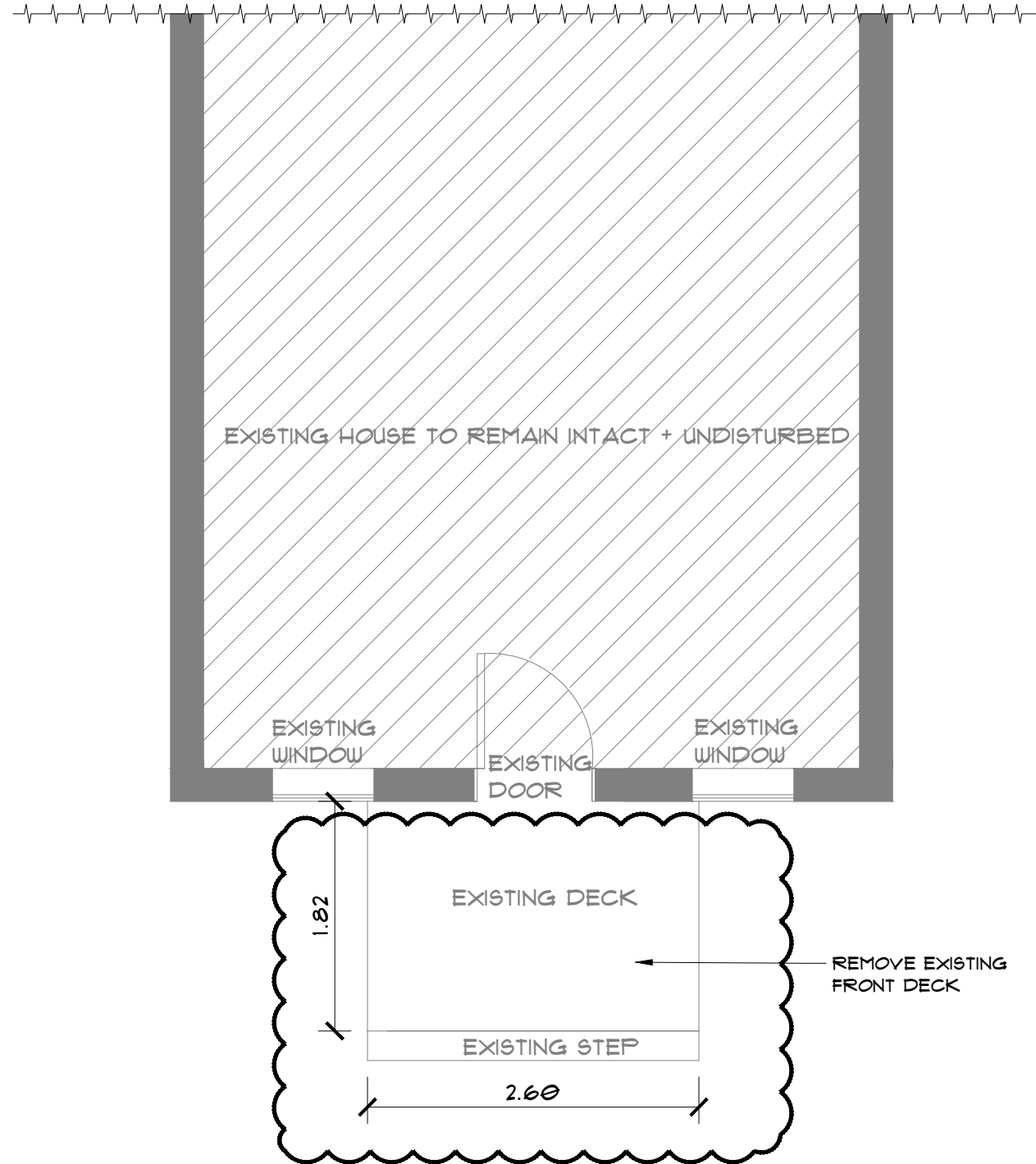
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**1** **EXISTING DECK PLAN**  
 A1.01 Scale  $\frac{1}{4}''=1'-0''$

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**348 HERKIMER STREET  
 HAMILTON, ONTARIO**

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PAGE  
**EXISTING DECK**

**A1.01**

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NOTE: ADJUSTMENTS OR CHANGES MADE TO THE SLAB, ROOF LAYOUT, BEAMS, ETC. MUST BE IDENTIFIED PRIOR TO CONSTRUCTION AND MANCO DESIGN AND MUST BE NOTIFIED FOR FURTHER REVIEW AND APPROVAL.

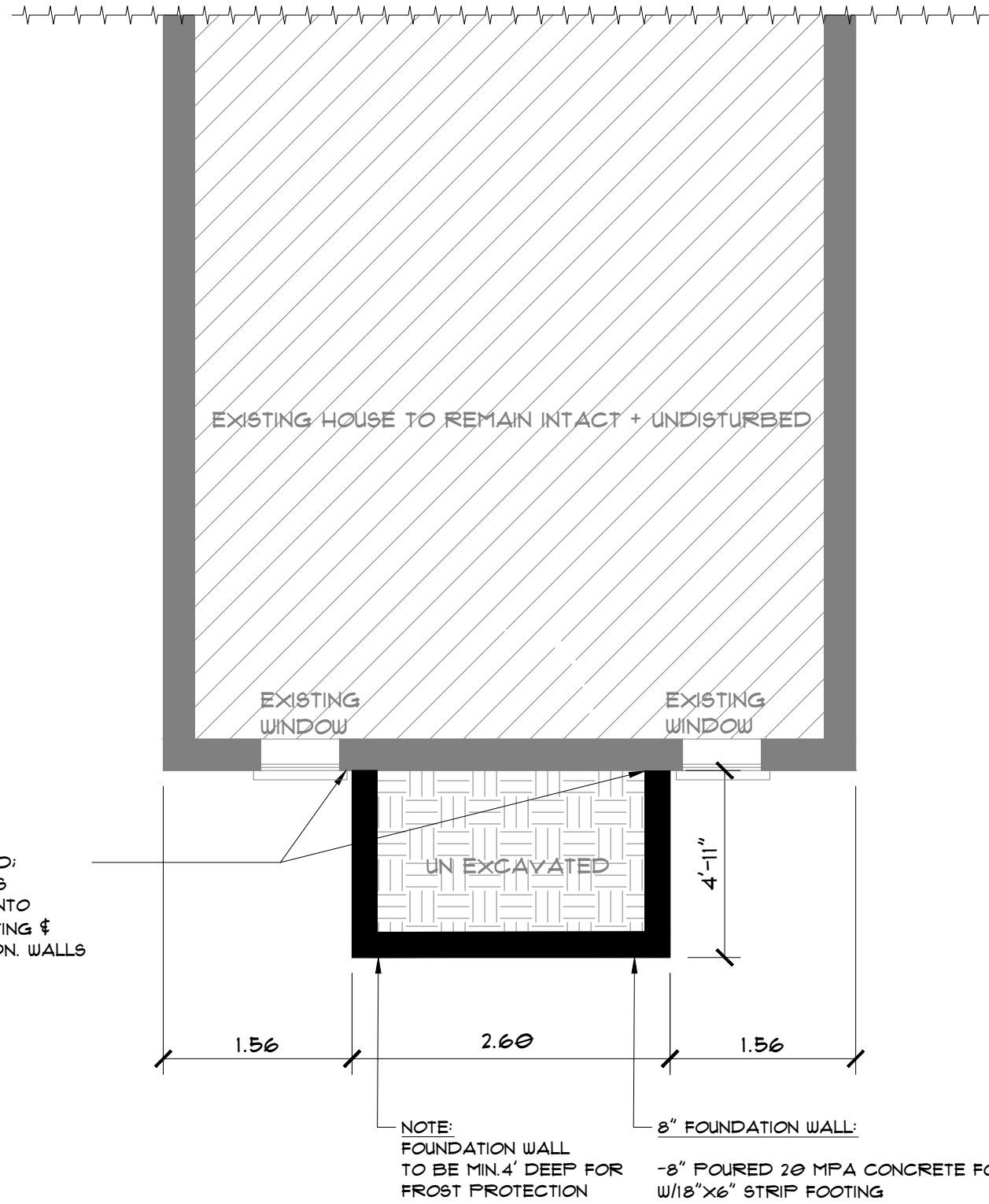
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TIE IN NEW FOOTING TO OLD:  
DRILL + EPOXY 10M BARS  
6" MIN. EMBED ANCHOR INTO  
EXISTING CONCRETE FOOTING @  
24" O.C. VERTICALLY @ FDN. WALLS

NOTE:  
FOUNDATION WALL  
TO BE MIN. 4' DEEP FOR  
FROST PROTECTION

8" FOUNDATION WALL:  
-8" POURED 20 MPA CONCRETE FOUNDATION WALL  
W/18"X6" STRIP FOOTING

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PAGE  
**PROPOSED  
FOUNDATION**

**A1.02**

**1** **PROPOSED FOUNDATION**  
A1.02 Scale  $\frac{1}{4}"=1'-0"$   NEW  EXISTING

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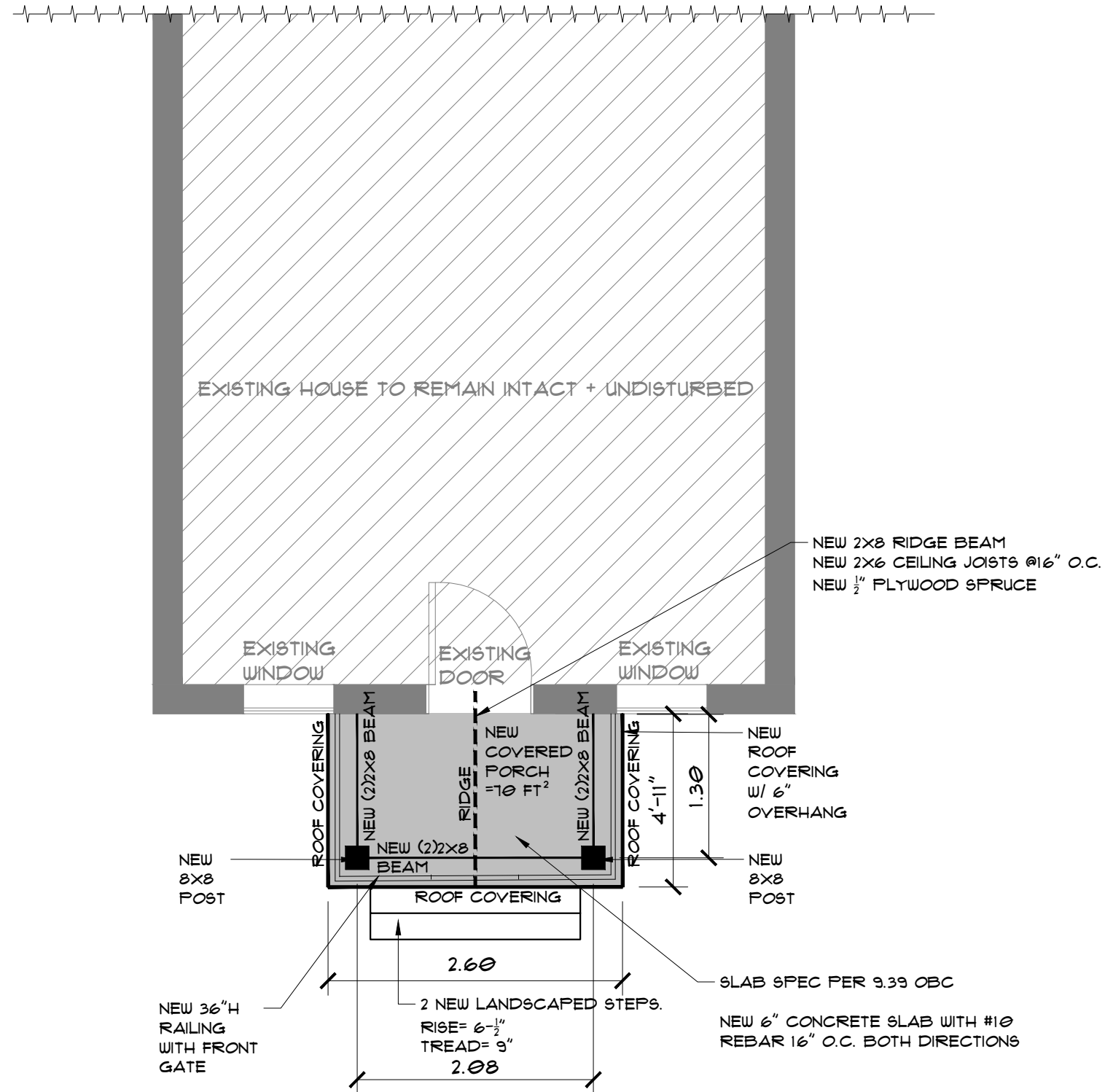
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**1** **PROPOSED PORCH PLAN**  
A1.03 Scale  $\frac{1}{4}''=1'-0''$

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PAGE  
**PROPOSED  
PORCH PLAN**

**A1.03**

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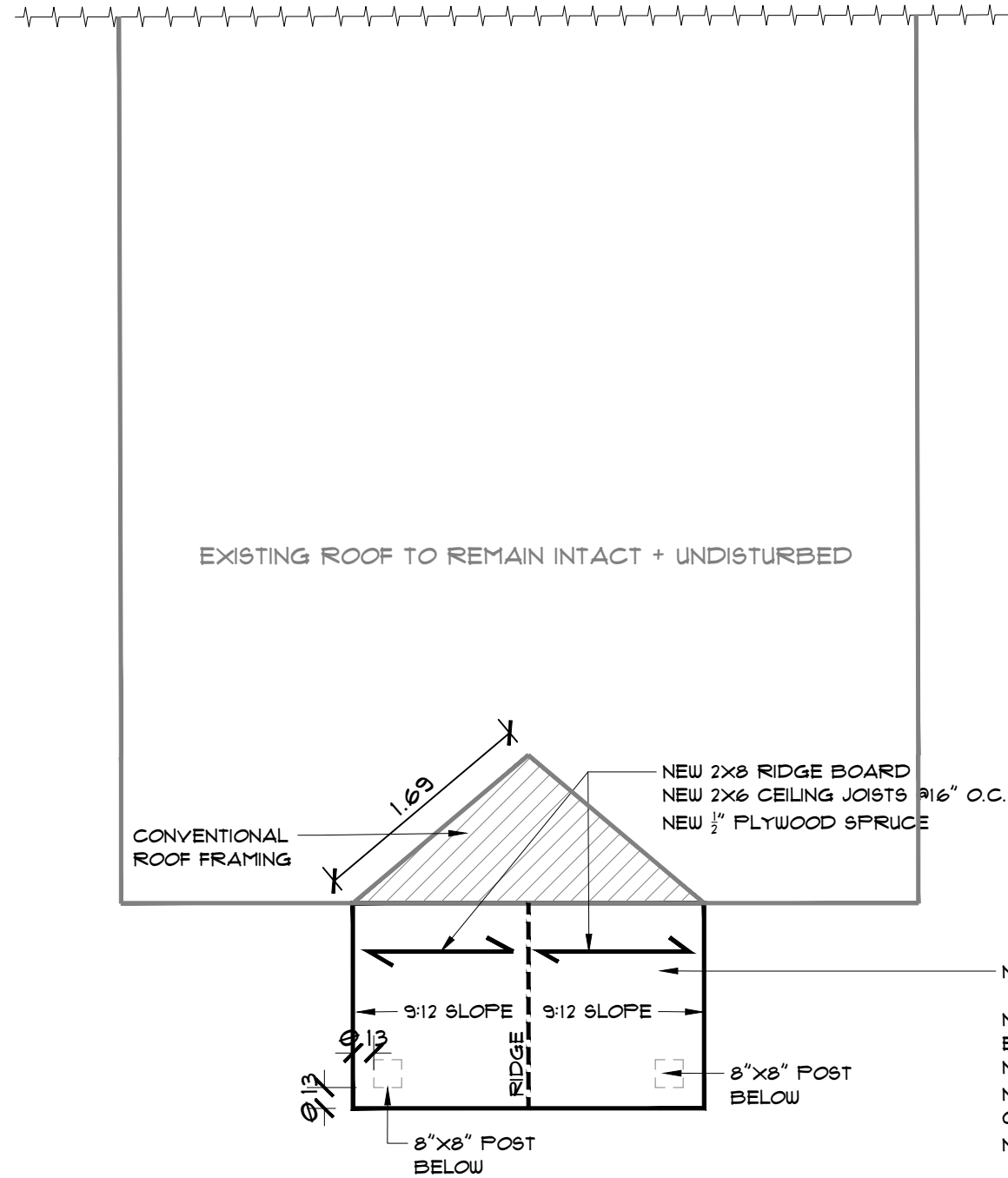
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EXISTING ROOF TO REMAIN INTACT + UNDISTURBED

CONVENTIONAL ROOF FRAMING

NEW 2X8 RIDGE BOARD  
NEW 2X6 CEILING JOISTS @ 16" O.C.  
NEW 1/2" PLYWOOD SPRUCE

NEW ROOF ASSEMBLY

NEW 30 YEAR ASPHALT ROOFING SHINGLES C/W  
EAVE PROTECTION METAL DRIP EDGE  
NEW 30LB ROOFING FELT  
NEW 1/2" PLYWOOD ROOF SHEATHING C/W H CLIPS  
CUT ROOF PER PLAN  
NEW 1/2" GYPSUM/VENTED METAL SOFFIT @ EAVES

1

# PROPOSED ROOF PLAN

A1.04

Scale 1/4"=1'-0"

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PROPOSED  
ROOF PLAN

A1.04



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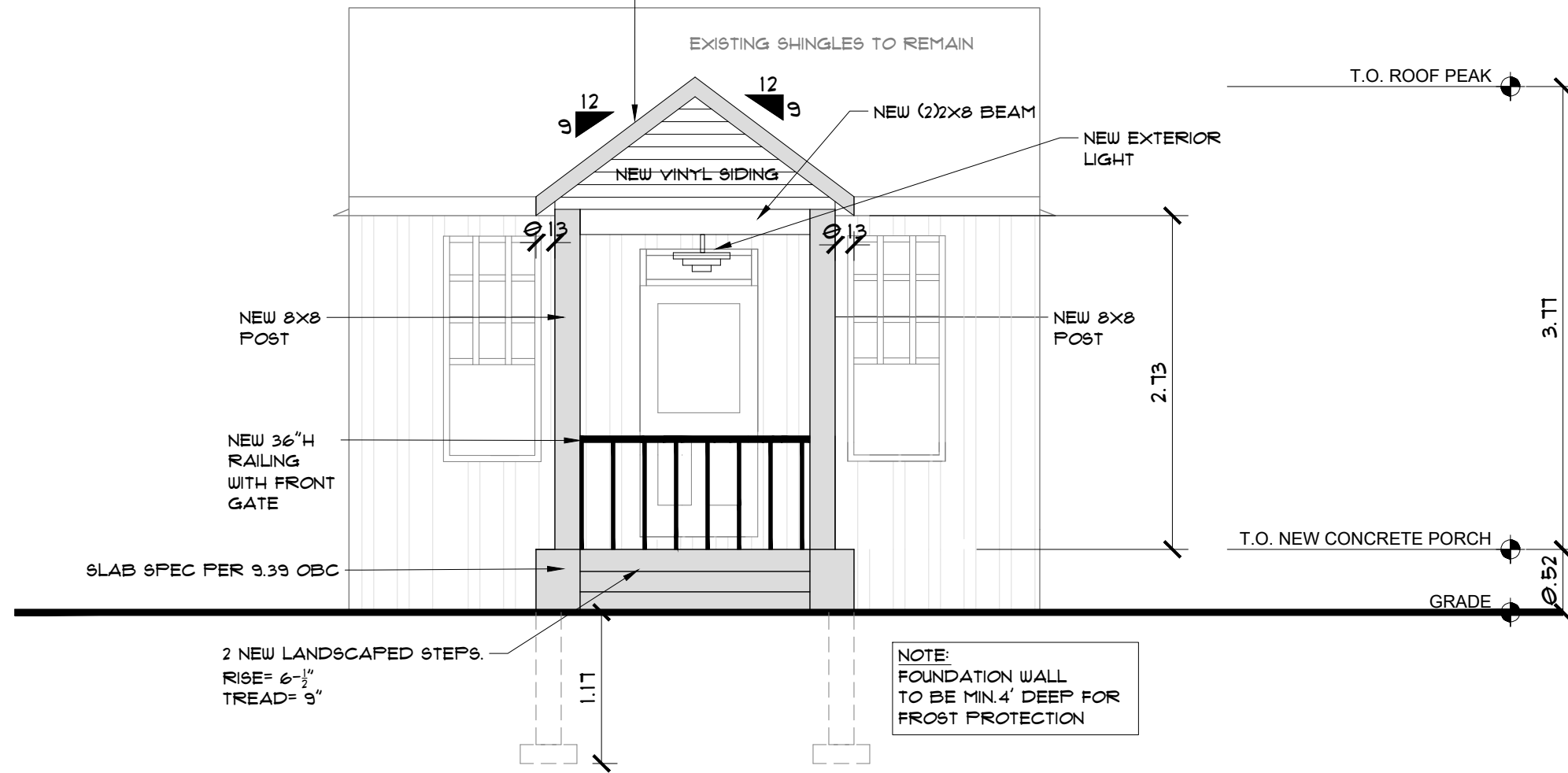
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NEW ROOF ASSEMBLY

- NEW 30 YEAR ASPHALT ROOFING SHINGLES C/W EAVE PROTECTION METAL DRIP EDGE
- NEW 30LB ROOFING FELT
- NEW 1/2" PLYWOOD ROOF SHEATHING C/W H CLIPS CUT ROOF PER PLAN
- NEW 1/2" GYPSUM/VENTED METAL SOFFIT @ EAVES



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PAGE  
FRONT ELEVATION

A2.01

1 FRONT ELEVATION  
A2.01 Scale 1/4"=1'-0"

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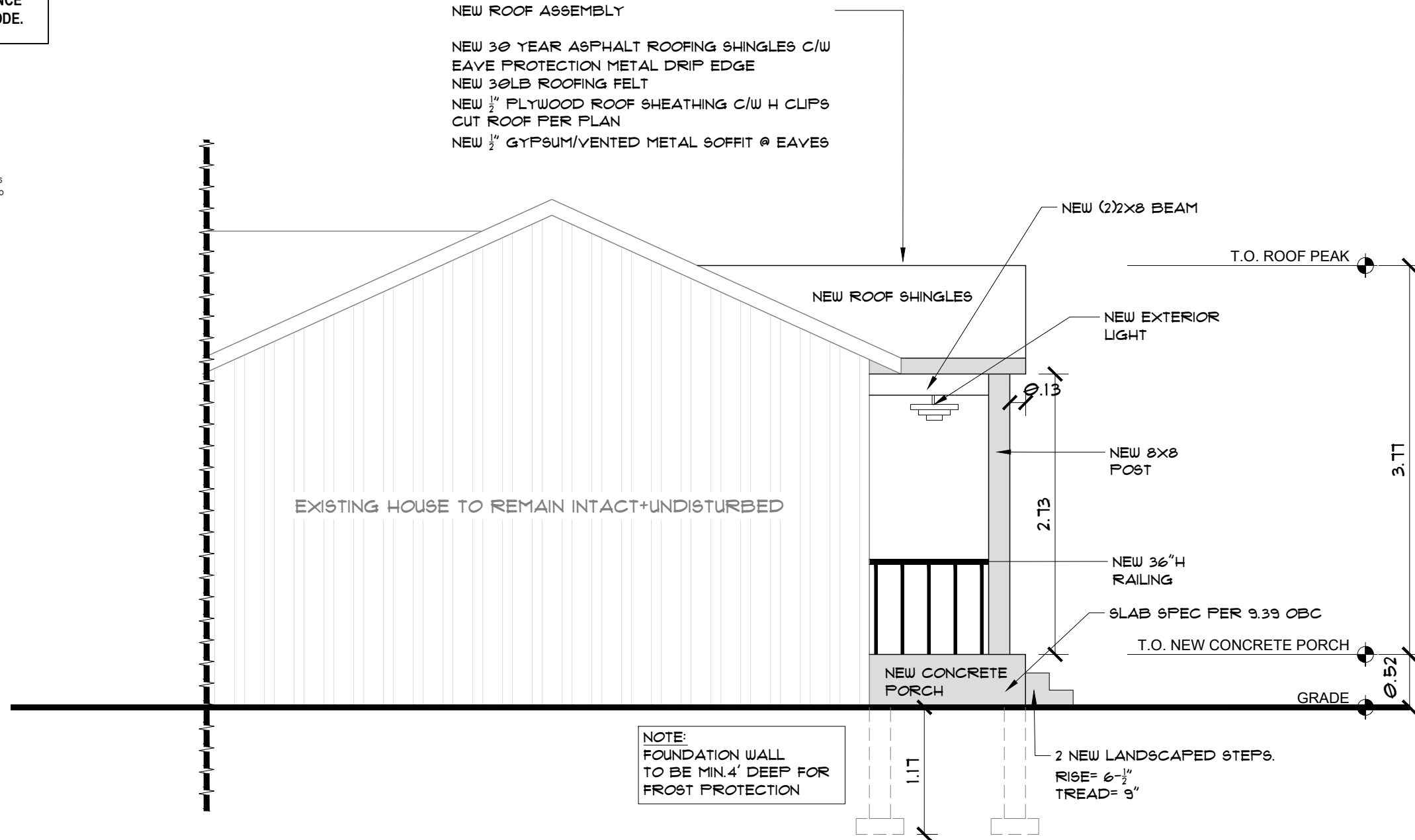
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**NEW ROOF ASSEMBLY**

- NEW 30 YEAR ASPHALT ROOFING SHINGLES C/W
- EAVE PROTECTION METAL DRIP EDGE
- NEW 30LB ROOFING FELT
- NEW 1/2" PLYWOOD ROOF SHEATHING C/W H CLIPS
- CUT ROOF PER PLAN
- NEW 1/2" GYPSUM/VENTED METAL SOFFIT @ EAVES



NOTE:  
FOUNDATION WALL  
TO BE MIN.4' DEEP FOR  
FROST PROTECTION

2 NEW LANDSCAPED STEPS.  
RISE= 6-1/2"  
TREAD= 9"

**1 SIDE ELEVATION**  
A2.02 Scale 1/4"=1'-0"

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PAGE  
**SIDE  
ELEVATION**

**A2.02**

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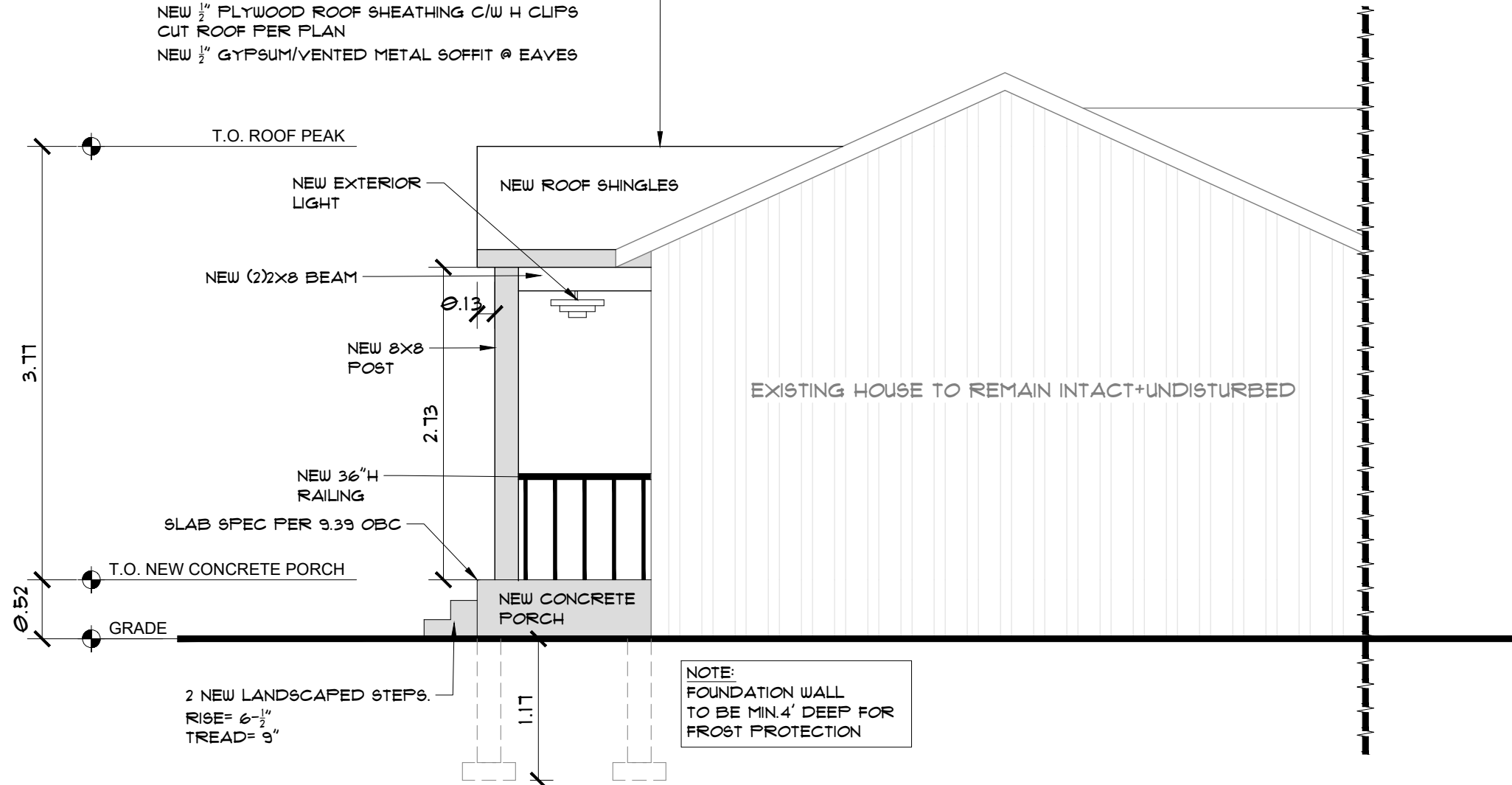


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**NEW ROOF ASSEMBLY**  
NEW 30 YEAR ASPHALT ROOFING SHINGLES C/W  
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PAGE  
**SIDE ELEVATION**

**A2.03**

**1** **SIDE ELEVATION**  
A2.03 Scale 1/4"=1'-0"



Hamilton

Committee of Adjustment  
City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

### APPLICATION FOR A MINOR VARIANCE

<b>FOR OFFICE USE ONLY.</b>	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

#### The Planning Act

#### Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS
Registered Owners(s)	Sandra Lloyd	
Applicant(s)*	Julia Mancini	
Agent or Solicitor		

**Note:** Unless otherwise requested all communications will be sent to the agent, if any.

- Names and addresses of any mortgagees, holders of charges or other encumbrances:  
N/A

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:  
variance is for the front yard setback. The required is 3m and the covered porch is at 1.5m.
5. Why it is not possible to comply with the provisions of the By-law?  
We could not meet the zoning requirement because the house starts at 3m so the front porch had no choice but to intrude into the front yard setback
6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):  
348 Herkimer Street, Hamilton

7. PREVIOUS USE OF PROPERTY

Residential  Industrial  Commercial   
Agricultural  Vacant

Other \_\_\_\_\_

- 8.1 If Industrial or Commercial, specify use \_\_\_\_\_
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?  
Yes  No  Unknown
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?  
Yes  No  Unknown
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?  
Yes  No  Unknown
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?  
Yes  No  Unknown
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?  
Yes  No  Unknown
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?  
Yes  No  Unknown
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?  
Yes  No  Unknown
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?  
Yes  No  Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?  
Yes  No  Unknown

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?  
General zoning research on the property

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes  No

**9. ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Feb-26/21  
Date

S. Lloyd  
Signature Property Owner

Sandra Lloyd  
Print Name of Owner

10. Dimensions of lands affected:  
Frontage 27.4m  
Depth 37.6m  
Area 1030m<sup>2</sup>  
Width of street 12.5m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: \_

Existing single family dwelling with a 4.03m<sup>2</sup> (8'5" w x 5'10" d) existing deck located at front entry

Proposed

New 6.50 m<sup>2</sup> covered porch - 8'5" w x 4'11" d

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Existing single family dwelling with a 4.03m<sup>2</sup> (8'5" w x 5'10" d) existing deck located at front entry

Proposed:

New 6.50 m<sup>2</sup> covered porch - 8'5" w x 4'11" d

13. Date of acquisition of subject lands:  
\_\_\_\_\_
14. Date of construction of all buildings and structures on subject lands:  
\_\_\_\_\_
15. Existing uses of the subject property:  
Single family dwelling
16. Existing uses of abutting properties:  
Single family dwellings
17. Length of time the existing uses of the subject property have continued:
18. Municipal services available: (check the appropriate space or spaces)  
Water Yes \_\_\_\_\_ Connected \_\_\_\_\_  
Sanitary Sewer \_\_\_\_\_ Connected \_\_\_\_\_  
Storm Sewers \_\_\_\_\_
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
21. Has the owner previously applied for relief in respect of the subject property?  
 Yes  No  
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?  
 Yes  No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.