



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5  
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202  
E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

---

**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
- 

**APPLICATION NO.:** HM/A-21:37

**APPLICANTS:** Owner Andrew T. Edward

**SUBJECT PROPERTY:** Municipal address **23 Cline Ave. S., Hamilton**

**ZONING BY-LAW:** Zoning By-law 6593, as Amended by By-law 96-109 and 19-307

**ZONING:** C/S-1361 and C/S-1788 district (Urban Protected Residential, etc.)

**PROPOSAL:** To permit the conversion of the single family dwelling to contain two (2) dwelling units, construct a 0.87m (2.87') x 1.49m (4.90') second storey rear addition, alter the rear portion of the roof from a hip roof to a gable roof, construct a rear stairway (proposed wood deck) and rear basement walkout and to permit the re-construction of a 2.13m (7.0') x 6.11m (20.03') roofed-over unenclosed one storey front porch within stairs at the first storey notwithstanding that:

1. The external appearance shall be altered by construction of a rear open stairway (proposed wood deck and stairs), construction of a 0.87m (2.87') x 1.49m (4.90') rear second storey addition, altering the rear portion of the roof from a hip roof to a gable roof and reconstruction of the 2.13m (7.0') x 6.11m (20.03') roofed-over unenclosed one storey front porch within stairs at the first storey instead of the requirement that the external appearance and character of the dwelling shall be preserved for a residential conversion.
2. One (1) parking space shall be provided instead of the minimum required two (2) parking spaces.
3. A maximum floor area ratio of 0.61 shall be permitted instead of the maximum 0.45 floor area ratio permitted.
4. The roofed-over unenclosed one-storey porch at the first storey level, including stairs, eaves and gutters, shall be permitted to project into the required front yard a distance of 6.0m so that it shall be 0.0 metres from the front lot line instead of the requirement that roofed-over or screened but otherwise unenclosed one-storey porch at the first storey level, including eaves and gutters, may project into a required front yard to a distance of not more than 3.0 metres, and every such projecting porch shall be distant at least 1.5 metres from the front lot line.
5. A minimum northerly side yard width of 0.3m shall be permitted and recognized instead of the minimum required 0.9m side yard width.

6. Eaves and gutters shall be permitted to project a maximum of 0.3m into the minimum required 0.3m northerly side yard and may be as close as 0.0m to the northerly side lot line instead of the requirement that an eave or gutter may project into the required side yard (being 0.3m) not more than ½ of its required width (being 0.15m).
7. A minimum of 19% of the front yard shall be used for a landscaped area instead of the requirement that not less than 50% of the gross area of the front yard shall be used for a landscaped area, excluding concrete, asphalt, gravel, pavers or other similar materials
8. The area for parking shall be permitted to occupy 54% of the gross area of the front yard instead of the requirement that the area for parking shall not occupy more than 50% of the gross area of the front yard.
9. A minimum parking space size of 2.6m wide x 5.8m long shall be permitted instead of the minimum required parking space size of 2.7m wide x 6.0m long
10. A minimum access driveway width of 2.6m shall be provided instead of the minimum required access driveway width of 2.8m.

**NOTE:**

- i) Pursuant to Variance No. 4 above, the front yard setback of 3.429m (11.25') to the existing dwelling is legally established non-conforming. This variance is intended to allow re-construction of the roofed-over unenclosed one storey front porch at the 1<sup>st</sup> storey including its stairs.
- ii) The eaves and gutters shall not project over the northerly side lot line.

This application will be heard by the Committee as shown below:

---

**DATE:** Thursday, April 1st, 2021  
**TIME:** 2:55 p.m.  
**PLACE:** Via video link or call in (see attached sheet for details)  
 To be streamed at  
[www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)  
 for viewing purposes only

---

**PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

**MORE INFORMATION**

For more information on this matter, including access to drawings illustrating this request:

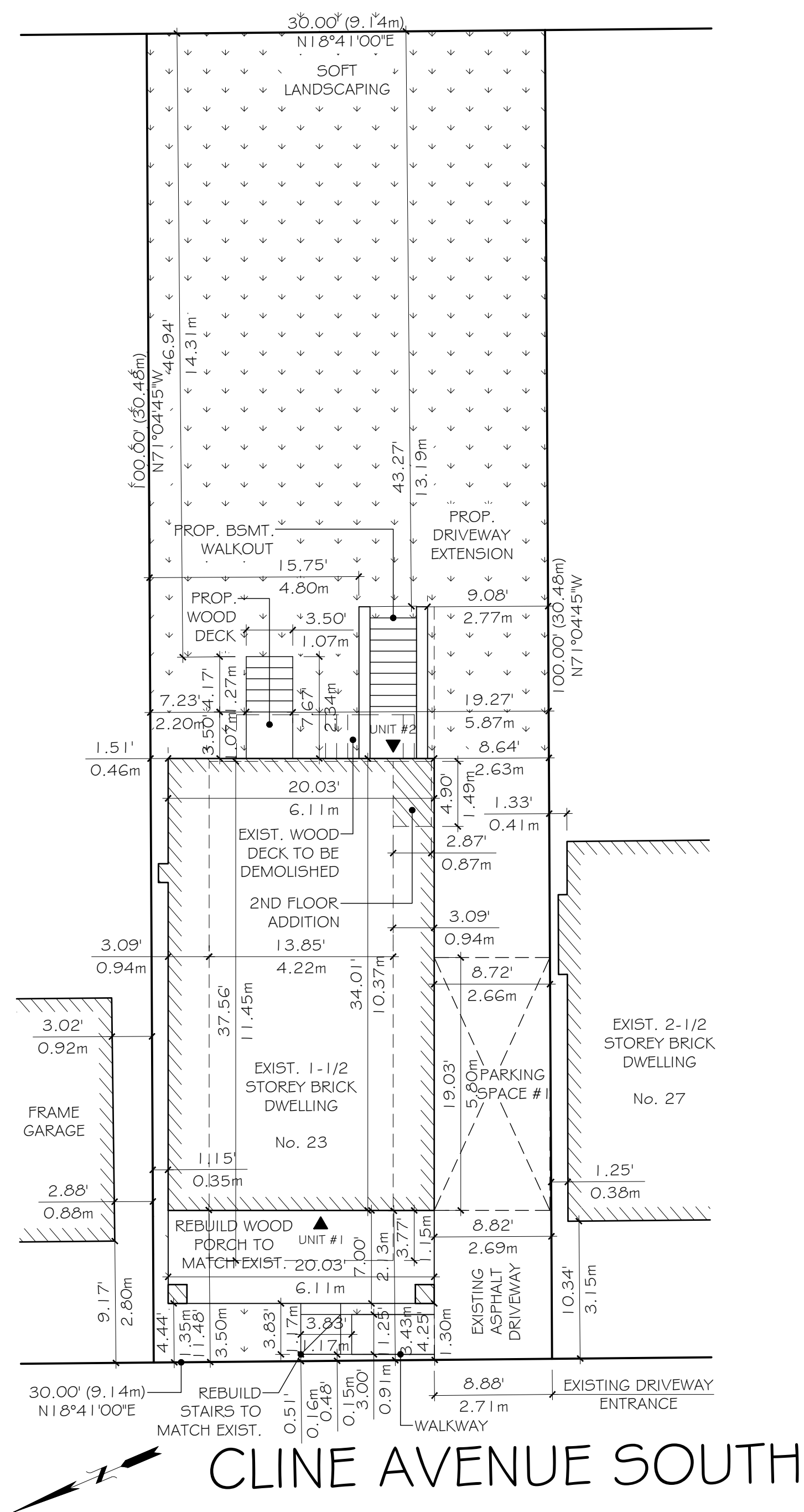
- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

DATED: March 16th, 2021.

---

Jamila Sheffield,  
 Secretary-Treasurer  
 Committee of Adjustment

***Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.***



23 CLINE AVENUE SOUTH - REAR LANDSCAPING CALC.		
	FT <sup>2</sup>	m <sup>2</sup>
TOTAL REAR LOT AREA:	1640.41	152.40
<b>HARD LANDSCAPING</b>		
PROP. BASMENT WALKOUT	56.07	5.21
PROP. FRAME DECK	26.83	2.49
HARD LANDSCAPE AREA:	82.90	7.70
HARD LANDSCAPE INDEX:		5.05%
<b>SOFT LANDSCAPING</b>		
SOFT LANDSCAPE AREA:	1557.50	144.70
SOFT LANDSCAPE INDEX:		94.95%

23 CLINE AVENUE SOUTH - FRONT LANDSCAPING CALC.		
	FT <sup>2</sup>	m <sup>2</sup>
TOTAL FRONT LOT AREA:	339.25	31.52
<b>HARD LANDSCAPING</b>		
EXIST. DRIVEWAY	99.19	9.22
REBUILT PORCH & STEPS	154.22	14.33
WALKWAY	18.62	1.73
HARD LANDSCAPE AREA:	272.04	25.27
HARD LANDSCAPE INDEX:		80.19%
<b>SOFT LANDSCAPING</b>		
SOFT LANDSCAPE AREA:	67.21	6.24
SOFT LANDSCAPE INDEX:		19.81%

AREA DATA CALCULATIONS						
AREA:	EXISTING:		PROPOSED:		TOTAL:	
	FT <sup>2</sup>	m <sup>2</sup>	FT <sup>2</sup>	m <sup>2</sup>	FT <sup>2</sup>	m <sup>2</sup>
<b>LOT AREA</b>					2999.97	278.71
CELLAR FLOOR PLAN	681.27	63.29	0.00	0.00	681.27	63.29
FIRST FLOOR PLAN	681.27	63.29	0.00	0.00	681.27	63.29
SECOND FLOOR PLAN	424.77	39.46	27.00	2.51	451.78	41.97
<b>GROSS FLOOR AREA</b>	1787.32	166.05	27.00	2.51	1814.32	168.56
<b>FLOOR SPACE INDEX</b>		59.58%		0.90%		60.48%

**MECHANICAL NOTES**

- MECHANICAL EXHAUST VENT
- SMOKE ALARM
- CARBON MONOXIDE ALARM

No.	Date	Revision	Int.

Consultant:

Owner:  
**Andrew Edwards**  
38 Sewell Drive  
Oakville, ON

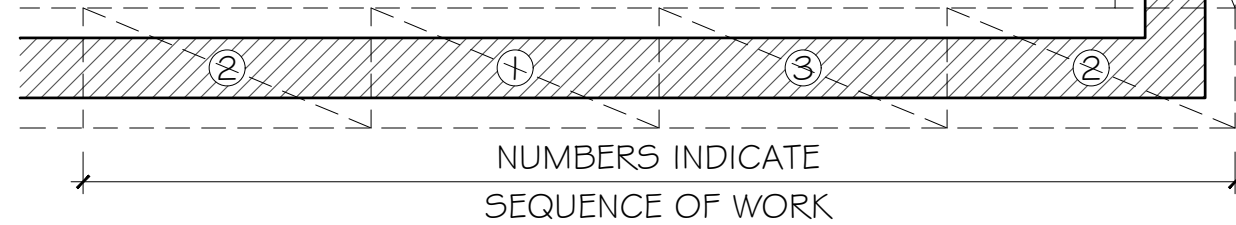
Project: Prop. 2nd Unit, Int. Alt., Bsmt. Walkout & Porches  
23 Cline Ave. S.  
Hamilton, ON

Drawing Title:  
**Site Plan**

Drawn:	Date: 2020.10.18
Checked:	Scale: 1/8" = 1'-0"
File No:	Drawing No:
Project No:	<b>SP1.01</b>

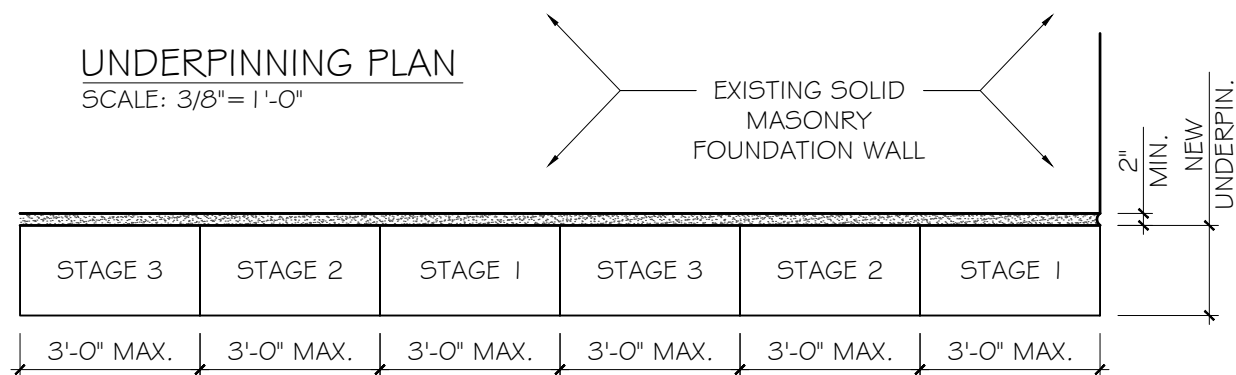
NOTES:

1. MIN. CONCRETE STRENGTH SHALL BE 20 MPA(2900)PSI AT 28 DAYS 5-8% AIR ENTRAINMENT.
2. CONCRETE SHALL BE CURED MINIMUM 48 HOURS BEFORE GROUTING THE SPACE BETWEEN THE TOP OF THE CONCRETE AND THE UNDERSIDE OF THE CONSTRUCTION ABOVE.
3. SHORE AND BRACE WHERE NECESSARY TO ENSURE THE SAFETY AND STABILITY OF THE EXISTING STRUCTURE DURING UNDERPINNING.

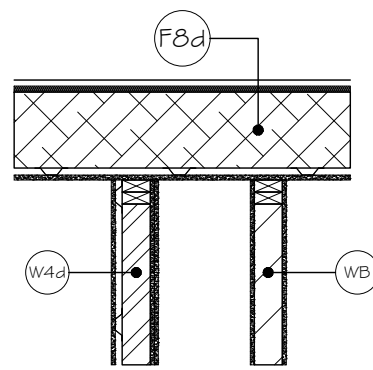


NUMBERS INDICATE SEQUENCE OF WORK

UNDERPINNING PLAN  
SCALE: 3/8"=1'-0"



UNDERPINNING ELEVATION  
SCALE: 3/8"=1'-0"



NOTE: CEILING FIRE SEPARATION F8d MUST BE INSTALLED FIRST PRIOR TO ANY WALL CONSTRUCTION

SECTION A  
SCALE: 1"=1'-0"

INTERCONNECTED SMOKE ALARMS

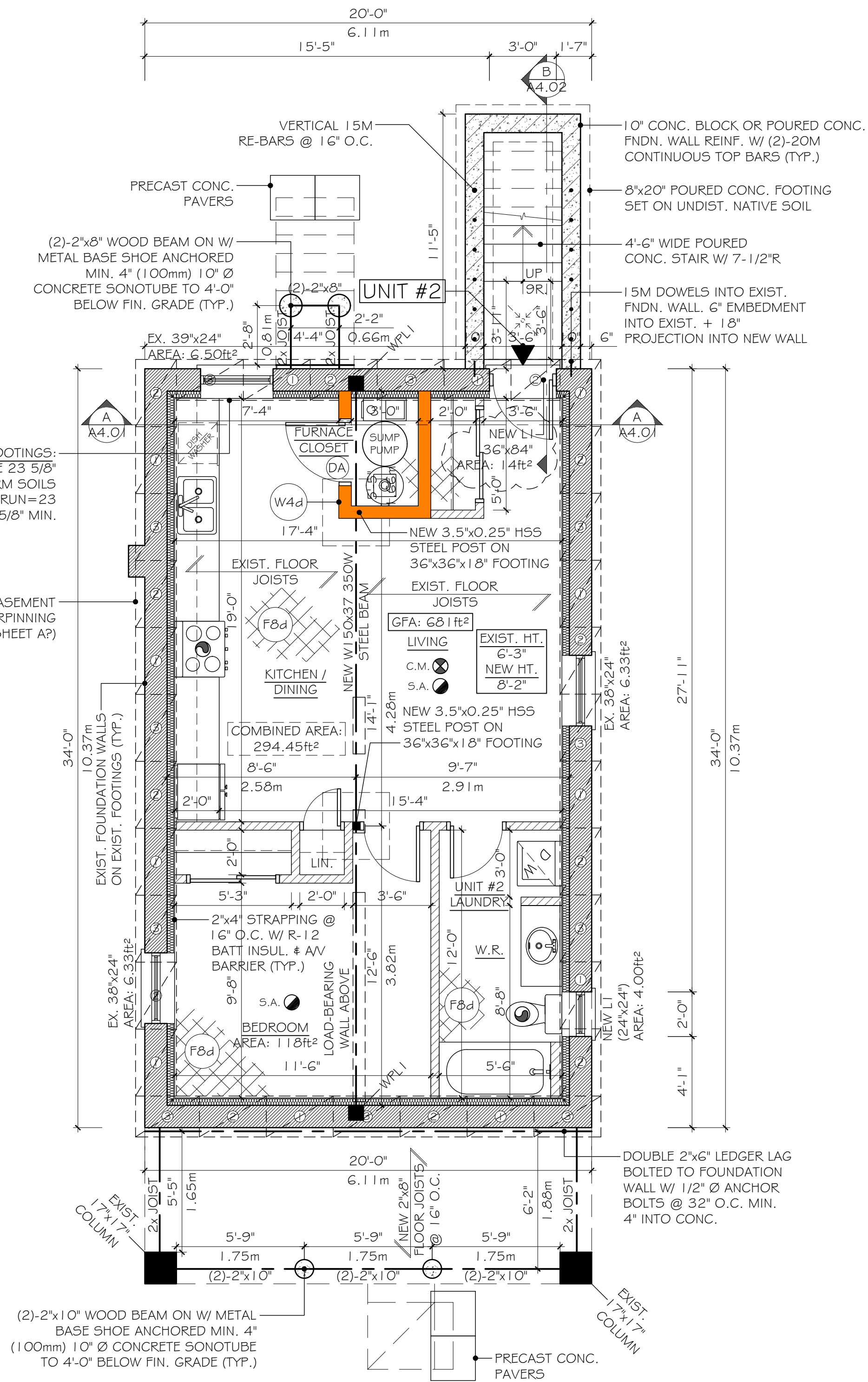
THE EXISTING HEATING OR AIR CONDITIONING SYSTEM MAY BE ALTERED TO SERVE MORE THAN ONE DWELLING UNIT PROVIDED SMOKE ALARMS ARE INSTALLED IN EACH DWELLING UNIT AND PROVIDED A SMOKE DETECTOR IS INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING WHICH WOULD TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER UPON ACTIVATION OF SUCH DETECTORS.

LEGEND:

- EXIST. WALL
- DEMOLISH EXIST.
- WALL TYPE B: NEW PARTITION 2"x4" STUDS @ 16" O.C. W/ 1/2" GYPSUM BOARD ON BOTH SIDES
- 2"x4" STUDS @ 16" O.C. 89 mm THICK ABSORPTIVE MATERIAL STC MIN. 50 RESILIENT METAL CHANNELS ON ONE SIDE SPACED AT 600mm O.C. 2 LAYERS OF 1/2" TYPE "X" DRYWALL ON RESILIENT METAL CHANNELS 1 LAYER OF 1/2" TYPE "X" DRYWALL ON THE OTHER SIDE AS PER 5B-3 TABLE 1
- SUBFLOOR OF 15.5mm PLYWOOD MIN. FLOOR JOIST SPACING MAX. 610mm O.C.
- 6" ABSORPTIVE MATERIAL IN CAVITY MIN. 50 STC RATING
- RESILIENT METAL CHANNELS SPACED 610mm O.C.
- 1 LAYERS OF 15.9mm TYPE "X" GWB.
- DOOR TYPE A: 45mm THICK SOLID DOOR CONFORMING TO CAN/ULC-S113. 32" WIDE FIRE RATED DOOR 20 MIN FIRE PROTECTION RATING AS PER TABLE 9.10.13.1 CW SELF CLOSING AND LATCHING DEVICE AND SHALL BE INSTALLED IN CONFORMANCE WITH NFPA 80

STEP FOOTINGS: VERTICAL RISE 23 5/8" MAX. FOR FIRM SOILS HORIZONTAL RUN=23 5/8" MIN.

SEE BASEMENT UNDERPINNING DETAIL (SHEET AP)



BASEMENT FLOOR PLAN

SCALE: 1/4"=1'-0"

MECHANICAL NOTES

- MECHANICAL EXHAUST VENT
- SMOKE ALARM
- CARBON MONOXIDE ALARM

No.	Date	Revision	Int.

Consultant:

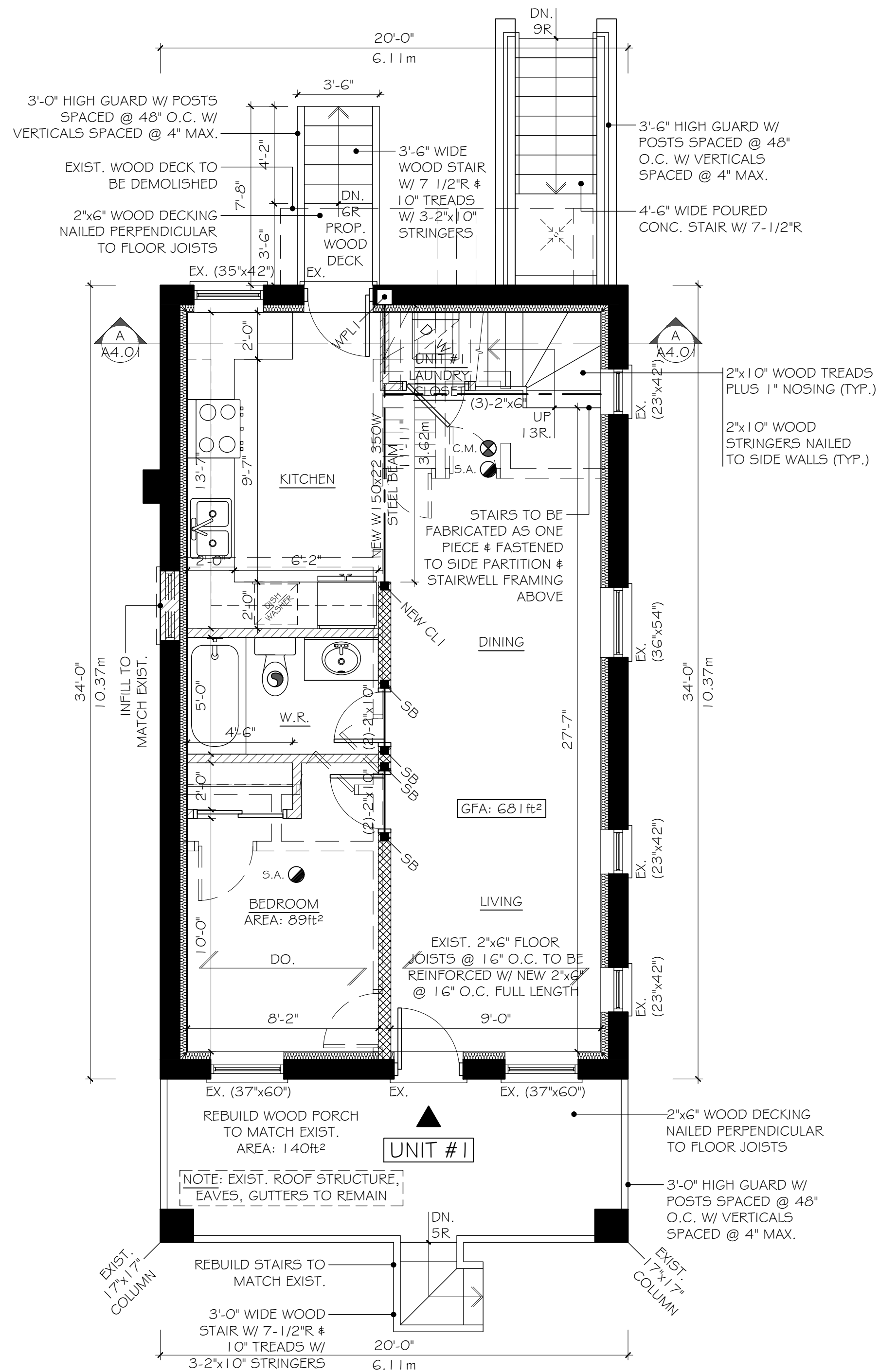
Owner:

Andrew Edwards  
38 Sewell Drive  
Oakville, ON

Project: Prop. 2nd Unit, Int.  
Alt., Bsmt. Walkout  
& Porches  
23 Cline Ave. S.  
Hamilton, ON

Drawing Title:  
Basement Floor  
Plan

Drawn:	Date: 2020.10.18
Checked:	Scale: AS SHOWN
File No:	Drawing No: A1.04
Project No:	



**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**⊗ INTERCONNECTED SMOKE ALARMS**

THE EXISTING HEATING OR AIR CONDITIONING SYSTEM MAY BE ALTERED TO SERVE MORE THAN ONE DWELLING UNIT PROVIDED SMOKE ALARMS ARE INSTALLED IN EACH DWELLING UNIT AND PROVIDED A SMOKE DETECTOR IS INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING WHICH WOULD TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER UPON ACTIVATION OF SUCH DETECTORS.

**LEGEND:**

- EXIST. WALL
- DEMOLISH EXIST.
- WALL TYPE B: NEW PARTITION  
2"x4" STUDS @ 16" O.C. W/  
1/2" GYPSUM BOARD ON  
BOTH SIDES
- 2"x4" STUDS @ 16" O.C. 89 mm  
THICK ABSORPTIVE MATERIAL STC  
MIN. 50 RESILIENT METAL  
CHANNELS ON ONE SIDE SPACED  
AT 600mm O.C. 2 LAYERS OF 1/2"  
TYPE "X" DRYWALL ON RESILIENT  
METAL CHANNELS 1 LAYER OF 1/2"  
TYPE "X" DRYWALL ON THE OTHER  
SIDE AS PER SB-3 TABLE 1
- SUBFLOOR OF 15.5mm PLYWOOD MIN.  
- FLOOR JST SPACING MAX. 610mm O.C.  
- 6" ABSORPTIVE MATERIAL IN CAVITY  
MIN. 50 STC RATING  
- RESILIENT METAL CHANNELS SPACED  
610mm O.C.  
- 1 LAYERS OF 15.9mm TYPE "X" GWB.
- DOOR TYPE A: 45mm THICK  
SOLID DOOR CONFORMING TO  
CAN/ULC.-S113. 32" WIDE FIRE  
RATED DOOR 20 MIN FIRE  
PROTECTION RATING AS PER  
TABLE 9.10.13.1 CW SELF  
CLOSING AND LATCHING DEVICE  
AND SHALL BE INSTALLED IN  
CONFORMANCE WITH NFPA 80

**MECHANICAL NOTES**

- MECHANICAL EXHAUST VENT
- SMOKE ALARM
- CARBON MONOXIDE ALARM

No.	Date	Revision	Int.

Consultant:

Owner:  
**Andrew Edwards**  
38 Sewell Drive  
Oakville, ON

Project: Prop. 2nd Unit, Int.  
Alt., Bsmt. Walkout  
& Porches  
23 Cline Ave. S.  
Hamilton, ON

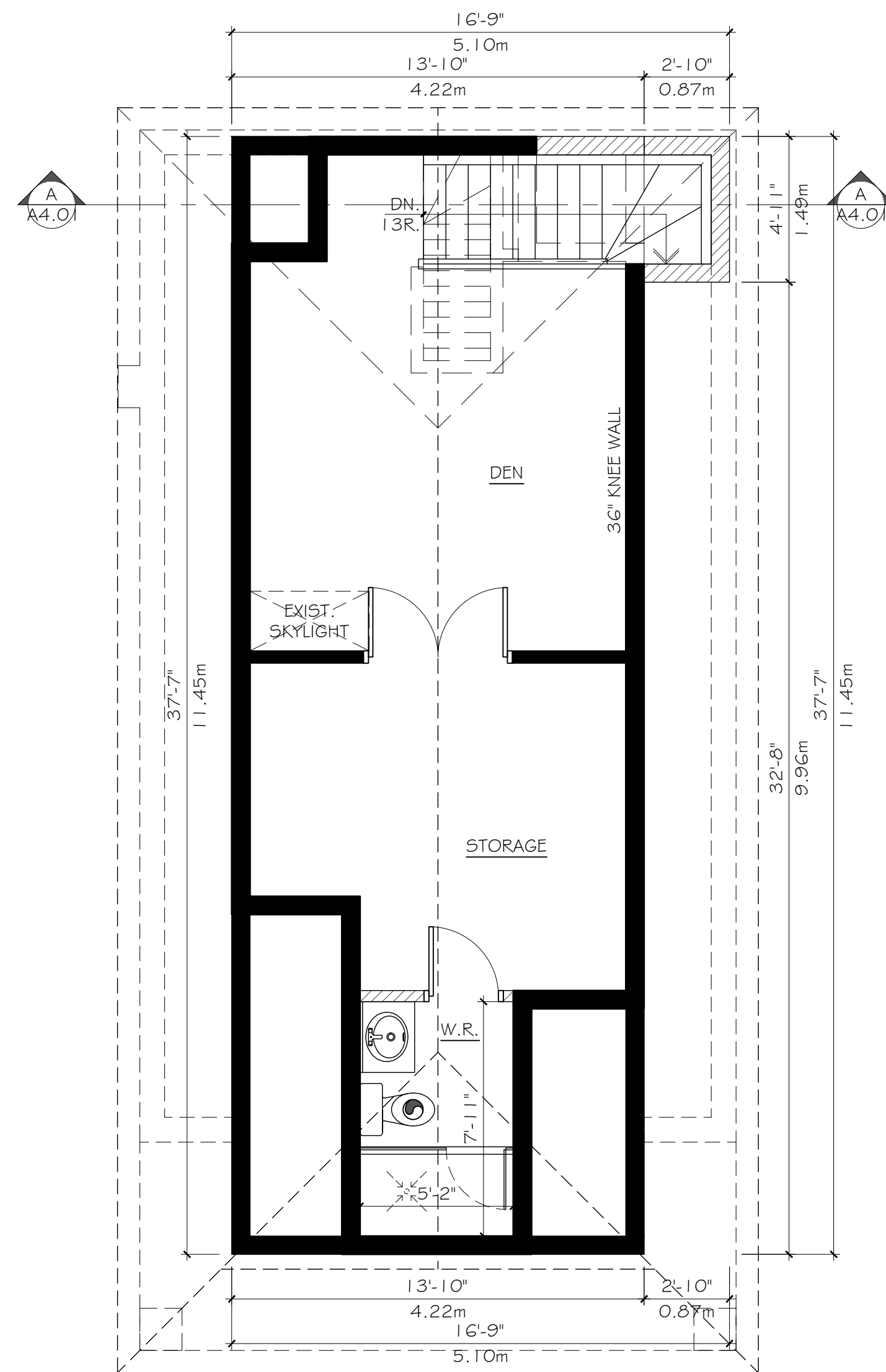
Drawing Title:  
**First Floor Plan**

Drawn: \_\_\_\_\_ Date: 2020.10.18

Checked: \_\_\_\_\_ Scale: 1/4" = 1'-0"

File No: \_\_\_\_\_ Drawing No: \_\_\_\_\_

Project No: **A1.05**



SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

- ⊗ INTERCONNECTED SMOKE ALARMS
- THE EXISTING HEATING OR AIR CONDITIONING SYSTEM MAY BE ALTERED TO SERVE MORE THAN ONE DWELLING UNIT PROVIDED SMOKE ALARMS ARE INSTALLED IN EACH DWELLING UNIT AND PROVIDED A SMOKE DETECTOR IS INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING WHICH WOULD TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER UPON ACTIVATION OF SUCH DETECTORS.
- LEGEND:
- - EXIST. WALL
- - - - - DEMOLISH EXIST.
- ▨ - WALL TYPE B: NEW PARTITION  
2"x4" STUDS @ 16" O.C. W/  
1/2" GYPSUM BOARD ON BOTH SIDES
- (WB)
- ▨ - 2"x4" STUDS @ 16" O.C. 89 mm THICK ABSORPTIVE MATERIAL STC MIN. 50 RESILIENT METAL CHANNELS ON ONE SIDE SPACED AT 600mm O.C. 2 LAYERS OF 1/2" TYPE "X" DRYWALL ON RESILIENT METAL CHANNELS 1 LAYER OF 1/2" TYPE "X" DRYWALL ON THE OTHER SIDE AS PER SB-3 TABLE 1
- (W4d)
- ▨ - SUBFLOOR OF 15.5mm PLYWOOD MIN. - FLOOR JST SPACING MAX. 610mm O.C. - 6" ABSORPTIVE MATERIAL IN CAVITY MIN. 50 STC RATING - RESILIENT METAL CHANNELS SPACED 610mm O.C. - 1 LAYERS OF 15.9mm TYPE "X" GWB.
- (F8d)
- (DA) - DOOR TYPE A: 45mm THICK SOLID DOOR CONFORMING TO CAN/ULC.-S113. 32" WIDE FIRE RATED DOOR 20 MIN FIRE PROTECTION RATING AS PER TABLE 9.10.13.1 CW SELF CLOSING AND LATCHING DEVICE AND SHALL BE INSTALLED IN CONFORMANCE WITH NFPA 80

MECHANICAL NOTES

- ⊙ MECHANICAL EXHAUST VENT
- ⊙ SMOKE ALARM
- ⊙ CARBON MONOXIDE ALARM

No.	Date	Revision	Int.

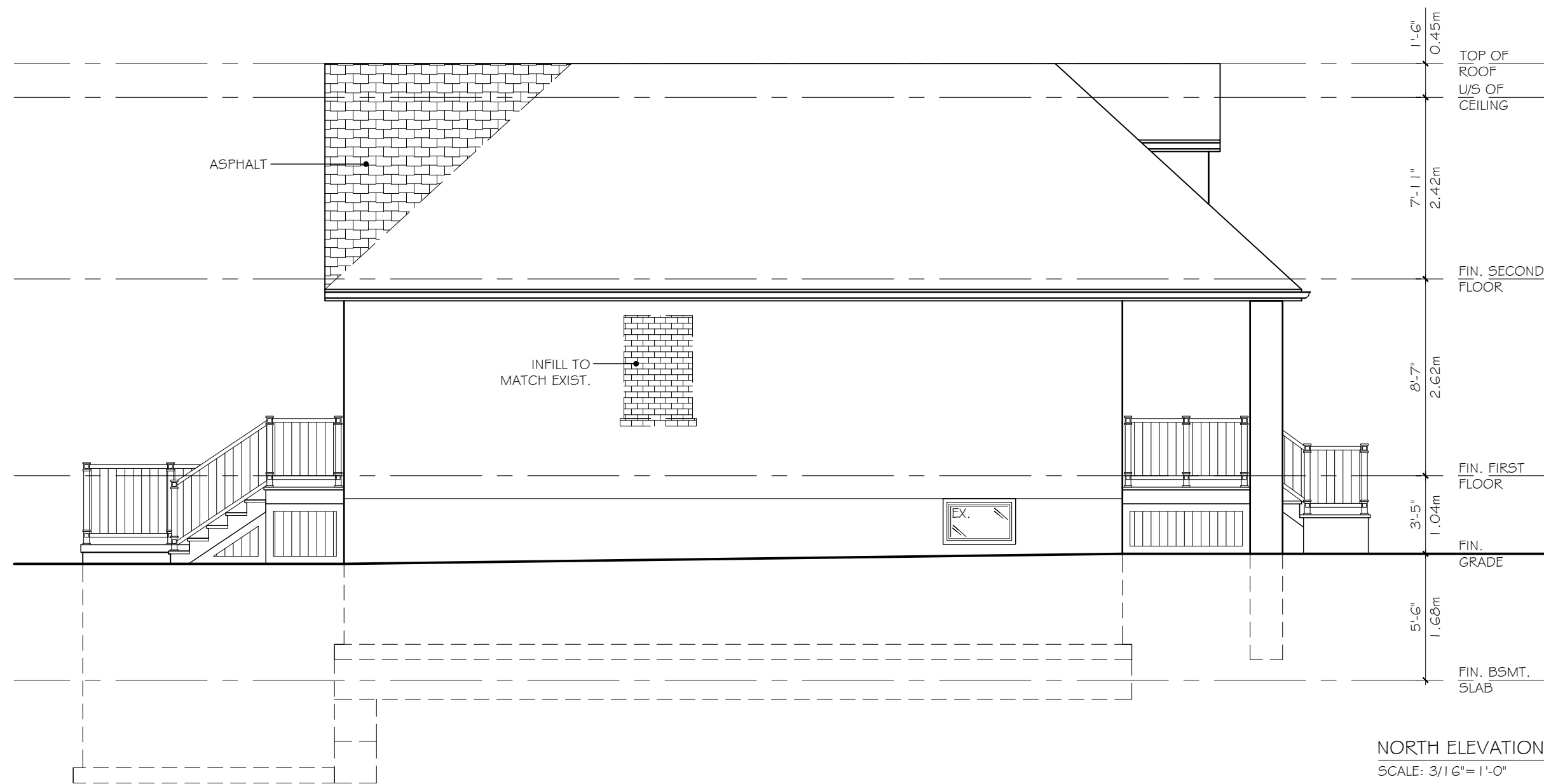
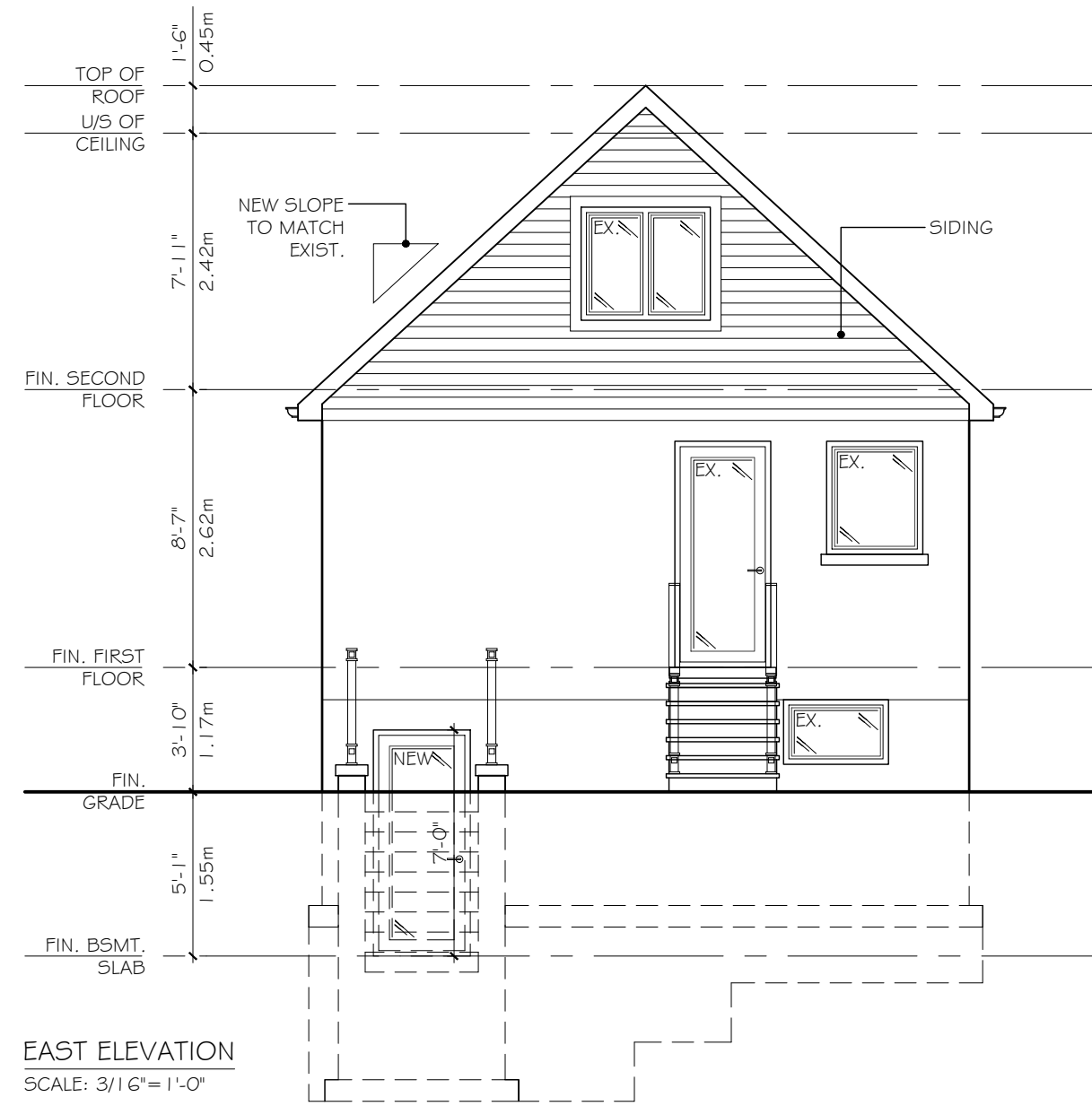
Consultant:

Owner:  
  
Andrew Edwards  
38 Sewell Drive  
Oakville, ON




Project: Prop. 2nd Unit, Int. Alt., Bsmt. Walkout & Porches  
23 Cline Ave. S.  
Hamilton, ON

Drawing Title:  
**Second Floor Plan**

Drawn:	Date: 2020.10.18
Checked:	Scale: 1/4" = 1'-0"
File No:	Drawing No: <b>A1.06</b>
Project No:	



**MECHANICAL NOTES**

-  MECHANICAL EXHAUST VENT
-  SMOKE ALARM
-  CARBON MONOXIDE ALARM

No.	Date	Revision	Int.

Consultant:

Owner:

Andrew Edwards  
 38 Sewell Drive  
 Oakville, ON

Project: Prop. 2nd Unit, Int.  
 Alt., Bsmt. Walkout  
 & Porches  
 23 Cline Ave. S.  
 Hamilton, ON

Drawing Title:  
**East & North  
 Elevations**

Drawn: \_\_\_\_\_ Date: 2020.10.18

Checked: \_\_\_\_\_ Scale: 3/16" = 1'-0"

File No: \_\_\_\_\_ Drawing No:

Project No: **A2.02**



**EXCAVATION AND BACKFILL**  
EXCAVATION SHALL BE UNDERTAKEN IN SUCH A MANNER SO AS TO PREVENT DAMAGE TO EXISTING STRUCTURES ADJACENT PROPERTY AND UTILITIES. THE TOPSOIL AND VEGETABLE MATTER IN UNEXCAVATED AREAS UNDER A BUILDING SHALL BE REMOVED.  
THE BOTTOM OF EXCAVATIONS FOR FOUNDATIONS SHALL BE FREE OF ALL ORGANIC MATERIAL. IF TERMITES ARE KNOWN TO EXIST, ALL STUMPS, ROOTS AND WOOD DEBRIS SHALL BE REMOVED TO A MINIMUM DEPTH OF 11 3/4" IN EXCAVATED AREAS UNDER A BUILDING, AND THE CLEARANCE BETWEEN UNTREATED STRUCTURAL WOOD ELEMENTS AND THE GROUND SHALL BE NO LESS 17 3/4".  
BACKFILL WITHIN 23 5/8" OF THE FOUNDATION WALLS SHALL BE FREE OF DELETERIOUS DEBRIS AND BOULDERS OVER 9 7/8" IN DIAMETER.

**DAMP-PROOFING AND DRAINAGE**  
IN NORMAL SOIL CONDITIONS, THE EXTERIOR SURFACES OF FOUNDATION WALLS ENCLOSING BASEMENTS AND CRAWL SPACES SHALL BE DAMP-PROOFED.

WHERE HYDROSTATIC PRESSURE OCCURS, A WATERPROOFING SYSTEM IS REQUIRED.  
MASONRY FOUNDATION WALL SHALL BE PARGED WITH 1/4" OF MORTAR COVERED OVER FOOTING PRIOR TO DAMP-PROOFING.

4" FOUNDATION DRAINS SHALL BE LAID ON LEVEL, UNDISTURBED GROUND ADJACENT TO THE FOOTINGS AT OR BELOW THE TOP OF THE BASEMENT SLAB OR CRAWL SPACE FLOOR, AND SHALL BE COVERED WITH 6" OF CRUSHED STONE.  
FOUNDATION DRAINS SHALL DRAIN TO A STORM SEWER, DRAINAGE DITCH, DRY WELL, OR SUMP. WINDOW WELLS SHALL BE DRAINED TO THE FOOTING. DOWNSPOUTS NOT DIRECTLY CONNECTED TO A STORM SEWER SHALL HAVE EXTENSIONS TO CARRY WATER AWAY FROM THE BUILDING, AND PROVISIONS SHALL BE MADE TO PREVENT SOIL EROSION.  
CONCRETE SLABS IN ATTACHED GARAGES SHALL BE SLOPED TO DRAIN TO THE EXTERIOR.  
THE BUILDING SITE SHALL BE GRADED SO THAT SURFACE, SUMP, AND ROOF DRAINAGE WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.

**FOOTINGS**  
MINIMUM 2200 PSI Poured CONCRETE, MINIMUM 48" BELOW FINISHED GRADE.  
FOOTING SHALL BE COMPACTED GRANULAR FILL WITH MINIMUM BEARING CAPACITY OF 1570 PSI.

FLOORS SUPPORTED	SUPPORTING EXT. WALL	SUPPORTING INT. WALL	COLUMN AREA
1	9 7/8"	9 7/8"	4.3 FT <sup>2</sup>
2	13 3/4"	13 3/4"	8.1 FT <sup>2</sup>
3	17 3/4"	19 3/4"	10.9 FT <sup>2</sup>

INCREASE FOOTING WIDTH BY 2 5/8" FOR EACH STOREY OF BRICK VENEER SUPPORTED, AND BY 5 1/8" FOR EACH STOREY OF MASONRY.  
THE PROJECTION OF AN UNREINFORCED FOOTING BEYOND THE WALL SUPPORTED SHALL NOT BE GREATER THAN ITS THICKNESS.  
WHERE THE TOTAL COMBINED SUPPORTED SPAN EXCEEDS 16'-1" THE FOOTINGS SHALL BE SIZED IN ACCORDANCE WITH SG 10.

**STEP FOOTINGS**  
VERTICAL RISE 23 5/8" MAX.  
FOR FIRM SOILS HORIZONTAL RUN=23 5/8" MIN.

**FOUNDATION WALLS**  
TO BE Poured CONCRETE, UNIT MASONRY OR PRESERVED WOOD (SEE DRAWINGS FOR TYPE AND THICKNESS).  
DAMP-PROOFING SHALL BE A HEAVY COAT OF BITUMINOUS MATERIAL.  
FOUNDATION WALL TO EXTEND MINIMUM 5 7/8" ABOVE FINISHED GRADE.  
A DRAINAGE LAYER IS REQUIRED ON THE OUTSIDE OF A FOUNDATION WALL WHERE THE INTERIOR INSULATION EXTENDS MORE THAN 2'-1 1/2" BELOW EXTERIOR GRADE.  
A DRAINAGE LAYER SHALL CONSIST OF MIN. 3/4" MINERAL FIBRE INSULATION WITH MIN. DENSITY OF 3.6 LB/FT<sup>2</sup> MIN. 4" OF FREE DRAINAGE GRANULAR MATERIAL, OR AN APPROVED SYSTEM WHICH PROVIDES EQUIVALENT PERFORMANCE.  
FOUNDATION WALL SHALL BE BRACED OR HAVE THE FLOOR JOISTS INSTALLED BEFORE BACKFILLING.  
WHERE FOUNDATION WALLS SHALL BE TIED TO EXISTING FOUNDATION WALLS, USE 10M BARS @ 12" O.C. GROUTED MIN. 6" INTO EXISTING MASONRY.  
A WATERTIGHT JOINT MUST BE ENSURED WHERE FOUNDATION CONTAINS LIVING SPACE - JOINT TO BE CAULKED AS REQUIRED.

**CONCRETE FLOOR SLABS**  
GARAGE, CARPORT AND EXTERIOR SLABS AND EXTERIOR STEPS SHALL BE 4650 PSI CONCRETE WITH 5-8% AIR ENTRAINMENT.  
OTHER SLABS 3600 PSI CONCRETE.  
MINIMUM 3" THICK, PLACED ON A MINIMUM 4" OF COURSE, CLEAN GRANULAR MATERIAL.  
ALL FILL OTHER THAN COARSE CLEAN MATERIAL PLACED BENEATH CONCRETE SLABS SHALL BE COMPACTED TO PROVIDE UNIFORM SUPPORT.

**MASONRY WALLS**  
WHERE CONSTRUCTED OF 3 1/2" BRICK, WALL SHALL BE BONDED WITH HEADER COURSE EVERY 6TH COURSE.  
PROVIDE 2" SOLID MASONRY OR CONTINUOUS 1 1/2" PLATE UNDER ALL ROOF AND FLOOR FRAMING MEMBERS.  
MASONRY WALL TO BE TIED TO EACH TIER OF JOISTS WITH 1 9/16" x 3/16" CORROSION RESISTANT STEEL STRAPS, KEYED MINIMUM 4" INTO MASONRY.  
WHEN JOISTS ARE PARALLEL TO WALL, TIES ARE TO EXTEND ACROSS AT LEAST 3 JOISTS @ 6'-7" O.C. INSIDE BACK OF WALL TO BE PARGED AND COVERED WITH NO. 15 BREATHER-TYPE ASPHALT PAPER.  
FOR REDUCED FOUNDATION WALLS TO ALLOW A BRICK FACING WHILE MAINTAINING LATERAL SUPPORT, TIE MINIMUM 3 1/2" BRICK TO MINIMUM 3 1/2" BACK-UP BLOCK WITH CORROSION RESISTANT TIES AT 0.028IN<sup>2</sup> IN CROSS SECTIONAL AREA, SPACED 7 7/8" VERTICALLY AND 2'-1 1/4" HORIZONTALLY WITH JOISTS COMPLETELY FILLED WITH MORTAR.  
MASONRY OVER OPENINGS SHALL BE SUPPORTED ON CORROSION RESISTANT OR PRIME PAINTED STEEL LINTELS WITH A MINIMUM OF 5 7/8" END BEARING.

**MASONRY VENEER**  
MINIMUM 2 3/4" THICK IF JOINTS ARE NOT RAKED AND 3 1/2" THICK IF JOISTS ARE RAKED MINIMUM 1" AIR SPACE TO SHEATHING.  
PROVIDE WEEP HOLES @ 31 1/2" O.C. AT THE BOTTOM OF THE CAVITY AND OVER DOORS AND WINDOWS.  
DIRECT DRAINAGE THROUGH WEEP HOLES WITH 21 MIL POLY FLASHING EXTENDING MINIMUM 5 7/8" UP BEHIND SHEATHING PAPER.  
VENEER TIES MINIMUM 0.030" THICK x 7/8" WIDE CORROSION RESISTANT STRAPS SPACED 23 5/8" VERTICALLY AND 15 3/4" HORIZONTALLY.  
FASTEN TIES WITH CORROSION RESISTANT 0.125" DIAMETER SCREWS OR SPIRAL NAILS WHICH PENETRATE AT LEAST 1 3/16" INTO STUDS

**WOOD FRAME CONSTRUCTION**  
ALL LUMBER SHALL BE SPRUCE-PINE-FIR NO. 2 OR BETTER, AND SHALL BE IDENTIFIED BY A GRADE STAMP. MAXIMUM MOISTURE CONTENT 19% AT TIME OF INSTALLATION.  
WOOD FRAMING MEMBERS WHICH ARE SUPPORTED ON CONCRETE IN DIRECT CONTACT WITH SOIL SHALL BE SEPERATED FROM THE CONCRETE WITH 6 MIL POLYETHYLENE.

**WALLS**  
EXTERIOR WALLS SHALL CONSIST OF,  
CLADDING  
3/8" FIBREBOARD OR GYPSUM BOARD OR 1/4" PLYWOOD SHEATHING  
2"x6" STUDS @ 16" O.C.  
2"x6" BOTTOM PLATE AND DOUBLE 2"x6" TOP PLATE  
2"x4" STUDS @ 16" O.C. CAN BE UTILIZED PROVIDED THE COMBINED R VALUE OF THE BATT INSULATION AND EXTERIOR RIGID INSULATION ACHIEVES R-19.  
INTERIOR WALLS SHALL CONSIST OF,  
2"x4" STUDS @ 16" O.C.  
2"x4" BOTTOM PLATE AND DOUBLE 2"x4" TOP PLATE  
2"x4" MID-GIRTS IF NOT SHEATHED  
1/2" GYPSUM BOARD SHEATHING

**FLOORS**  
JOISTS TO HAVE MINIMUM 1 1/2" OF END BEARING. JOISTS SHALL BEAR ON A SILL PLATE FIXED TO FOUNDATION WITH 1/2" ANCHOR BOLTS @ 7'-10" O.C. HEADER JOISTS BETWEEN 3'-1 1/4" AND 10'-6" IN LENGTH SHALL BE DOUBLED.  
HEADER JOISTS EXCEEDING 10'-6" SHALL BE SIZED BY CALCULATIONS.  
TRIMMER JOISTS SHALL BE DOUBLED WHEN SUPPORTED HEADER IS BETWEEN 2'-1 1/4" AND 6'-7". TRIMMER JOISTS SHALL BE SIZED BY CALCULATION WHEN SUPPORTED HEADER EXCEEDS 6'-1 1/4"  
2"x2" CROSS BRIDGING REQUIRED NOT MORE THAN 6'-1 1/4" FROM EACH SUPPORT AND FROM OTHER ROWS OF BRIDGING.  
JOISTS SHALL BE SUPPORTED ON JOIST HANGERS AT ALL FLUSH BEAMS, TRIMMERS, AND HEADERS. JOISTS LOCATED UNDER PARALLEL NON-LOADBEARING PARTITIONS SHALL BE DOUBLED.

**ROOF AND CEILINGS**  
HIP AND VALLEY RAFTER SHALL BE 2" DEEPER THAN COMMON RAFTERS.  
2"x4" COLLAR TIES @ RAFTER SPACING WITH 1"x4" CONTINUOUS BRACE AT MID SPAN IF COLLAR TIE EXCEED 7'-10" IN LENGTH.  
SEE 504 FOR ROOF SHEATHING REQUIREMENTS.

**NOTCHING AND DRILLING OF TRUSSES, JOISTS, RAFTERS**  
HOLES IN FLOOR, ROOF, AND CEILING MEMBERS TO BE MAXIMUM 1/4" X ACTUAL DEPTH OF MEMBER AND NOT LESS THAN 2" FROM EDGES.  
NOTCHES IN FLOOR, ROOF, AND CEILING MEMBERS TO BE LOCATED ON TOP OF THE MEMBER WITHIN 1/2 THE ACTUAL DEPTH FROM THE EDGE BEARING AND NOT GREATER THAN 1/3 JOIST DEPTH.  
WALL STUDS MAY BE NOTCHED OR DRILLED PROVIDED THAT NO LESS THAN 2/3 THE DEPTH OF THE STUD REMAINS.  
IF LOAD BEARING AND 1 9/16" IF NON-LOAD BEARING.  
ROOF TRUSS MEMBERS SHALL NOT BE NOTCHED, DRILLED OR WEAKENED UNLESS ACCOMMODATED IN THE

**ROOFING**  
FASTENERS FOR ROOFING SHALL BE CORROSION RESISTANT.  
ROOFING NAILS SHALL PENETRATE THROUGH AT LEAST 1/2" INTO ROOF SHEATHING.  
EVERY ASPHALT SHINGLE SHALL BE FASTENED WITH AT LEAST 4 NAILS.  
EAVE PROTECTION SHALL EXCEED 2'-1 1/4" UP THE ROOF SLOPE FROM THE EDGE, AND AT LEAST 1 1/4" FROM THE INSIDE FACE OF THE EXTERIOR WALL, AND SHALL CONSIST OF TYPE M OR TYPE 5 ROLL ROOFING LAID WITH MINIMUM 4" HEAD AND END LAPS CEMENTED TOGETHER, OR GLASS FIBRE OR POLYESTER FIBRE COATED BASE SHEETS, OR SELF SEALING COMPOSITE MEMBRANES CONSISTING OF MODIFIED BITUMINOUS COATED MATERIAL.  
EAVE PROTECTION IS NOT REQUIRED FOR UNHEATED BUILDINGS, FOR ROOFS EXCEEDING A SLOPE OF 8 IN 12, OR WHERE A LOW SLOPE ASPHALT SHINGLE APPLICATION IS PROVIDED.  
OPEN VALLEYS SHALL BE FLASHED WITH 2 LAYERS OF ROLL ROOFING, OR 1 LAYER OF SHEET METAL MIN. 23 5/8" WIDE.  
FLASHING SHALL BE PROVIDED AT THE INTERSECTION OF SHINGLE ROOFS WITH EXTERIOR WALLS AND CHIMNEYS.  
SHEET METAL FLASHING SHALL CONSIST OF NOT LESS THAN 1/16" SHEET LEAD, 0.013" GALVANIZED STEEL, 0.018" COPPER, 0.018" ZINC, OR 0.019" ALUMINUM.

**NATURAL VENTILATION**  
EVERY ROOF SPACE ABOVE AND INSULATED CEILING SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO, NOT LESS THAN 1/300 OF INSULATED AREA INSULATED.  
ROOF SPACES NOT INCORPORATING AN ATTIC SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO NOT LESS THAN 1/150 OF INSULATED AREA.  
ROOF VENTS SHALL BE UNIFORMLY DISTRIBUTED AND DESIGNED TO PREVENT THE ENTRY OF RAIN, SNOW, OR INSECTS.  
UNHEATED CRAWL SPACES SHALL BE PROVIDED WITH 1.1 FT<sup>2</sup> OF VENTILATION FOR EACH 53FT<sup>2</sup> MINIMUM.  
NATURAL VENTILATION AREAS, WHERE MECHANICAL VENTILATION IS NOT PROVIDED, ARE  
BATHROOMS 0.097 FT<sup>2</sup>  
OTHER ROOMS 3 FT<sup>2</sup>  
UNFINISHED BASEMENT 0.2% OF FLR. AREA.

**INSULATION AND WEATHERPROOFING**  
ZONE 1

COMPLIANCE PACKAGE "J" FURNACE TO BE 94% EFFICIENT.

INSULATION SHALL BE PROTECTED WITH GYPSUM BOARD OR AN EQUIVALENT INTERIOR FINISH, EXCEPT FOR UNFINISHED BASEMENTS WHERE 6 MIL POLY IS SUFFICIENT FOR FIBREGLASS TYPE INSULATIONS.  
DUCTS PASSING THROUGH UNHEATED SPACE SHALL BE MADE AIRTIGHT WITH TAPE OR SEALANT.  
CAULKING SHALL BE PROVIDED FOR ALL EXTERIOR DOORS AND WINDOWS BETWEEN THE FRAME AND THE EXTERIOR CLADDING.  
WEATHERSTRIPPING SHALL BE PROVIDED ON ALL DOORS AND ACCES HATCHES TO THE EXTERIOR, EXCEPT DOORS FROM A GARAGE TO THE EXTERIOR.  
EXTERIOR WALLS, CEILING, AND FLOORS SHALL BE CONSTRUCTED SO AS TO PROVIDE A CONTINUOUS BARRIER TO THE PASSAGE OF WATER VAPOUR, FROM THE INTERIOR AND TO THE LEAKAGE OF AIR FROM THE EXTERIOR.

COMPONENT	ZONE 1
CEILING WITH ATTIC SPACE	10.56
MINIMUM RSI (R) - VALUE	(R-60)
CEILING WITHOUT ATTIC SPACE	5.46
MINIMUM RSI (R) - VALUE	(R-31)
EXPOSED FLOOR	5.46
MINIMUM RSI (R) - VALUE	(R-31)
WALLS ABOVE GRADE	3.34+0.88ci
MINIMUM RSI (R) - VALUE	(19+5ci)
BASEMENT WALLS	3.52ci
MINIMUM RSI (R) - VALUE	(20ci)
BELOW GRADE SLAB ENTIRE SURFACE >600mm BELOW GRADE	- - -
MINIMUM RSI (R) - VALUE	
EDGE OF BELOW GRADE SLAB < 600mm BELOW GRADE	1.76
MINIMUM RSI (R) - VALUE	(R-10)
HEATED SLAB OR SLAB < 600mm BELOW GRADE	1.76
MINIMUM RSI (R) - VALUE	(R-10)
WINDOWS AND SLIDING GLASS DOORS	1.6
MAXIMUM U-VALUE	0.28

COLUMNS, BEAMS AND LINTELS STEEL BEAMS AND COLUMNS SHALL BE SHOP PRIMED.  
MINIMUM 3 1/2" END BEARING FOR WOOD AND STEEL BEAMS WITH 7 7/8" SOLID MASONRY BENEATH BEAM. STEEL COLUMNS TO HAVE MINIMUM OUTSIDE DIAMETER OF 2 7/8" AND MINIMUM WALL THICKNESS OF 3/16". WOOD COLUMNS FOR CARPORTS AND GARAGES SHALL BE MINIMUM 3 1/2" x 3 1/2"; IN ALL OTHER CASES EITHER 5 1/2" x 5 1/2" OR 7 1/4" ROUND, UNLESS CALCULATIONS BASED ON ACTUAL LOADS SHOW LESSER SIZES ARE ADEQUATE. ALL COLUMNS SHALL BE NOT LESS THAN THE WIDTH OF THE SUPPORTING MEMBER. MASONRY COLUMNS SHALL BE MINIMUM OF 11 3/8" x 11 3/8" OR 9 1/2" x 15". PROVIDE SOLID BLOCKING THE FULL WIDTH OF THE SUPPORTED MEMBER UNDER ALL CONCENTRATED LOADS

**CERAMIC TILE**  
WHEN CERAMIC TILE APPLIED TO A MORTAR BED WITH ADHESIVE, THE BED SHALL BE A MINIMUM OF 1/2" THICK & REINFORCED WITH GALVANIZED DIAMOND MESH LATH, APPLIED OVER POLYETHYLENE ON SUBFLOORING ON JOISTS AT NO MORE THAN 16" O.C. WITH AT LEAST 2 ROWS CROSS BRIDGING.

**ACCESS TO ATTICS AND CRAWL SPACES**  
ACCESS HATCH MINIMUM 19 3/4" x 2'-4" TO BE PROVIDED TO EVERY CRAWL SPACE AND EVERY ROOF SPACE WHICH IS 108FT<sup>2</sup> OR MORE IN AREA AND MORE THAN 23 5/8" IN HEIGHT.

**GARAGE GASPROOFING**  
THE WALLS AND CEILING OF AN ATTACHED GARAGE SHALL BE CONSTRUCTED AND SEALED AS TO PROVIDE AN EFFECTIVE BARRIER TO EXHAUST FUMES.  
ALL PLUMBING AND OTHER PENETRATIONS THROUGH THE WALLS AND CEILING SHALL BE CAULKED.  
DOORS BETWEEN DWELLING AND ATTACHED GARAGE MAY NOT OPEN INTO A BEDROOM AND SHALL BE WEATHERSTRIPPED AND HAVE A SELF-CLOSER.

**ALARMS AND DETECTORS**  
AT LEAST 1 SMOKE ALARM SHALL BE INSTALLED ON OR NEAR THE CEILING ON EACH FLOOR AND BASEMENT LEVEL, 2'-1 1/4" OR MORE ABOVE AN ADJACENT LEVEL.  
SMOKE ALARMS SHALL BE INTERCONNECTED AND LOCATED SUCH THAT ONE IS WITHIN 16'-5" OF EVERY BEDROOM FLOOR AND NO MORE THAN 49'-3" TRAVEL DISTANCE FROM ANY POINT ON A FLOOR.  
A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED ON OR NEAR THE CEILING IN EVERY ROOM CONTAINING A SOLID FUEL BURNING FIREPLACE OR STOVE.

STAIRS	
MAXIMUM RISE	7 7/8"
MINIMUM RUN	8 1/4"
MINIMUM TREAD	9 1/4"
MINIMUM HEAD ROOM	6'-5"
MINIMUM WIDTH	2'-10"

CURVED STAIRS SHALL HAVE A MIN. RUN OF 5 7/8" AT ANY POINT AND A MINIMUM AVERAGE RUN OF 7 7/8".  
WINDERS WHICH CONVERGE TO A POINT IN STAIRS MUST TURN THROUGH AN ANGLE NO MORE THAN 90°, WITH NO LESS THAN 30° OR MORE THAN 45° PER TREAD.  
SETS OF WINDERS MUST BE SEPARATED BY 3'-1 1/4" ALONG THE RUN OF THE STAIR. A LANDING MINIMUM 2'-1 1/4" IN LENGTH IS REQUIRED AT THE TOP OF ANY STAIR LEADING TO THE PRINCIPAL ENTRANCE TO A DWELLING, AND OTHER ENTRANCES WITH MORE THAN 3 RISERS.  
EXTERIOR CONCRETE STAIRS WITH MORE THAN 2 RISERS REQUIRE FOUNDATIONS.

ELECTRICITY AN EXTERIOR LIGHT CONTROLLED BY AN INTERIOR SWITCH IS REQUIRED AT EVERY ENTRANCE. A LIGHT CONTROLLED BY A SWITCH IS REQUIRED IN EVERY KITCHEN, BEDROOM, LIVING ROOM, BATHROOM, VESTIBULE, HALLWAY, GARAGE AND CARPORT. A SWITCHED RECEPTACLE MAY BE PROVIDED INSTEAD OF A LIGHT IN BEDROOMS AND LIVING ROOMS. STAIRS SHALL BE LIGHTED AND EXCEPT WHERE SERVING AN UNFINISHED BASEMENT SHALL BE CONTROLLED BY A 3 WAY SWITCH AT THE HEAD AND FOOT OF THE STAIRS. BASEMENTS REQUIRE A LIGHT FOR EACH 323FT<sup>2</sup>, CONTROLLED BY A SWITCH AT THE HEAD OF THE STAIRS.

DOORS AND WINDOWS EVERY FLOOR LEVEL CONTAINING A BEDROOM AND NOT SERVED BY AN EXTERIOR DOOR SHALL CONTAIN AT LEAST 1 WINDOWS HAVING AND UNOBSTRUCTED OPEN AREA OF 3.8 FT<sup>2</sup> AND NO DIMENSION LESS THAN 15", WHICH IS OPERABLE FROM THE INSIDE WITHOUT TOOLS.  
EXTERIOR HOUSE DOORS AND WINDOWS WITH 6'-7" FROM GRADE SHALL BE CONSTRUCTED TO RESIST FORCED ENTRY. DOORS SHALL HAVE A DEADBOLT LOCK. THE PRINCIPAL ENTRY DOOR SHALL HAVE EITHER A DOOR VIEWER, TRANSPARENT GLAZING OR A SIDELIGHT.

**MECHANICAL VENTILATION**

A MECHANICAL VENTILATION SYSTEM IS REQUIRED WITH A TOTAL CAPACITY AT LEAST EQUAL TO THE SUM OF

10 CFM EACH FOR BASEMENT AND MASTER BEDROOM  
5 CFM FOR EACH OTHER ROOM

A PRINCIPAL DWELLING EXHAUST FAN SHALL BE INSTALLED AND CONTROLLED BY A CENTRALLY LOCATED SWITCH IDENTIFIED AS SUCH. SUPPLEMENTAL EXHAUST SHALL BE INSTALLED SO THAT THE TOTAL CAPACITY OF ALL KITCHEN, BATHROOM, AND OTHER EXHAUSTS, LESS THE PRINCIPAL EXHAUST, IS NOT LESS THAN THE TOTAL REQUIRED CAPACITY. A HEAT RECOVERY VENTILATOR MAY BE EMPLOYED IN LIEV OF EXHAUST TO PROVIDE VENTILATION. AN HRV IS REQUIRED IF ANY SOLID FUEL BURNING APPLIANCES ARE INSTALLED. SUPPLY AIR INTAKES SHALL BE LOCATED SO AS TO AVOID CONTAMINATION FROM EXHAUST OUTLETS.

HANDRAILS AND GUARDS A HANDRAIL IS REQUIRED FOR INTERIOR STAIRS CONTAINING MORE THAN 2 RISERS AND EXTERIOR STAIRS CONTAINING MORE THAN 3 RISERS. GUARDS ARE REQUIRED AROUND EVERY ACCESSIBLE SURFACE WHICH IS MORE THAN 23 5/8" ABOVE THE ADJACENT LEVEL. INTERIOR AND EXTERIOR GUARDS MIN. 2'-1 1/4" HIGH. EXTERIOR GUARDS SHALL BE 3'-6" HIGH WHERE HEIGHT ABOVE THE ADJACENT SURFACE EXCEEDS 5'-1 1/4". GUARDS SHALL HAVE NO OPENING GREATER THAN 4", AND NO MEMBER BETWEEN 4" AND 2'-1 1/4" THAT WILL FACILITATE CLIMBING.

PLUMBING EVERY DWELLING REQUIRES A KITCHEN SINK, LAVATORY, WATER CLOSET, BATHTUB, OR SHOWER STALL, AND THE INSTALLATION OR AVAILABILITY OF LAUNDRY FACILITIES. A FLOOR DRAIN SHALL BE INSTALLED IN THE BASEMENT, AND CONNECTED TO THE SANITARY SEWER WHERE GRAVITY DRAINAGE IS POSSIBLE. IN OTHER CASES, IT SHALL BE CONNECTED TO A STORM DRAINAGE SYSTEM, DITCH OR DRY WELL.

EXTERIOR WALLS NO WINDOWS OR OTHER UNPROTECTED OPENINGS ARE PERMITTED IN EXTERIOR WALL LESS THAN 5'-1 1/4" FROM PROPERTY LINES. 5/8" FIRE RATED DRYWALL SHALL BE INSTALLED ON THE INSIDE FACE OF ATTACHED GARAGE EXTERIOR WALLS AND GABLE ENDS OF ROOFS WHICH ARE LESS THAN 3'-1" FROM PROPERTY LINES. NON COMBUSTIBLE CLADDING SHALL BE INSTALLED ON ALL EXTERIOR WALLS LESS THAN 23 5/8" FROM PROPERTY LINES.



23 CLINE AVENUE SOUTH  
HAMILTON, ONTARIO

**MECHANICAL NOTES**

- MECHANICAL EXHAUST VENT
- SMOKE ALARM
- CARBON MONOXIDE ALARM

No.	Date	Revision	Init.

Consultant:

Owner:

Andrew Edwards  
38 Sewell Drive  
Oakville, ON

Project: Prop. 2nd Unit, Int. Alt., Bsmt. Walkout & Porches  
23 Cline Ave. S.  
Hamilton, ON

Drawing Title:

General Notes

LINTEL SCHEDULE			
Per Table 9.20.5.2.B. and Table A-17 (First and Second Floors)			
LINTEL	BRICK/STONE VENEER		SPAN
L1	STL. ANGLE	3-1/2"x3-1/2"x1/4"	4'-0"
	WOOD	2-2"x6"	(1.37m)
L2	STL. ANGLE	3-1/2"x3-1/2"x1/4"	5'-0"
	WOOD	2-2"x8"	(1.67m)
L3	STL. ANGLE	3-1/2"x3-1/2"x1/4"	6'-0"
	WOOD	2-2"x10"	(2.04m)
L4	STL. ANGLE	3-1/2"x3-1/2"x5/16"	7'-0"
	WOOD	3-2"x10"	(2.36m)
L5	STL. ANGLE	4"x3-1/2"x1/4"	8'-0"
	WOOD	3-1/2"x9-1/2" LVL 2.OE	(2.43m)
L6	STL. ANGLE	4-7/8"x3-1/2"x3/8"	9'-0" - 10'-0"
	WOOD	3-1/2"x9-1/2" LVL 2.OE	(2.74m-3.04m)
L7	STL. ANGLE	5-7/8"x3-1/2"x1/2"	11'-0" - 12'-0"
		3-1/2"x11-1/2" LVL 2.OE	(3.35m-3.65m)

WPL1 = 8"x8"x1/2" STEEL PLATE ANCHORED TO SOLID MASONRY WALL BELOW W/ 2-1/2"Ø ANCHOR BOLTS 8" LONG.

CL1 = 3-1/2"Øx0.25" STEEL COLUMN W/ 6"x6"x1/2" TOP & BOTTOM PLATE. TOP PLATE WELDED TO BEAM ABOVE. BOTTOM PLATE ANCHORED TO SOLID MASONRY WALL OR FOOTING BELOW W/ 2-1/2" DIA. ANCHOR BOLTS 8" LONG

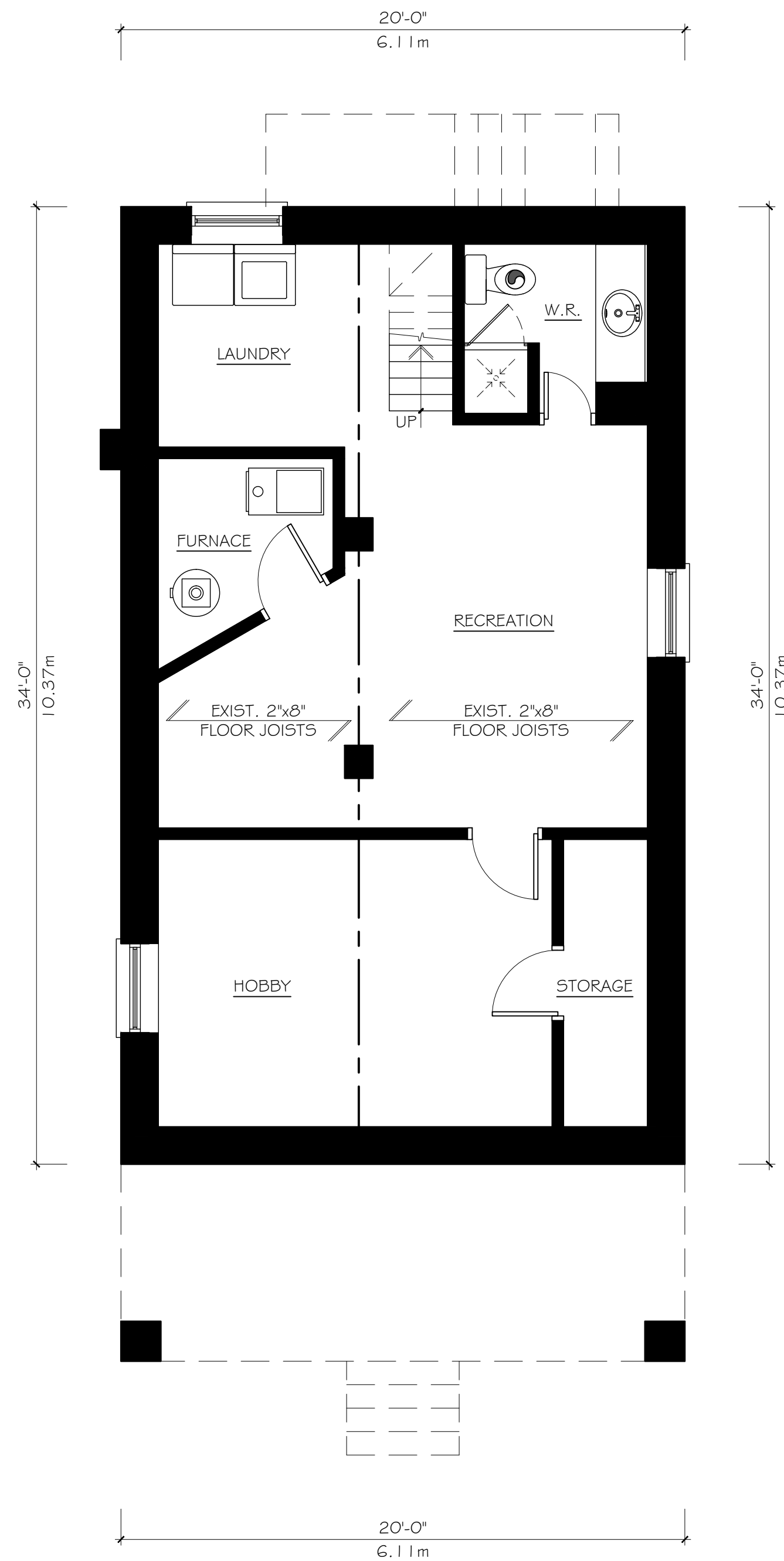
CL2 = 4"x4"x0.25" HSS STEEL COLUMN W/ 6"x6"x1/2" TOP PLATE WELDED TO BEAM ABOVE. BASE PLATE 8"x8"x1/2" ANCHORED TO CONC. FOOTING W/ 4-1/2"Ø ANCHOR BOLTS 8" LONG.

Drawn: Date: 2020.10.18

Checked: Scale:




File No: Drawing No:

Project No: AO.01



EXIST. BASEMENT FLOOR PLAN  
SCALE: 1/4" = 1'-0"

**MECHANICAL NOTES**

-  MECHANICAL EXHAUST VENT
-  SMOKE ALARM
-  CARBON MONOXIDE ALARM

No.	Date	Revision	Int.

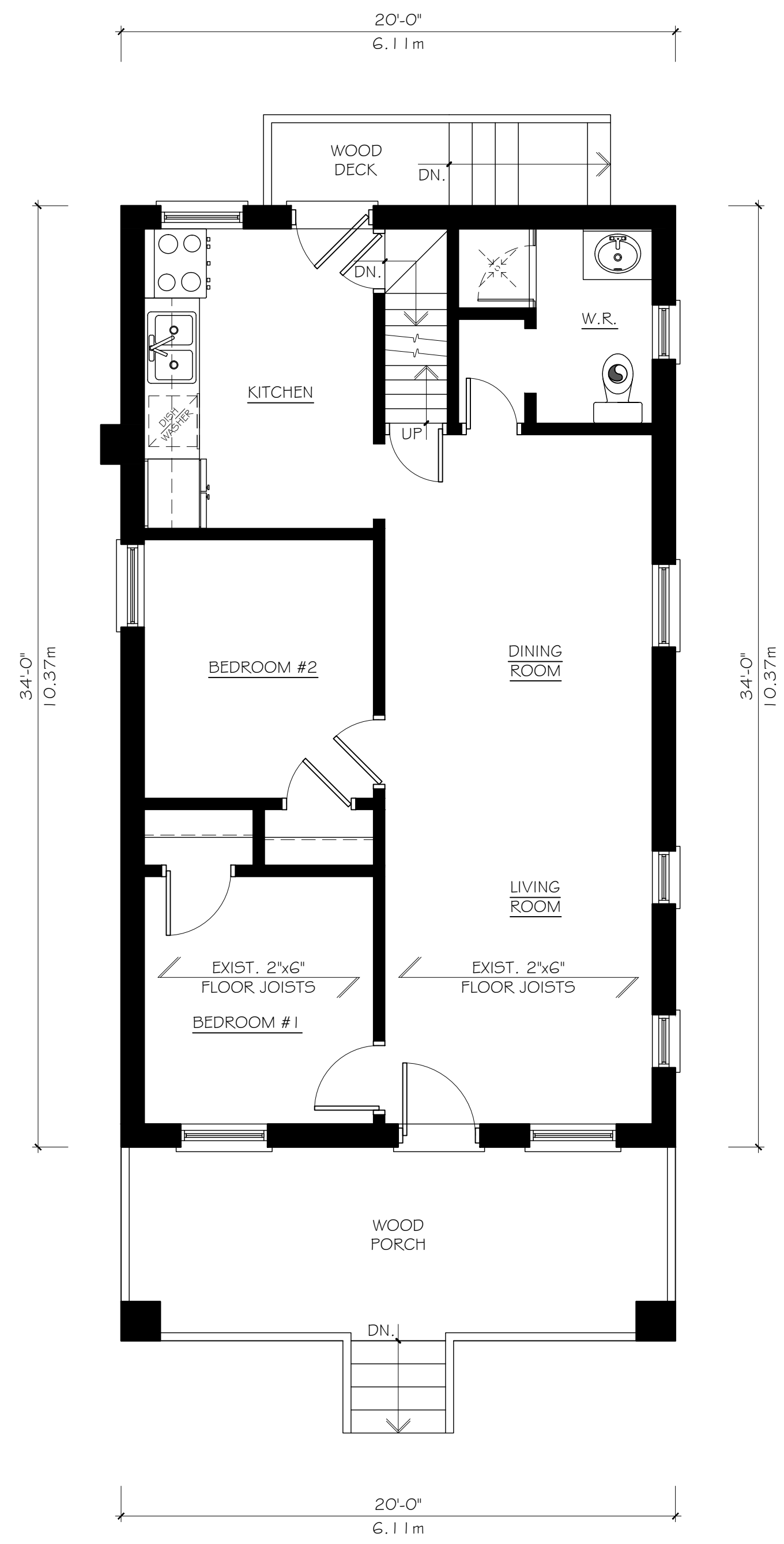
Consultant:

Owner:  
Andrew Edwards  
38 Sewell Drive  
Oakville, ON

Project: Prop. 2nd Unit, Int.  
Alt., Bsmt. Walkout  
& Porches  
23 Cline Ave. S.  
Hamilton, ON




Drawing Title:  
Exist. Basement  
Floor Plan

Drawn:	Date: 2020.10.18
Checked:	Scale: 1/4" = 1'-0"
File No:	Drawing No: A1.01
Project No:	



EXIST. FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

**MECHANICAL NOTES**

-  MECHANICAL EXHAUST VENT
-  SMOKE ALARM
-  CARBON MONOXIDE ALARM

No.	Date	Revision	Int.

Consultant:

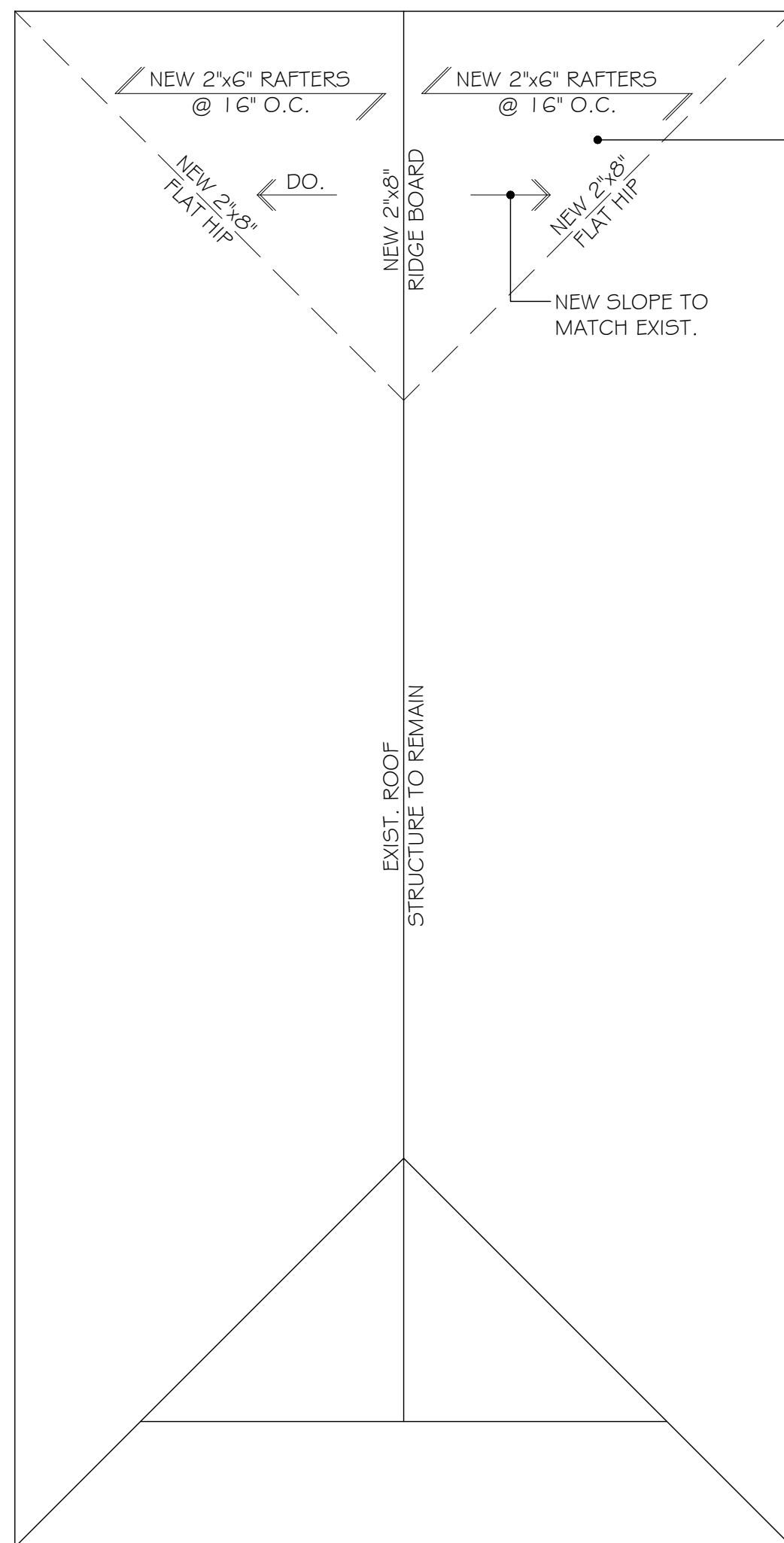
Owner:  
**Andrew Edwards**  
38 Sewell Drive  
Oakville, ON

Project: Prop. 2nd Unit, Int.  
Alt., Bsmt. Walkout  
& Porches  
23 Cline Ave. S.  
Hamilton, ON

Drawing Title:  
**Exist. First  
Floor Plan**

Drawn:	Date: 2020.10.18
Checked:	Scale: 1/4" = 1'-0"
File No:	Drawing No: <b>A1.02</b>
Project No:	





ASHPHALT SHINGLES ON 3/8" PLYWOOD SHEATHING ON RAFTERS @ 16" O.C. #2 SFR.

ROOF VENTILATION 1:300 OF THE INSULATED CEILING AREA UNIFORMLY DISTRIBUTED

ROOF PLAN  
SCALE: 1/4" = 1'-0"

☒ INTERCONNECTED SMOKE ALARMS

THE EXISTING HEATING OR AIR CONDITIONING SYSTEM MAY BE ALTERED TO SERVE MORE THAN ONE DWELLING UNIT PROVIDED SMOKE ALARMS ARE INSTALLED IN EACH DWELLING UNIT AND PROVIDED A SMOKE DETECTOR IS INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING WHICH WOULD TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER UPON ACTIVATION OF SUCH DETECTORS.

LEGEND:

- ▬ - EXIST. WALL
- - DEMOLISH EXIST.
- ▨ - WALL TYPE B: NEW PARTITION  
2"x4" STUDS @ 16" O.C. W/  
1/2" GYPSUM BOARD ON BOTH SIDES  
(WB)
- ▨ - 2"x4" STUDS @ 16" O.C. 89 mm THICK ABSORPTIVE MATERIAL STC MIN. 50 RESILIENT METAL CHANNELS ON ONE SIDE SPACED AT 600mm O.C. 2 LAYERS OF 1/2" TYPE "X" DRYWALL ON RESILIENT METAL CHANNELS 1 LAYER OF 1/2" TYPE "X" DRYWALL ON THE OTHER SIDE AS PER SB-3 TABLE 1  
(W4d)
- ▨ - SUBFLOOR OF 15.5mm PLYWOOD MIN. -FLOOR JST SPACING MAX. 610mm O.C. -6" ABSORPTIVE MATERIAL IN CAVITY MIN. 50 STC RATING  
(F8d)  
-RESILIENT METAL CHANNELS SPACED 610mm O.C.  
-1 LAYERS OF 15.9mm TYPE "X" GWB.
- ⊙ - DOOR TYPE A: 45mm THICK SOLID DOOR CONFORMING TO CAN/ULC.-S113. 32" WIDE FIRE RATED DOOR 20 MIN FIRE PROTECTION RATING AS PER TABLE 9.10.13.1 CW SELF CLOSING AND LATCHING DEVICE AND SHALL BE INSTALLED IN CONFORMANCE WITH NFPA 80  
(DA)

MECHANICAL NOTES

- ⊙ MECHANICAL EXHAUST VENT
- ⊙ SMOKE ALARM
- ⊙ CARBON MONOXIDE ALARM

No.	Date	Revision	Int.

Consultant:

Owner:

Andrew Edwards  
38 Sewell Drive  
Oakville, ON

Project: Prop. 2nd Unit, Int.  
Alt., Bsmt. Walkout  
& Porches  
23 Cline Ave. S.  
Hamilton, ON

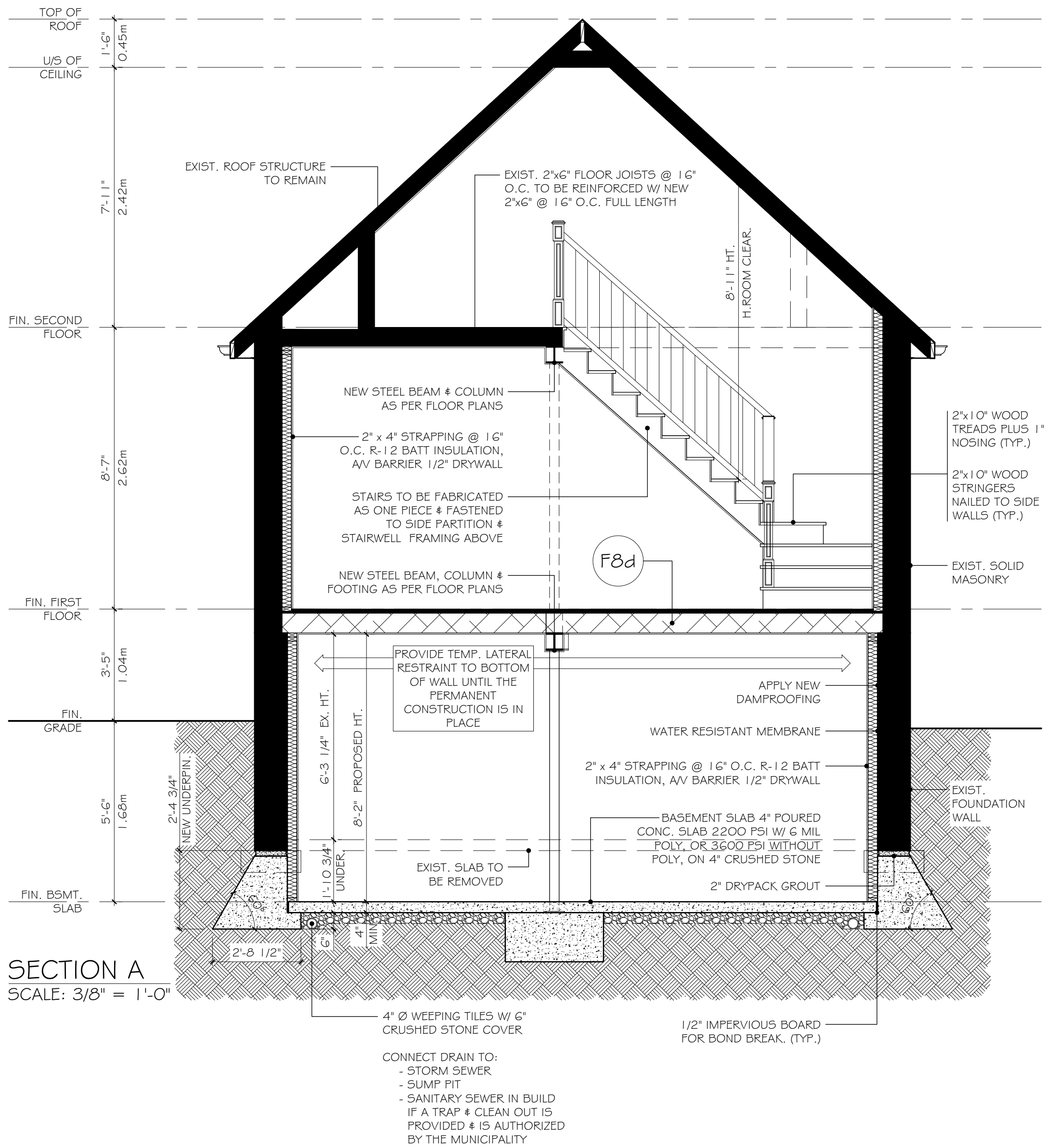
Drawing Title:  
**Second Floor  
Plan**

Drawn: \_\_\_\_\_ Date: 2020.10.18

Checked: \_\_\_\_\_ Scale: 1/4" = 1'-0"




File No: \_\_\_\_\_ Drawing No:

Project No: **A1.07**



SECTION A  
SCALE: 3/8" = 1'-0"

MECHANICAL NOTES

-  MECHANICAL EXHAUST VENT
-  SMOKE ALARM
-  CARBON MONOXIDE ALARM

No.	Date	Revision	Int.

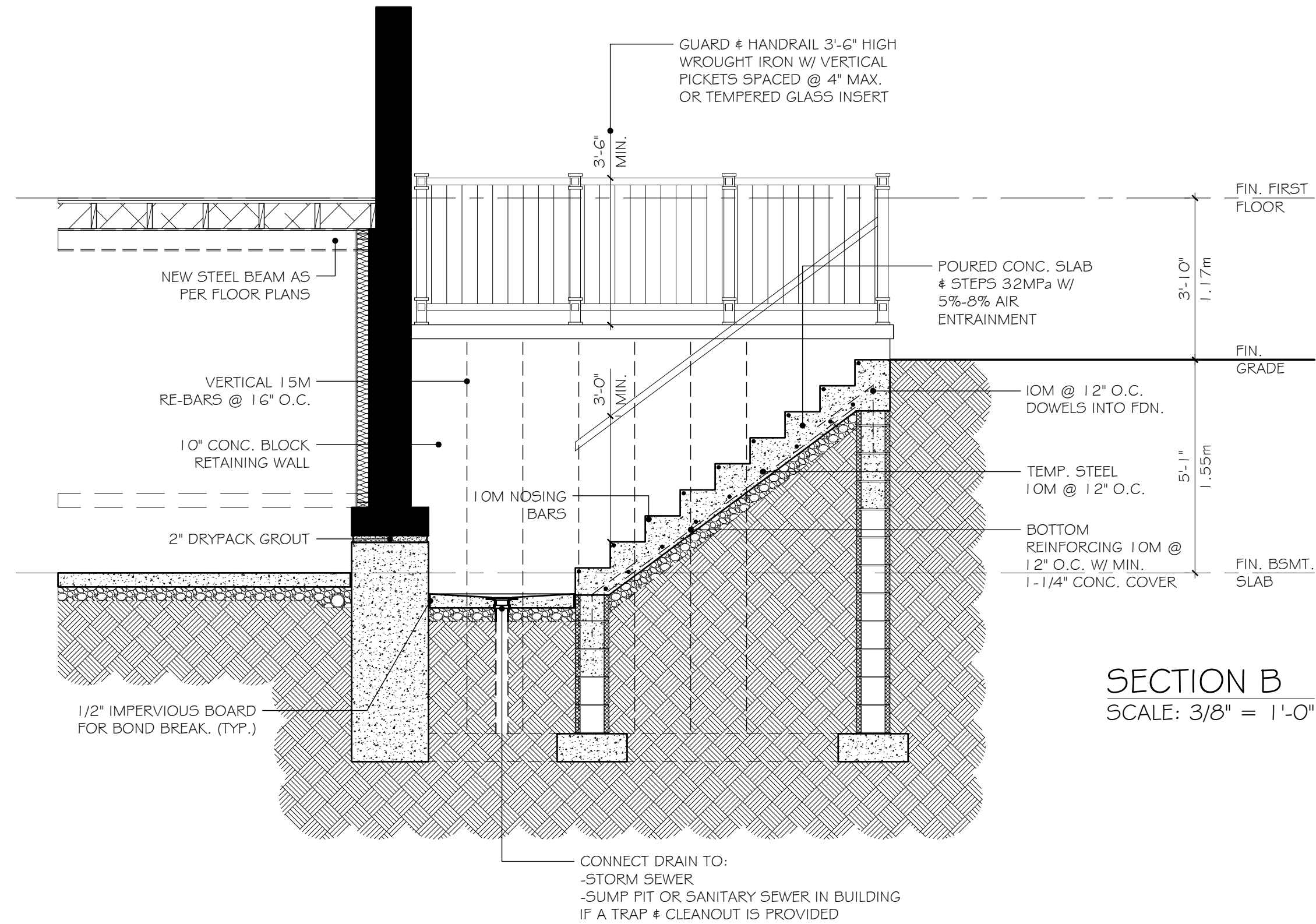
Consultant:

Owner:  
 Andrew Edwards  
 38 Sewell Drive  
 Oakville, ON

Project: Prop. 2nd Unit, Int. Alt., Bsmt. Walkout & Porches  
 23 Cline Ave. S.  
 Hamilton, ON




Drawing Title:  
 Section A

Drawn:	Date: 2020.10.18
Checked:	Scale: 3/8" = 1'-0"
File No:	Drawing No: A4.01
Project No:	



**SECTION B**  
SCALE: 3/8" = 1'-0"

**MECHANICAL NOTES**

-  MECHANICAL EXHAUST VENT
-  SMOKE ALARM
-  CARBON MONOXIDE ALARM

No.	Date	Revision	Int.

Consultant:

Owner:  
**Andrew Edwards**  
38 Sewell Drive  
Oakville, ON

Project: Prop. 2nd Unit, Int. Alt., Bsmt. Walkout & Porches  
23 Cline Ave. S.  
Hamilton, ON

Drawing Title:  
**Section B**

Drawn:	Date: 2020.10.18
Checked:	Scale: 3/8" = 1'-0"
File No:	Drawing No:
Project No:	<b>A4.02</b>



**Committee of Adjustment**

City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**APPLICATION FOR A MINOR VARIANCE**

**FOR OFFICE USE ONLY.**

APPLICATION NO. \_\_\_\_\_ DATE APPLICATION RECEIVED \_\_\_\_\_

PAID \_\_\_\_\_ DATE APPLICATION DEEMED COMPLETE \_\_\_\_\_

SECRETARY'S SIGNATURE \_\_\_\_\_

**The Planning Act**

**Application for Minor Variance or for Permission**

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS	
Registered Owners(s)	Andrew Edwards Thomas Edwards Ralph Edwards	[REDACTED]	Phone: [REDACTED]
			E-mail: [REDACTED]
Applicant(s)*	Andrew Edwards		Phone:
			E-mail:
Agent or Solicitor			Phone:
			E-mail:

**Note:** Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:  
Scotia Bank-1037 The Queensway, Etobicoke, ON M8Z 6C7



**Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled**

4. Nature and extent of relief applied for:

To allow for two parking spaces back to back. Allow for multi family dwelling.

5. Why it is not possible to comply with the provisions of the By-law?

Distance between house and property line are not wide enough. Parking lot sizes are larger then what was constructed originally.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

23 cline ave south, L8S1W8  
Lot 245

7. PREVIOUS USE OF PROPERTY

Residential  Industrial  Commercial   
Agricultural  Vacant

Other \_\_\_\_\_

8.1 If Industrial or Commercial, specify use \_\_\_\_\_

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes  No  Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes  No  Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes  No  Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes  No  Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes  No  Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes  No  Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes  No  Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes  No  Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?  
Yes  No  Unknown

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?  
Age of building materials and work to be completed.

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes  No

**9. ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application

Jan 18 2021  
Date

[Redacted Signature]

Signature Property Owner

Andrew Edwards *Thomas Edwards / Ralph Edwards*  
Print Name of Owner

10. Dimensions of lands affected:  
Frontage 30 feet  
Depth 100 feet  
Area 3000  
Width of street 24 feet 4 inches

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:  
ground floor area 680sqft gross floor area 1680sqft, 1.5 stores, 20.03' wide, 34.01' length, 21.5' tall.  
Total rear lot 1640 sqft. deck 240 sqft. driveway 225sqft.

Proposed  
Unchanged: ground floor area 680sqft gross floor area 1680sqft, 1.5 stores, 20.03' wide, 34.01' length, 21.5' tall.  
Total rear lot 1640. prop deck 27 sqft. prop walk out 56sqft

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:  
*Front 11.25 Feet North side 1.14 Feet*  
*South side 8.82 feet Rear 54.67 feet*

Proposed:  
*No change*

13. Date of acquisition of subject lands:  
May20, 2018
- 
14. Date of construction of all buildings and structures on subject lands:  
TBD-ASAP
- 
15. Existing uses of the subject property:  
 student housing
16. Existing uses of abutting properties:  
 residential-family
17. Length of time the existing uses of the subject property have continued:  
 unknown
18. Municipal services available: (check the appropriate space or spaces)  
 Water yes Connected yes  
 Sanitary Sewer yes Connected yes  
 Storm Sewers \_\_\_\_\_
19. Present Official Plan/Secondary Plan provisions applying to the land:  
 Duplex.
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:  
 second space is required by the Zoning by-law under the Conversion requirements of section 18A and 19 of the by-law.  
 a minimum parking space of 2.7 m (9 foot) wide. We do not have that clearance.
21. Has the owner previously applied for relief in respect of the subject property?  
 Yes  No   
 If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?  
 Yes  No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.