



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-21:97

APPLICANTS: DeFilippis Design on behalf of the owner K. Gardner

SUBJECT PROPERTY: Municipal address **15 Wexford Ave. N., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended 87-173

ZONING: "D" (Urban Protected Residential - One and Two Family Dwellings) district

PROPOSAL: To permit the conversion of the existing single family dwelling to a two family dwelling, notwithstanding that:

1. A minimum lot area of 253.25 square metres shall be provided, instead of the minimum lot area of 270.0 square metres;
2. The two (2) required parking spaces and the manoeuvring spaces for both of the required parking spaces may be provided off-site instead of the requirement that required parking and manoeuvring spaces shall be provided and maintained only on the lot on which the principle use, building or structure is located;
3. No parking spaces shall be provided instead of the minimum required two (2) parking spaces.
4. No onsite manoeuvring shall be provided for the two (2) required parking spaces instead of the requirement that a manoeuvring space shall be provided and maintained abutting and accessory to each required parking space on the lot and whereas the Zoning By-law only permits off-site manoeuvring for only one parking space;
5. No access driveway shall be provided on site, instead of the requirement that every parking area for a use where there are five or less parking spaces shall have not less than one access driveway having a width of at least 2.8 metres.
6. A roofed-over unenclosed one-storey porch, including eaves and gutter, shall be permitted to project 1.10 metres into the required northerly side yard, instead of the requirement that a roofed-over unenclosed one-storey porch is not permitted to project into a required side yard.
7. A roofed-over unenclosed one-storey porch, including eaves and gutter, shall be permitted to project 4.61 metres into the required front yard, instead of the maximum 3.0 metre projection.
8. An open stairway shall be permitted to project 0.54 metres into the required southerly side yard, instead of the maximum 0.4 metre projection, and shall be permitted to project

4.61 metres into the required front yard, instead of the requirement that an open stairway is not permitted to project into a required front yard.

NOTE:

1. A building permit is required for the conversion of the existing single family dwelling into a two family dwelling. Be advised that Ontario Building Code regulations may require specific setback and construction types.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 22nd, 2021
TIME: 2:05 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

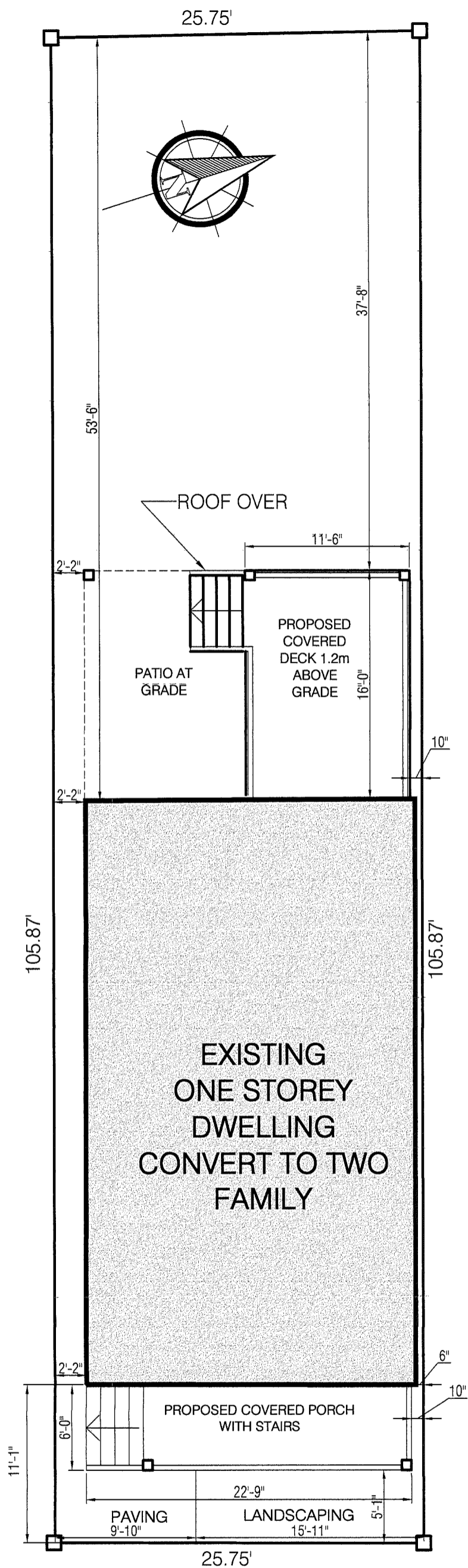
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: April 6th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



SITE STATISTIC

LOT AREA 2,726 sqf (253.25m²)
 EXISTING HOUSE ±943 sqf (87.61m²)

SITE STATISTIC

LOT AREA 2,726 sqf (253.25m²)
 EXISTING HOUSE ±943 sqf (87.61m²)
 FRONT COVERED PORCH W/STAIRS 137 sqf (12.73m²)
 REAR COVERED DECK W/STAIRS 206 sqf (19.38m²)
 TOTAL COVERAGE: ±1,286 sqf (119.72m²)

APT. #1 FIRST FLOOR ±943 sqf (87.61m²)
 APT. #2 LOWER LEVEL ±943 sqf (87.61m²)


FRONT YARD AREA 132 sqf (12.26m²)
 LANDSCAPING AREA 82 sqf (7.62m²) 62.12%
 ASPHALT AREA 50 sqf (4.64m²) 37.88%

EXISTING
 ONE STOREY
 DWELLING
 CONVERT TO TWO
 FAMILY

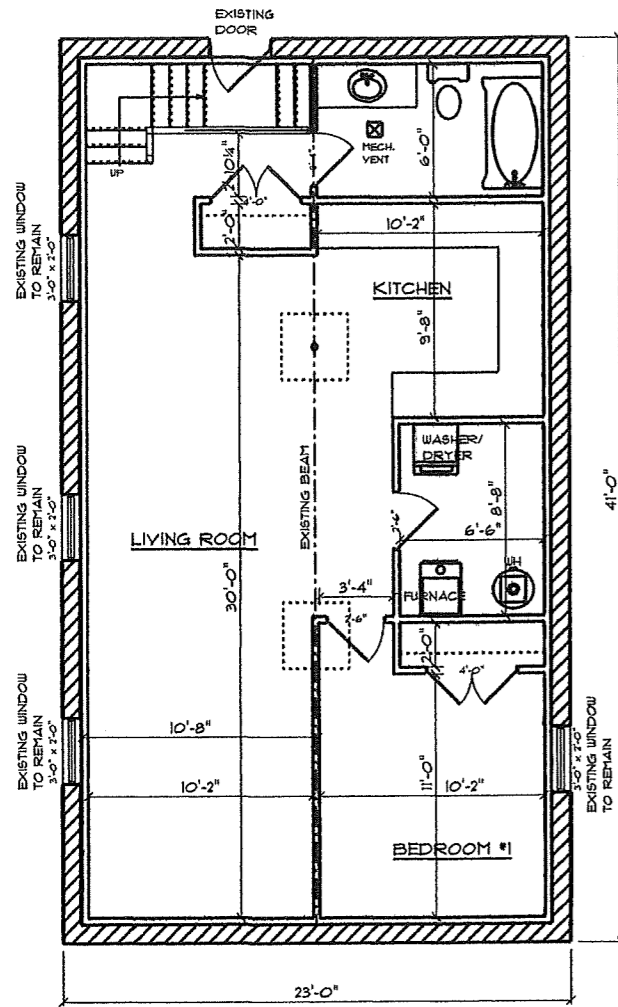
SIDEWALK

WEXFORD AVE N

- NOTES:
1. OWNER/CONTRACTOR TO VERIFY AND CHECK ALL DIMENSIONS AND SPECS PRIOR TO AND DURING CONSTRUCTION.
 2. ANY DEVIATIONS, DEFICIENCIES OR DISCREPANCIES FROM THESE DRAWINGS AND SPECS REQUIRES WRITTEN CLARIFICATION AND/OR APPROVAL FROM THE DESIGNER PRIOR TO CONSTRUCTION.

4		 DeFILIPPIS DESIGN 687 BARTON ST., SUITE 201 STONEY CREEK, ONTARIO L8E 5L6 (905) 643-2250 FAX (905) 643-1095 email: defilippisdesign@bellnet.ca
3		
2		
1		
REV.		
JOB NO.		SITE PLAN FOR:
CHKD. BY		KAILA GARDENER 15 WEXFORD AVE N HAMILTON, ONTARIO
DRN. BY		
DATE: FEBRUARY, 2021		
SCALE: 1/8"=1'-0"		SITE PLAN
DWG NO. SP-1		

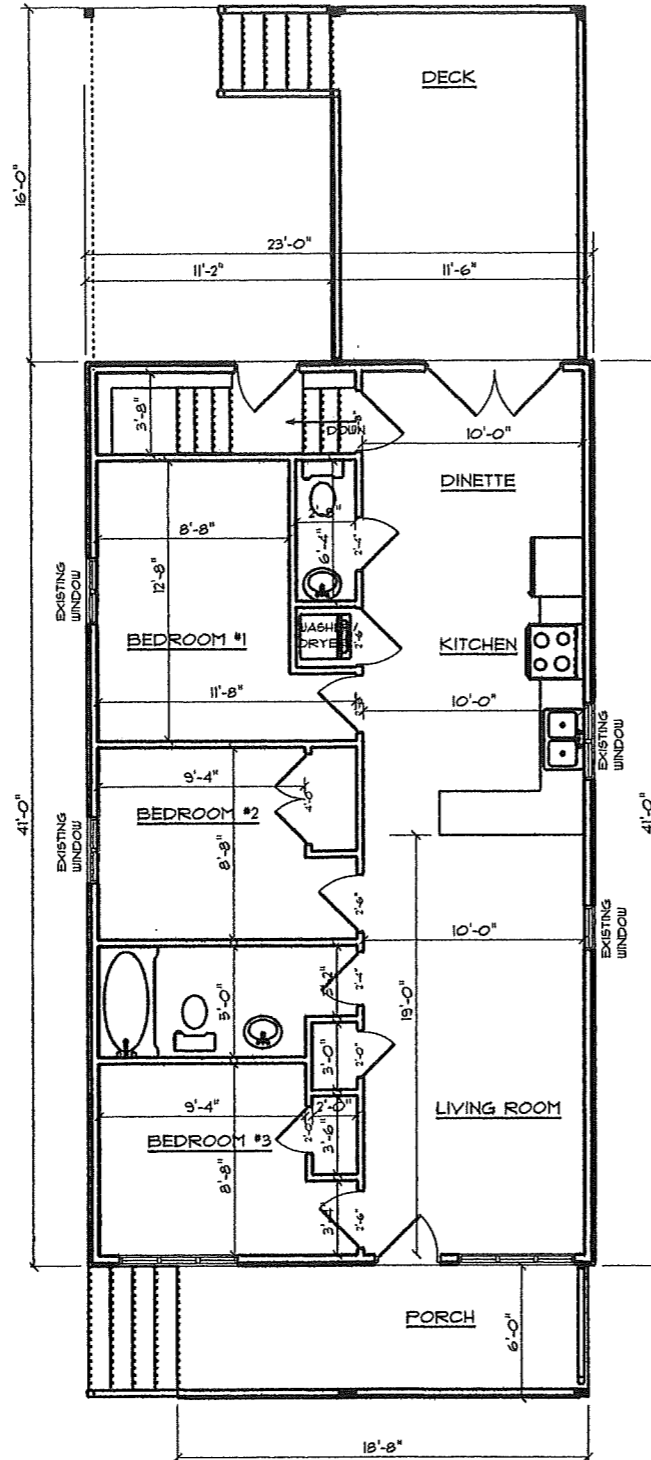
These drawings are the property of DeFILIPPIS DESIGN and are not to be copied, reproduced or used without the express written consent of the designer.



BASEMENT LAYOUT

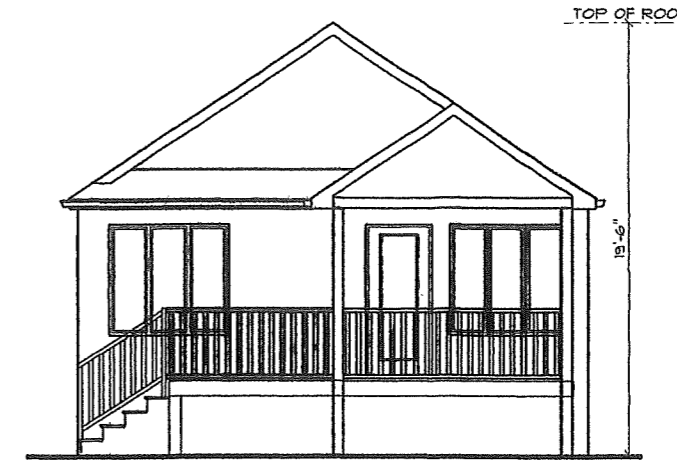
AREA : 943 sq ft

CEILING HEIGHT 7'-4"
HEIGHT TO BEAM 6'-10"

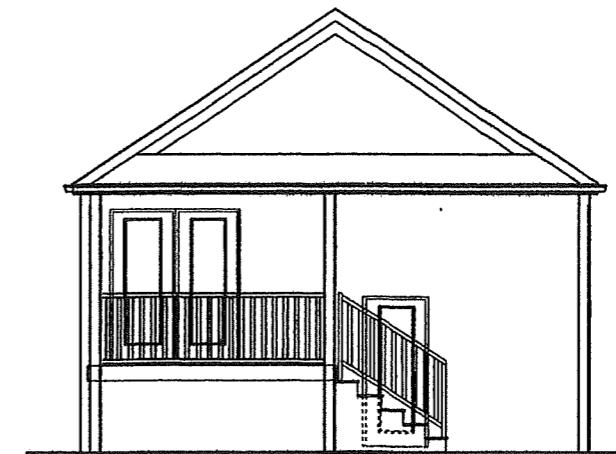


FIRST FLOOR PLAN

AREA : 943 sq ft



FRONT ELEVATION




REAR ELEVATION

DO NOT SCALE DRAWINGS

NOTE:

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 DeFILIPPIS DESIGN 687 BARTON ST. E., SUITE 201 STONEY CREEK, ONTARIO L8E 5L6 (905) 643-2250 FAX (905) 643-1095		
KAILA GARDENER		
SCALE: 1/4"=1'-0"	APPROVED BY:	DRAWN BY:
DATE: FEB. 21'	15 WEXFORD AVE NORTH HAMILTON	REVISED:
5H OF		



Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS	
Registered Owners(s)	KAILA GARDNER	[REDACTED]	Phone: [REDACTED] E-mail: [REDACTED]
Applicant(s)*	DEFLIPPUS DESIGNER	[REDACTED]	Phone: [REDACTED] E-mail: [REDACTED]
Agent or Solicitor	SAME AS APPLICANT		Phone: [REDACTED] E-mail: [REDACTED]

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

N/A

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

See Attached Sheet

5. Why it is not possible to comply with the provisions of the By-law?

LOCATION OF DWELLING ON PROPERTY IS EXISTING AND ALREADY NON-CONFORMING

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

15 WEXFORD AVENUE, HAMILTON.

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial
Agricultural Vacant

Other _____

8.1 If Industrial or Commercial, specify use NA

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?

SINGLE FAMILY USE IN EXCESS OF 60 years.

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

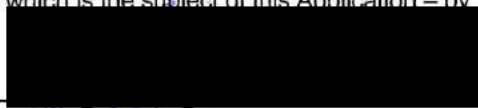
Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

FEB 15 / 2021

Date



Signature Property Owner

KARL GRADNER

Print Name of Owner

10. Dimensions of lands affected:

Frontage

25.75 ft (7.85m)

Depth

105.8 ft (32.3m)

Area

2726 sq ft 253 sq m

Width of street

66 ft (20m)

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

Proposed

See Site Plan

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Proposed:

See Site Plan

VARIANCES REQUESTED FOR 15 WEXFORD AVE. N., HAMILTON

1. Conversion to a two family dwelling.
2. Lot area of 253 sq.m. when 270 sq.m. is required.
3. Side yards to principal dwelling of north 0.15m and south 0.60m when 1.2m required, with eaves from property lines on both sides projecting 0.15m from building.
4. Front yard setback to principle dwelling of 3.3m when 6.0m is required.
5. Front yard setback to covered front porch of 1.5m and eaves projecting another 0.15m when 3.0m is required.
6. Sideyard setback for rear covered porch (1.2m above grade)of 0.23m(north side) with eaves at 0.10m from property line.
7. No parking spaces when two are required.

13. Date of acquisition of subject lands:
20 months
14. Date of construction of all buildings and structures on subject lands:
FALL 2020
15. Existing uses of the subject property:
SINGLE FAMILY
16. Existing uses of abutting properties:
SINGLE AND TWO FAMILY
17. Length of time the existing uses of the subject property have continued:
60 years +
18. Municipal services available: (check the appropriate space or spaces)
 Water ✓ Connected ✓
 Sanitary Sewer ✓ Connected ✓
 Storm Sewers ✓
19. Present Official Plan/Secondary Plan provisions applying to the land:
URBAN SETTLEMENT
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
D-ZONE RESIDENTIAL
21. Has the owner previously applied for relief in respect of the subject property?
 Yes No
 If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.