



Hamilton

## COMMITTEE OF ADJUSTMENT

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5  
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202  
E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

# NOTICE OF PUBLIC HEARING

## Application for Consent/Land Severance

APPLICATION NUMBER: HM/B-21:20

SUBJECT PROPERTY: 41 Beechwood Ave., Hamilton

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You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
- 

**APPLICANT(S):** Agent M. Johnston  
Owner Gateway Solutions

**PURPOSE OF APPLICATION:** To permit the conveyance of a parcel of land known as 41 Beechwood Ave. and to retain a parcel of land known as 43 Beechwood Ave. each containing 1/2 of an existing semi-detached dwelling (to remain). These properties inadvertently merged in title and the owner wishes to recreate the two original lots.

**Severed lands:**  
6.1m<sup>±</sup> x 3.1m<sup>±</sup> and an area of 190m<sup>2±</sup>

**Retained lands:**  
6.1m<sup>±</sup> x 30.1m<sup>±</sup> and an area of 183m<sup>2±</sup>

The Committee of Adjustment will hear this application on:

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**DATE:** Thursday, April 22<sup>nd</sup>, 2021  
**TIME:** 2:10 p.m.  
**PLACE:** Via video link or call in (see attached sheet for details)

To be streamed at  
[www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)  
for viewing purposes only

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### PUBLIC INPUT

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

## MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

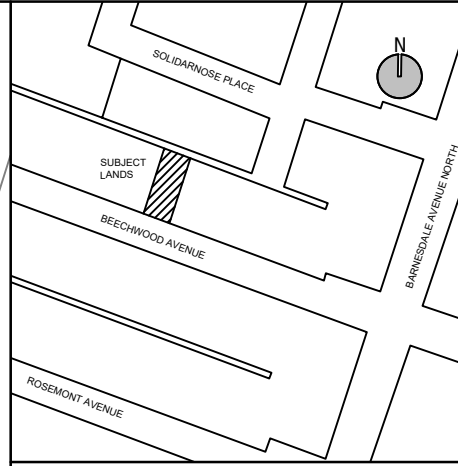
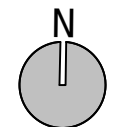
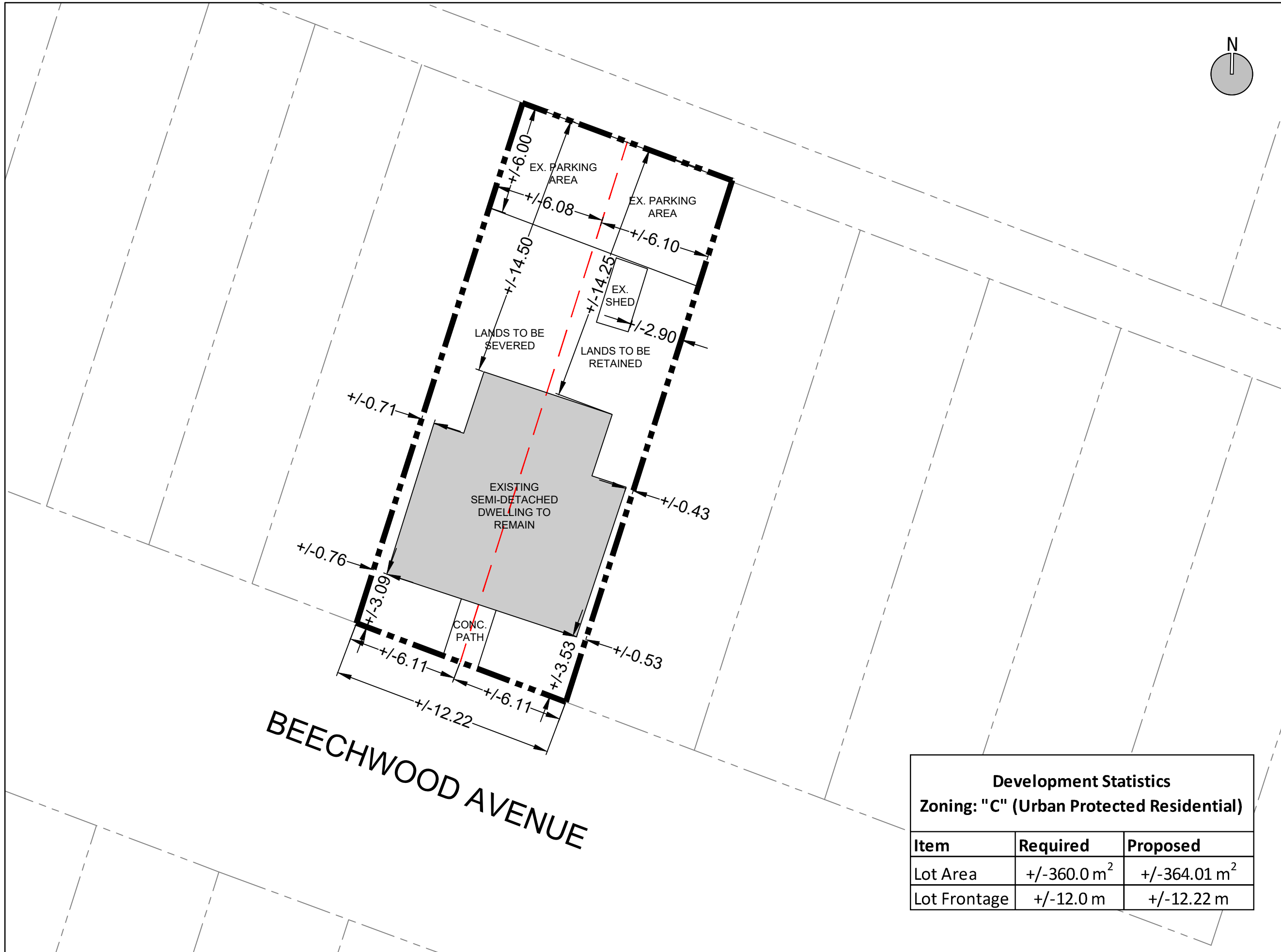
- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

DATED: April 6<sup>th</sup>, 2021

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

***Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.***



KEY MAP - N.T.S.

SCALE: 1:200  
METRES

LEGEND:

- SUBJECT LANDS
- PROPERTY BOUNDARIES
- PROP. SEVERANCE LINE

**NOT FOR CONSTRUCTION**  
ISSUED FOR REVIEW & COMMENTS ONLY

NOTES:  
ALL DIMENSIONS SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

DESIGN BY: L. DRENNAN	CHECKED BY: M. JOHNSTON
DRAWN BY: L. DRENNAN	DATE: MARCH 3, 2021



3 STUDEBAKER PLACE, UNIT 1  
HAMILTON, ON L8L 0C8  
905-546-1087 - urbansolutions.info

PROJECT:  
**41 & 43 BEECHWOOD AVENUE**  
CITY OF HAMILTON

CLIENT:  
GATEWAY SOLUTIONS GROUP INC.

TITLE:  
CONSENT TO SEVER SKETCH

U/S FILE NUMBER: 338-19	SHEET NUMBER: 1
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<b>Development Statistics</b>		
<b>Zoning: "C" (Urban Protected Residential)</b>		
Item	Required	Proposed
Lot Area	+/-360.0 m <sup>2</sup>	+/-364.01 m <sup>2</sup>
Lot Frontage	+/-12.0 m	+/-12.22 m

**APPLICATION FOR CONSENT TO SEVER LAND**  
 UNDER SECTION 53 OF THE *PLANNING ACT*

**Office Use Only**

Date Application Received:	Date Application Deemed Complete:	Submission No.:	File No.:
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**1 APPLICANT INFORMATION**

1.1, 1.2	NAME	ADDRESS
<b>Registered Owners(s)</b>	Gateway Solutions Group Inc. c/o Charles Wah	
<b>Applicant(s)*</b>	Same as owner	
<b>Agent or Solicitor</b>	UrbanSolutions Planning & Land Development Consultants Inc. c/o Matt Johnston	

\* Owner's authorisation required if the applicant is not the owner.

1.3 All correspondence should be sent to  Owner  Applicant  Agent/Solicitor

**2 LOCATION OF SUBJECT LAND** Complete the applicable lines

2.1 Area Municipality Hamilton	Lot	Concession	Former Township
Registered Plan N° 375	Lot(s) Part of 25 & 26	Reference Plan N°	Part(s)
Municipal Address 41 & 43 Beechwood Avenue			Assessment Roll N°

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes  No

If YES, describe the easement or covenant and its effect:

N/A

**3 PURPOSE OF THE APPLICATION**

3.1 Type and purpose of proposed transaction: (check appropriate box)

a) Urban Area Transfer (do not complete Section 10):

creation of a new lot

Other:  a charge

- addition to a lot  
 an easement  
 a lease  
 a correction of title

**b) Rural Area / Rural Settlement Area Transfer (Section 10 must be completed):**

- creation of a new lot  
 creation of a new non-farm parcel  
 (i.e. a lot containing a surplus farm dwelling resulting from a farm consolidation)  
 addition to a lot  
 Other:  a charge  
 a lease  
 a correction of title  
 an easement

3.2 Name of person(s), if known, to whom land or interest in land is to be transferred, leased or charged: Unknown

3.3 If a lot addition, identify the lands to which the parcel will be added: N/A

**4 DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION**

4.1 Description of land intended to be **Severed**: 41 Beechwood Avenue

Frontage (m)	Depth (m)	Area (m <sup>2</sup> or ha)
6.11 m	30.10 m	189.99 m <sup>2</sup>

Existing Use of Property to be severed:

- Residential  
 Agriculture (includes a farm dwelling)  
 Other (specify) \_\_\_\_\_  
 Industrial  
 Agricultural-Related  
 Commercial  
 Vacant

Proposed Use of Property to be severed:

- Residential  
 Agriculture (includes a farm dwelling)  
 Other (specify) \_\_\_\_\_  
 Industrial  
 Agricultural-Related  
 Commercial  
 Vacant

Building(s) or Structure(s):

Existing: Semi-Detached dwelling.

Proposed: Semi-Detached dwelling proposed to remain.

Type of access: (check appropriate box)

- provincial highway  
 municipal road, seasonally maintained  
 municipal road, maintained all year  
 right of way  
 other public road

Type of water supply proposed: (check appropriate box)

- publicly owned and operated piped water system  
 privately owned and operated individual well  
 lake or other water body  
 other means (specify) \_\_\_\_\_

Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage system  
 privately owned and operated individual septic system  
 other means (specify) \_\_\_\_\_

4.2 Description of land intended to be **Retained**: 43 Beechwood Avenue

Frontage (m)	Depth (m)	Area (m <sup>2</sup> or ha)
6.11 m	30.10 m	182.99 m <sup>2</sup>

Existing Use of Property to be retained:

- Residential  
 Agriculture (includes a farm dwelling)  
 Other (specify) \_\_\_\_\_  
 Industrial  
 Agricultural-Related  
 Commercial  
 Vacant

Proposed Use of Property to be retained:

- Residential
  Industrial
  Commercial  
 Agriculture (Includes a farm dwelling)
  Agricultural-Related
  Vacant  
 Other (specify) \_\_\_\_\_

Building(s) or Structure(s):

Existing: Semi-Detached dwelling.

Proposed: Semi-Detached dwelling to remain.

Type of access: (check appropriate box)

- provincial highway
  right of way  
 municipal road, seasonally maintained
  other public road  
 municipal road, maintained all year

Type of water supply proposed: (check appropriate box)

- publicly owned and operated piped water system
  lake or other water body  
 privately owned and operated individual well
  other means (specify) \_\_\_\_\_

Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage system  
 privately owned and operated individual septic system  
 other means (specify) \_\_\_\_\_

4.3 Other Services: (check if the service is available) N/A

- electricity
  telephone
  school bussing
  garbage collection

## 5 CURRENT LAND USE

5.1 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): N/A

Urban Hamilton Official Plan designation (if applicable): Neighbourhoods

Please provide an explanation of how the application conforms with a City of Hamilton Official Plan.

Residential dwellings is permitted in the Neighbourhoods designation. Please refer to cover letter for additional information.

5.2 What is the existing zoning of the subject land?

If the subject land is covered by a Minister's zoning order, what is the Ontario Regulation Number? "C" (Urban Protected Residential, Etc.) in the Former City of Hamilton Zonign By-law No. 6593.

5.3 Are any of the following uses or features on the subject land or within 500 metres of the subject land, unless otherwise specified. Please check the appropriate boxes, if any apply.

Use or Feature	On the Subject Land	Within 500 Metres of Subject Land, unless otherwise specified (Indicate approximate distance)
An agricultural operation, including livestock facility or stockyard	<input type="checkbox"/>	N/A
A land fill	<input type="checkbox"/>	N/A
A sewage treatment plant or waste stabilization plant	<input type="checkbox"/>	N/A
A provincially significant wetland	<input type="checkbox"/>	N/A

A provincially significant wetland within 120 metres	<input type="checkbox"/>	N/A
A flood plain	<input type="checkbox"/>	N/A
An industrial or commercial use, and specify the use(s)	<input type="checkbox"/>	N/A
An active railway line	<input type="checkbox"/>	N/A
A municipal or federal airport	<input type="checkbox"/>	N/A

**6 PREVIOUS USE OF PROPERTY**

- Residential       Industrial       Commercial  
 Agriculture       Vacant       Other (specify)

- 6.1 If Industrial or Commercial, specify use \_\_\_\_\_
- 6.2 Has the grading of the subject land been changed by adding earth or other material, i.e., has filling occurred?  
 Yes       No  Unknown
- 6.3 Has a gas station been located on the subject land or adjacent lands at any time?  
 Yes       No  Unknown
- 6.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?  
 Yes       No  Unknown
- 6.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?  
 Yes       No  Unknown
- 6.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or biosolids was applied to the lands?  
 Yes       No  Unknown
- 6.7 Have the lands or adjacent lands ever been used as a weapons firing range?  
 Yes       No  Unknown
- 6.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?  
 Yes       No  Unknown
- 6.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (e.g., asbestos, PCB's)?  
 Yes       No  Unknown
- 6.10 Is there reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?  
 Yes       No  Unknown
- 6.11 What information did you use to determine the answers to 6.1 to 6.10 above?  
Consultation with owner.
- 
- 6.12 If previous use of property is Industrial or commercial or if YES to any of 6.2 to 6.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed. N/A  
 Is the previous use inventory attached?  
 Yes       No

**7 PROVINCIAL POLICY**

- 7.1 a) Is this application consistent with the Policy Statements issued under subsection of the *Planning Act*? (Provide explanation)  
 Yes       No

b) Is this application consistent with the Provincial Policy Statement (PPS)?  
 Yes  No (Provide explanation)

Please refer to cover letter.

c) Does this application conform to the Growth Plan for the Greater Golden Horseshoe?  
 Yes  No (Provide explanation)

The Severance is a result of an accidental merge in title and is intended to restore the previously existing lot lines. Please refer to cover letter for additional information.

d) Are the subject lands within an area of land designated under any provincial plan or plans? (If YES, provide explanation on whether the application conforms or does not conflict with the provincial plan or plans.)  
 Yes  No

N/A

e) Are the subject lands subject to the Niagara Escarpment Plan?  
 Yes  No

If yes, is the proposal in conformity with the Niagara Escarpment Plan?

Yes  No  
(Provide Explanation)

N/A

f) Are the subject lands subject to the Parkway Belt West Plan?  
 Yes  No

If yes, is the proposal in conformity with the Parkway Belt West Plan?  
 Yes  No (Provide Explanation)

N/A

g) Are the subject lands subject to the Greenbelt Plan?  
 Yes  No

If yes, does this application conform with the Greenbelt Plan?  
 Yes  No (Provide Explanation)

N/A

## 8 HISTORY OF THE SUBJECT LAND

8.1 Has the subject land ever been the subject of an application for approval of a plan of subdivision or a consent under sections 51 or 53 of the *Planning Act*?  
 Yes  No  Unknown

If YES, and known, indicate the appropriate application file number and the decision made on the application.

N/A

8.2 If this application is a re-submission of a previous consent application, describe how it has been changed from the original application.

N/A

8.3 Has any land been severed or subdivided from the parcel originally acquired by the owner of the subject land?  Yes  No

If YES, and if known, provide for each parcel severed, the date of transfer, the name of



the transferee and the land use.

Subject lands were previously severed and accidently merged on title in July 2017.

8.4 How long has the applicant owned the subject land?

March 1, 2021

8.5 Does the applicant own any other land in the City?  Yes  No

If YES, describe the lands in "11 - Other Information" or attach a separate page.

Unknown

9 OTHER APPLICATIONS

9.1 Is the subject land currently the subject of a proposed official plan amendment that has been submitted for approval?  Yes  No  Unknown

If YES, and if known, specify file number and status of the application.

N/A

9.2 Is the subject land the subject of any other application for a Minister's zoning order, zoning by-law amendment, minor variance, consent or approval of a plan of subdivision?  Yes  No  Unknown

If YES, and if known, specify file number and status of the application(s).

File number N/A Status N/A

10 RURAL APPLICATIONS

10.1 Rural Hamilton Official Plan Designation(s)

- Agricultural  Rural  Specialty Crop
- Mineral Aggregate Resource Extraction  Open Space  Utilities
- Rural Settlement Area (specify) \_\_\_\_\_

Settlement Area Designation

If proposal is for the creation of a non-farm parcel resulting from a farm consolidation, indicate the existing land use designation of the abutting or non-abutting farm operation.

10.2 Type of Application (select type and complete appropriate sections)

- Agricultural Severance or Lot Addition
  - Agricultural Related Severance or Lot Addition
  - Rural Resource-based Commercial Severance or Lot Addition
  - Rural Institutional Severance or Lot Addition
  - Rural Settlement Area Severance or Lot Addition
- (Complete Section 10.3)
- Surplus Farm Dwelling Severance from an Abutting Farm Consolidation (Complete Section 10.4)
  - Surplus Farm Dwelling Severance from a Non-Abutting Farm Consolidation (Complete Section 10.5)

10.3 Description of Lands

a) Lands to be Severed:

Frontage (m): (from Section 4.1)	Area (m <sup>2</sup> or ha): (from in Section 4.1)
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Existing Land Use: \_\_\_\_\_ Proposed Land Use: \_\_\_\_\_

**b) Lands to be Retained:**

Frontage (m): (from Section 4.2)	Area (m <sup>2</sup> or ha): (from Section 4.2)
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Existing Land Use: \_\_\_\_\_ Proposed Land Use: \_\_\_\_\_

**10.4 Description of Lands (Abutting Farm Consolidation)**

**a) Location of abutting farm:**

\_\_\_\_\_  
(Street) (Municipality) (Postal Code)

**b) Description abutting farm:**

Frontage (m):	Area (m <sup>2</sup> or ha):
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Existing Land Use(s): \_\_\_\_\_ Proposed Land Use(s): \_\_\_\_\_

**c) Description of consolidated farm (excluding lands intended to be severed for the surplus dwelling):**

Frontage (m):	Area (m <sup>2</sup> or ha):
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Existing Land Use: \_\_\_\_\_ Proposed Land Use: \_\_\_\_\_

**d) Description of surplus dwelling lands proposed to be severed:**

Frontage (m): (from Section 4.1)	Area (m <sup>2</sup> or ha): (from Section 4.1)
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Front yard set back: \_\_\_\_\_

**e) Surplus farm dwelling date of construction:**

- Prior to December 16, 2004       After December 16, 2004

**f) Condition of surplus farm dwelling:**

- Habitable       Non-Habitable

**g) Description of farm from which the surplus dwelling is intended to be severed (retained parcel):**

Frontage (m): (from Section 4.2)	Area (m <sup>2</sup> or ha): (from Section 4.2)
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Existing Land Use: \_\_\_\_\_ Proposed Land Use: \_\_\_\_\_

**10.5 Description of Lands (Non-Abutting Farm Consolidation)**

**a) Location of non-abutting farm**

\_\_\_\_\_  
(Street) (Municipality) (Postal Code)

**b) Description of non-abutting farm**

Frontage (m):	Area (m <sup>2</sup> or ha):
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Existing Land Use(s): \_\_\_\_\_ Proposed Land Use(s): \_\_\_\_\_

**c) Description of surplus dwelling lands intended to be severed:**

Frontage (m): (from Section 4.1)	Area (m <sup>2</sup> or ha): (from Section 4.1)
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Front yard set back: \_\_\_\_\_

**d) Surplus farm dwelling date of construction:**

- Prior to December 16, 2004       After December 16, 2004

**e) Condition of surplus farm dwelling:**

Habitable  Non-Habitable

f) Description of farm from which the surplus dwelling is intended to be severed (retained parcel):

Frontage (m): (from Section 4.2)	Area (m <sup>2</sup> or ha): (from Section 4.2)
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Existing Land Use: \_\_\_\_\_ Proposed Land Use: \_\_\_\_\_

### 11 OTHER INFORMATION

Is there any other information that you think may be useful to the Committee of Adjustment or other agencies in reviewing this application? If so, explain below or attach on a separate page.

[Please refer to cover letter for additional details](#)

### 12 SKETCH (Use the attached Sketch Sheet as a guide)

12.1 The application shall be accompanied by a sketch showing the following in metric units:

- (a) the boundaries and dimensions of any land abutting the subject land that is owned by the owner of the subject land;
- (b) the approximate distance between the subject land and the nearest township lot line or landmark such as a bridge or railway crossing;
- (c) the boundaries and dimensions of the subject land, the part that is intended to be severed and the part that is intended to be retained;
- (d) the location of all land previously severed from the parcel originally acquired by the current owner of the subject land;
- (e) the approximate location of all natural and artificial features (for example, buildings, barns, railways, roads, watercourses, drainage ditches, banks of rivers or streams, wetlands, wooded areas, wells and septic tanks) that,
  - i) are located on the subject land and on land that is adjacent to it, and
  - ii) in the applicant's opinion, may affect the application;
- (f) the current uses of land that is adjacent to the subject land (for example, residential, agricultural or commercial);
- (g) the location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way;
- (h) the location and nature of any easement affecting the subject land.

### 13 ACKNOWLEDGEMENT CLAUSE

I acknowledge that The City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

March 9, 2021

Date

Per: Charles Wely

Signature of Owner

March 11, 2021

338-19

**Via Email & Delivered**

Jamila Sheffield  
Secretary Treasurer, Committee of Adjustment

City of Hamilton  
71 Main Street West, 5<sup>th</sup> Floor  
Hamilton, ON L8P 4Y5

Dear Ms. Sheffield:

**RE: 41 & 43 Beechwood Avenue, City of Hamilton  
Consent to Sever Application**

UrbanSolutions Planning & Land Development Consultants Inc. (UrbanSolutions) is the authorized planning consultants acting on behalf of Gateway Solutions Group Inc., the registered owner of the lands municipally known as 41 and 43 Beechwood Avenue, in the City of Hamilton (subject lands). On behalf of the owner, UrbanSolutions has prepared the enclosed Consent to Sever to the City of Hamilton.

The subject lands were two separate parcels of land before they came under identical ownership and merged on title. The subject lands unintentionally merged on title in July 2017 such that the ownership became the same for both 41 and 43 Beechwood Avenue. The purpose of the Consent to Sever application is to separate the subject lands in to two (2) separate parcels and restore the original lot line.

The subject lands are designated Neighbourhoods in the Urban Hamilton Official Plan (UHOP) and are located in the (Urban Protected Residential Etc.) "C" District of the former City of Hamilton Zoning By-law No. 6593. The existing semi-detached dwelling is a legally established, non-conforming use in the "C" District. The two parcels have a combined frontage of approximately 12.22 metres (6.11 metres per parcel) and has a depth of 30.10 metres. The total lot area for both parcels is approximately 365.98 square metres (189.99 square metres per parcel). The subject lands contains a semi-detached dwelling which are proposed to remain. There are no new dwelling units proposed, therefore the proposed consent is not considered to be residential intensification. The proposed parcels reflect the general scale and character of the established development pattern and are fully serviced.

The Consent to Sever application is in keeping with Section 53(1) of the *Planning Act*, R.S.O, 1990, as amended, as a plan of subdivision is not necessary for the proper and orderly development of the subject lands. The subject lands have access to full municipal services and can be considered a reasonable subdivision of land without being subject to the provisions of a full Draft Plan of Subdivision. There is no proposed development on the subject lands and the intent is to restore the original lot line.

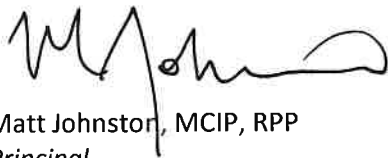
In support of this application, please find enclosed the following:

- One (1) copy of a completed Consent to Sever application form;
- One (1) copy of the Consent to Sever Sketch prepared by UrbanSolutions; and,
- One (1) cheque in the amount of **\$2,860.00** made payable to the City of Hamilton for the Consent to Sever application.

We trust the enclosed is in order; however, please feel free to contact the undersigned with any questions.

Regards,

**UrbanSolutions**



Matt Johnston, MCIP, RPP  
*Principal*



Laura Drennan, BA  
*Planning Technician*

cc: Mr. Charles Wah, Gateway Solutions Group Inc. (via email)  
Mr. Sergio Manchia, UrbanSolutions Planning & Land Development Consultants Inc. (via email)