

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202 E-mail: <u>cofa@hamilton.ca</u>

NOTICE OF PUBLIC HEARING Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.	:	FL/A-21:132		
APPLICANTS:		Mark Cussons		
SUBJECT PROPER	RTY:	Municipal address 618 Millgrove Side Rd., Flamborough		
ZONING BY-LAW:		Zoning By-law 05-200, as Amended 15-173		
ZONING:		"A1 and P8" (Agriculture and Conservation Hazard Lands - Rural P8) Zone		
PROPOSAL:	notwitl	mit the construction of a 116.8m² accessory structure nstanding that a maximum height of 6.6m shall be provided d of the maximum permitted 6.0m.		

NOTE:

The proposed accessory structure is accessory to the existing single detached dwelling.

This application will be heard by the Committee as shown below:

DATE: TIME:	Thursday, May 20th, 2021 1:20 p.m.
PLACE:	Via video link or call in (see attached sheet for details) To be streamed at
	www.hamilton.ca/committeeofadjustment
	for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

• Visit www.hamilton.ca/committeeofadjustment

FL/A-21:132 Page 2

- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at <u>cofa@hamilton.ca</u>

DATED: May 4th, 2021.

Jamila Sheffield, Secretary-Treasurer Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

DRAWING LIST JULY 14 2020

	SURVEY	N.T.S	
A1.01	Site Plan/Roof Plan	1/16" =	1'- 0
A1.02	Ground Floor/Elec. Plan	1/4" =	1'- 0
A2.01	Roof Framing Plan	1/4" =	1'- 0
A3.01	Cross Section	1/4" =	1'- 0
A4.01	East/West Elevations	1/4" =	1'- 0
A4.02	North/South Elevations	1/4" =	1'- 0
A6.01	Typical Details	1" =	1'- 0

ROOF TYPE

DIMENSION ASPHALT SHINGLE 30LB FELT PAPER 1/2" EXTERIOR PLY T&G SHEATHING PRE-ENGINEERED ROOF TRUSS (SEE ENGINEERED TRUSS PLANS PER MANUFACTURER FOR EXACT DESIGN) **R40 FG BATT INSULATION** 6MIL POLYETHYLENE VABOUR BARRIER 1/2" GWB **CEILING FINISH**

WALL TYPES

1" STONE VENEER 1" AIR SPACE W/ WEEPING HOLES AT BASE GALVANIZED METAL TIES @ 16" O/C HORIZONTAL AND 24" O/C VERTICAL SPUNBONDED OLEFIN SHEATHING MEMBRANE (AB) 1/2" PLYWOOD SHEATHING 2x6 FRAMING @ 16" O/C C/W R20 FG BATT INSULATION 6 MIL POLY VAPOUR BARRIER (VB) 1/2" GWB WALL FINISH



(1

POLYMER MODIFIED (PM) OR TRADITIONAL CEMENT STUCCO (COLOUR TO BE SELECTED BY CLIENT) SELF FURRING LATH 15LB PERFORATED ASPHALT BUILDING PAPER (MB) 1/2" FIBREBOARD (AB) SPUNBONDED OLEFIN (AB) 1/2" FIBREBOARD (AB) 2x6 FRAMING @ 16" O/C C/W R20 FG BATT INSULATION 6 MIL POLY VAPOUR BARRIER (VB) 1/2" GWB WALL FINISH

FLOOR TYPE

4" POURED CONCRETE SLAB 32MPa @ 28 DAYS 5% - 8% AIR ENTRAPMENT WELDED WIRE MESH REINFORCING @ CENTRE OF SLAB 6" COMPACTED CRUSHED STONE UNDISTURBED SOIL

SITE INFORMATION

TOTAL LOT AREA	48048 SQ FT (4463.8m2)
GFA OF EXISTING GARAGE	1071 SQ FT (99.5m2)
GFA OF PROPOSED GARAGE	1276 SQ FT (118.5m2)
PROPOSED HEIGHT OF STRUCTURE	19'-9 ½" (5.9m2)
PROPOSED GARAGE SETBACKS :	
FRONT YARD (WEST)	156'-6" (47.7m)
SIDE YARD (NORTH)	54'-5" (16.6m)
REAR YARD (EAST)	21'-3" (6.5m)
SIDE YARD (SOUTH)	131'-4" (39.9m)

SURVEY INFORMATION

SITE PLAN INFORMATION TAKEN FROM PLAN OF SURVEY OF PART OF LOT 19, CONCESSION 3, TOWNSHIP OF FLAMBOROUGH, REGIONAL MUNICIPALITY OF HAMILTON -WENTWORTH SURVEY BY SEWELL & SEWELL ONTARIO LAND SURVEYOR

GENERAL NOTES:

THESE DRAWINGS ARE PART OF A SET OF CONSTRUCTION DOCUMENTS. THE CONSTRUCTION DOCUMENTS CONSIST OF ONE OR MORE OF THE FOLLOWING ELEMENTS:

CONSTRUCTION DRAWINGS SPECIFICATIONS (OWNERS LIST OF PRODUCTS TO BE USED WHEN BUILDING) CONTRACT FORMS & CONDITIONS MODIFICATIONS AND REVISIONS

CONTRACTORS, SUBCONTRACTORS, AND OTHERS WHO PROVIDE LABOUR AND/OR MATERIALS REFERENCING THESE DRAWINGS ARE RESPONSIBLE FOR OBTAINING AND REVIEWING ALL CURRENT CONSTRUCTION DOCUMENTS

CONTRACTORS, SUBCONTRACTORS, AND OTHERS ARE TO REPORT ANY DISCREPANCIES OR ERRORS TO THE OWNER AND/OR BUILDER. ANY CHANGES TO THE PROJECT WILL BE VERIFIED WITH THE OWNER AND/OR BUILDER AND REVISIONS MADE. CONTRACTORS ARE NOT TO MAKE ALTERATIONS OF ANY KIND WITHOUT PRIOR WRITTEN CONSENT. DISCREPANCIES NOT REPORTED IMMEDIATELY ARE THE RESPONSIBILITY OF THE CONTRACTOR.

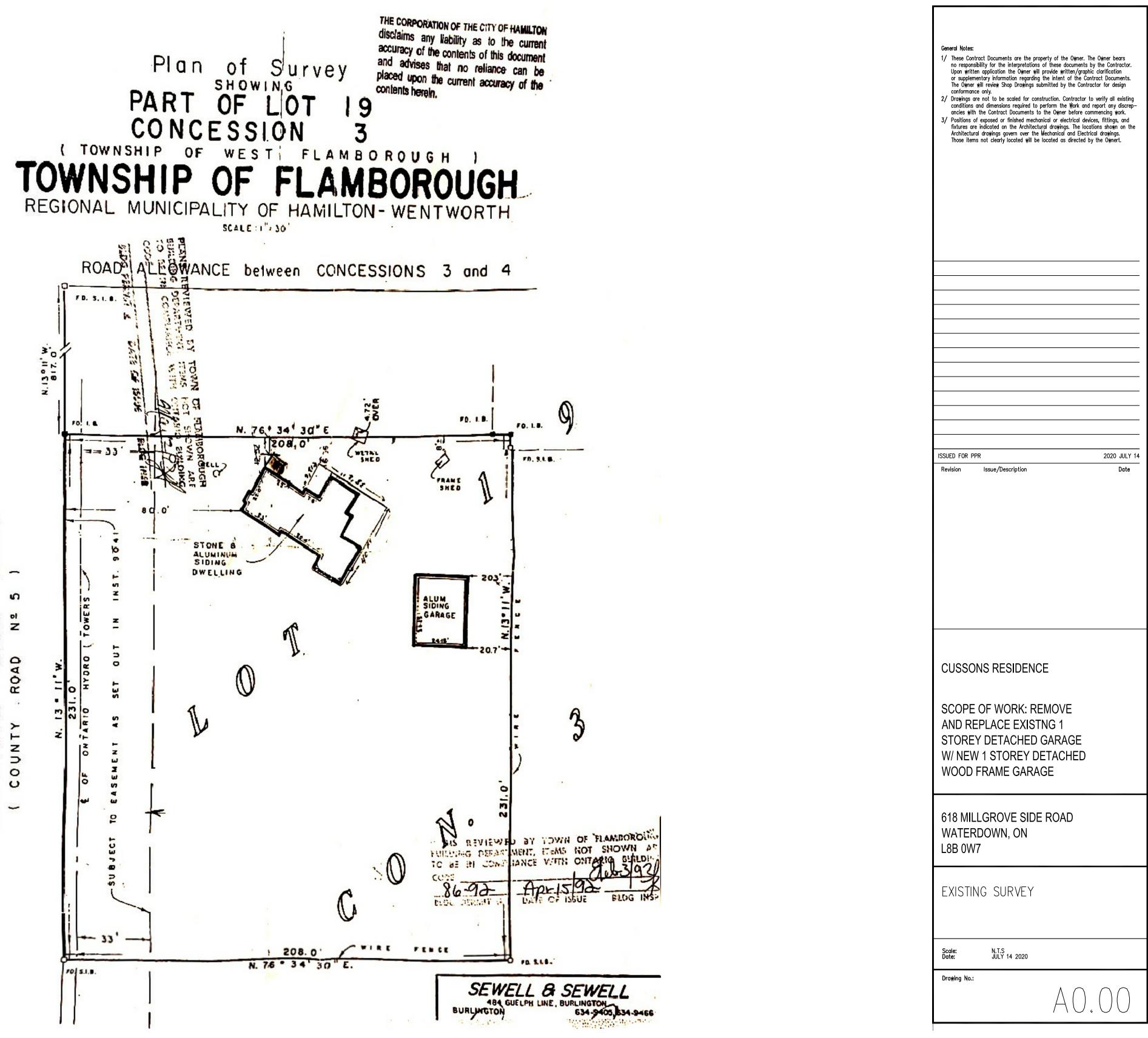
CONTRACTORS SHALL NOT SCALE FROM DRAWINGS.



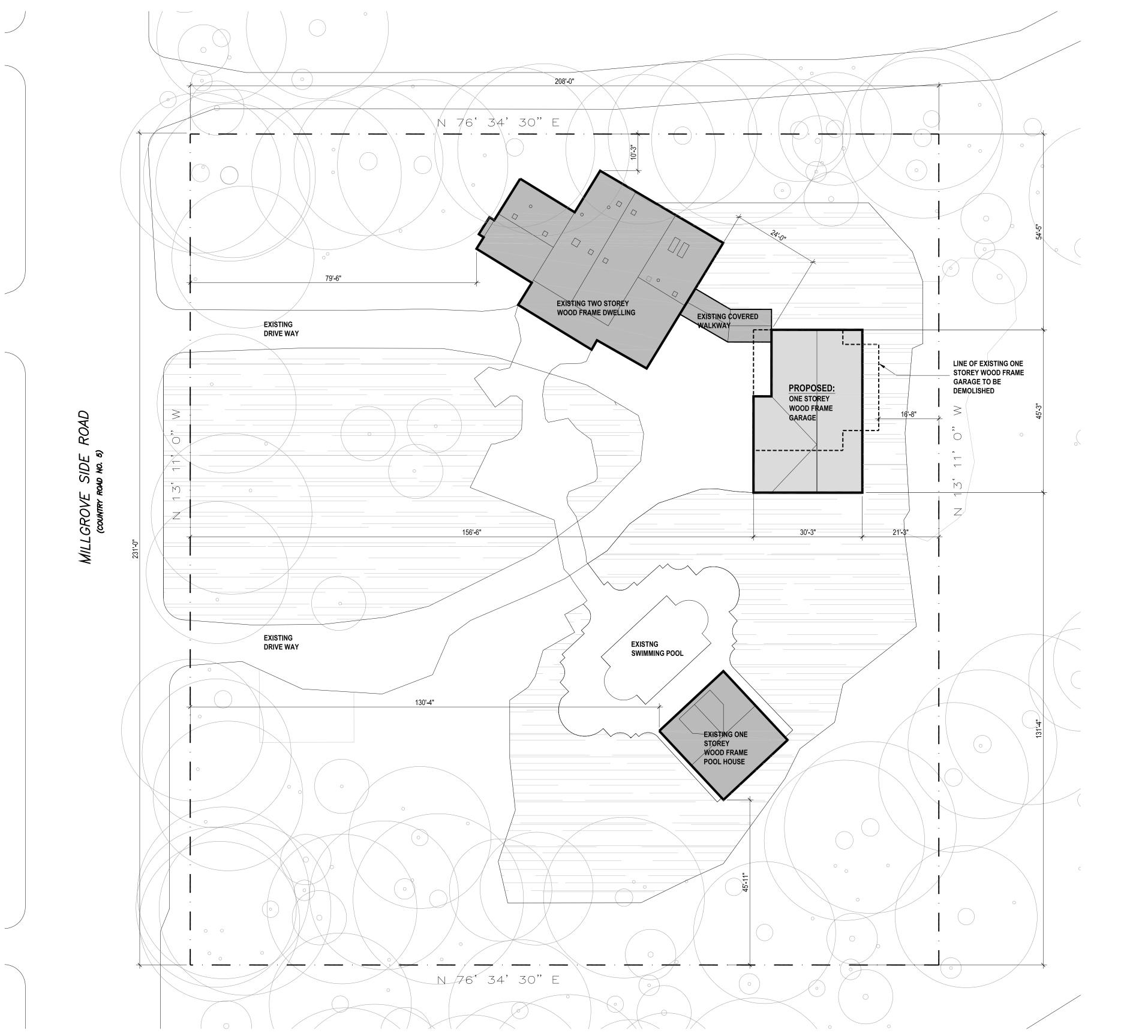






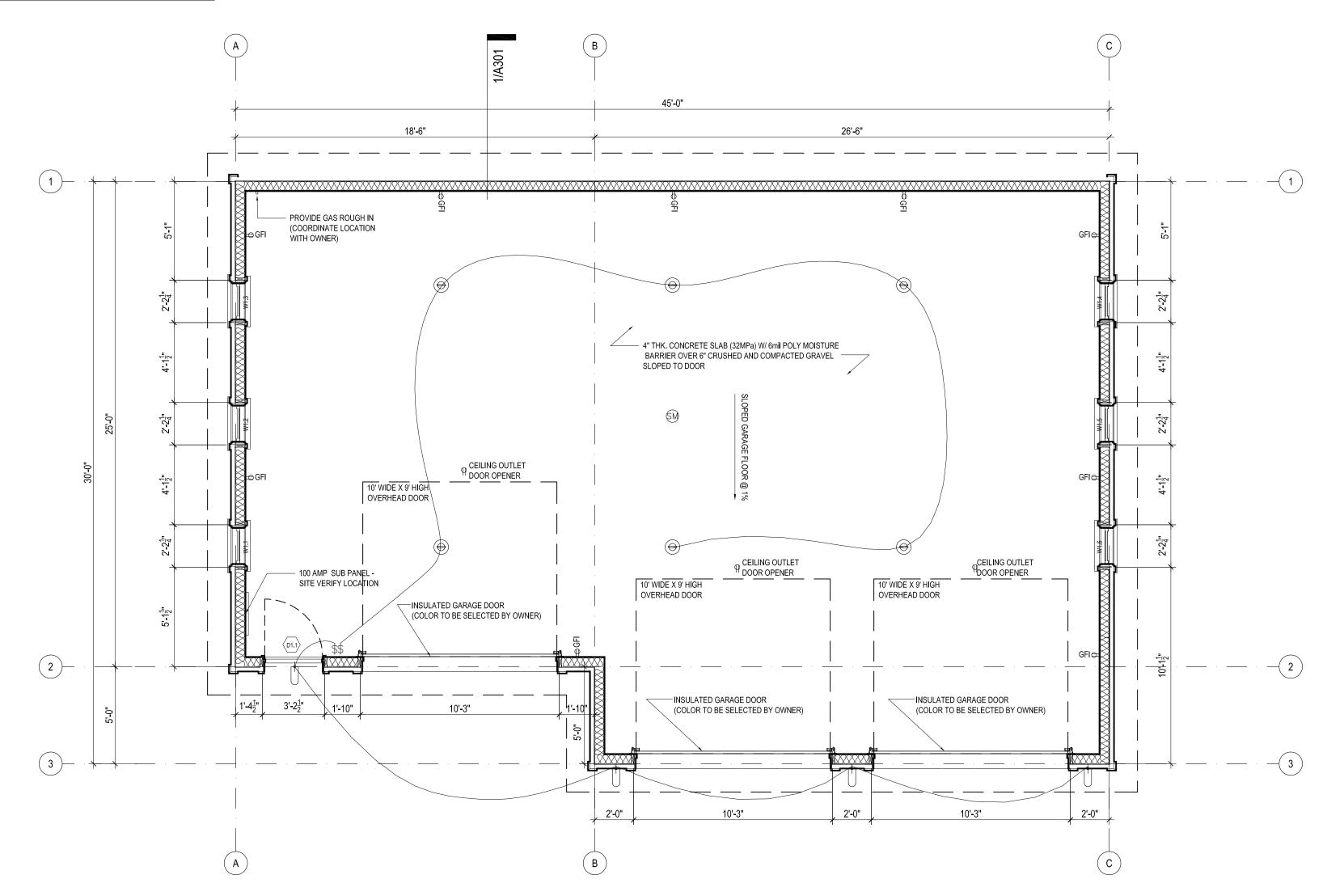


MILLGROVE SIDE ROAD

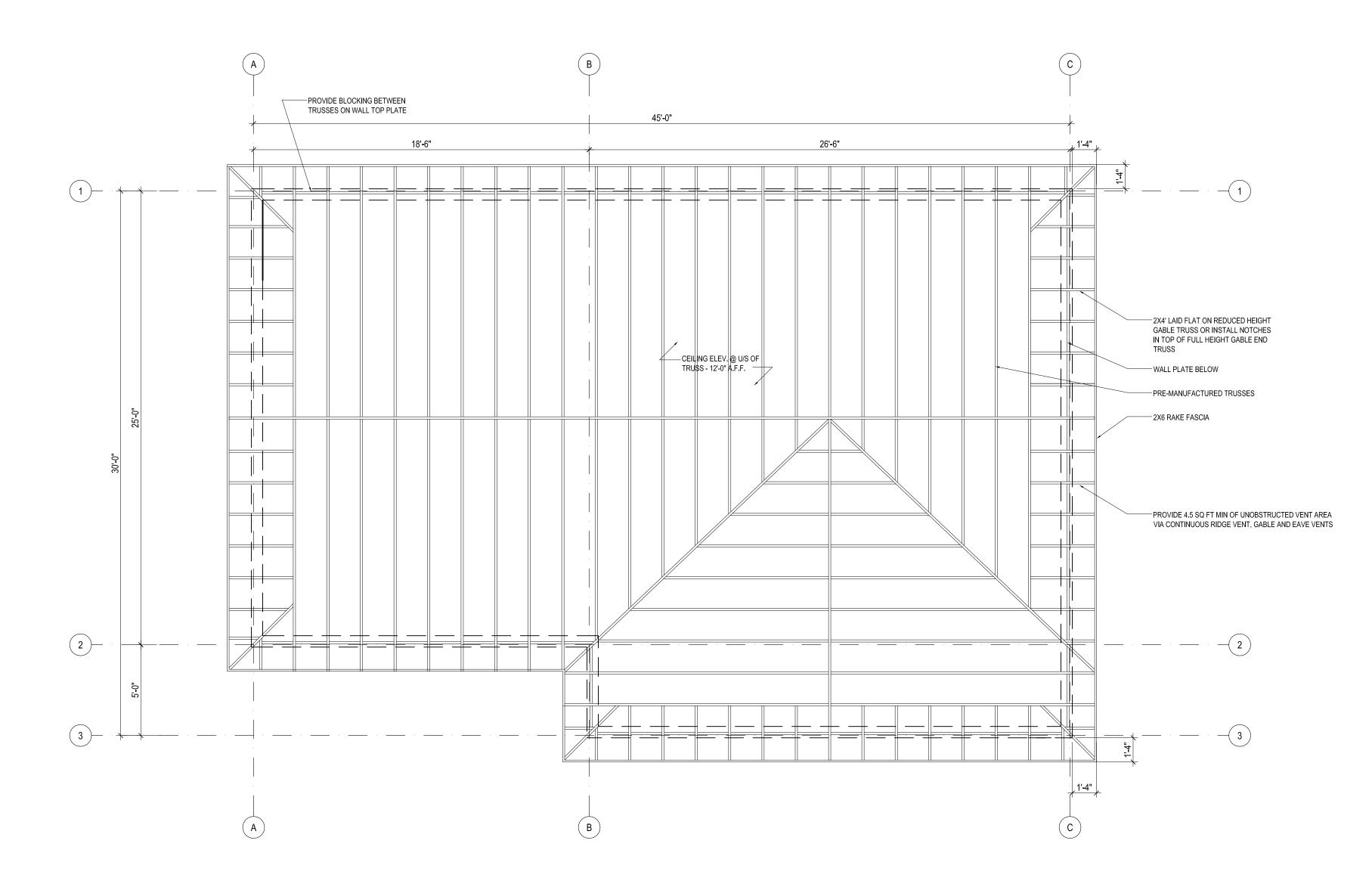


General Notes: 1/ These Contract Documents are the property of the Owner. The Owner bears no responsibility for the interpretations of these documents by the Contractor. Upon written application the Owner will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents. The Owner will review Shop Drawings submitted by the Contractor for design conformance only will review. conformance only. 2/ Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrep-ancies with the Contract Documents to the Owner before commencing work. 3/ Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. Those items not clearly located will be located as directed by the Ownert. ISSUED FOR PPR 2020 JULY 14 Revision Issue/Description Date CUSSONS RESIDENCE SCOPE OF WORK: REMOVE AND REPLACE EXISTNG 1 STOREY DETACHED GARAGE W/ NEW 1 STOREY DETACHED WOOD FRAME GARAGE 618 MILLGROVE SIDE ROAD WATERDOWN, ON L8B 0W7 SITE PLAN 1/16" = 1'-0" JULY 14 2020 Scale: Date: Drawing No.: A1.01

SYMBOL	DESCRIPTION	REMARKS
۲	LIGHTOLIER 8201WH W 6190WH MONOPOINT CANOPY	
B	RECESSED ROUND COMPACT FLOURESCENT, BRIQUE MODEL ART.S 4566 BY SIMES © 1'-2" A.F.FL.	
X	SURFACE MOUNTED INCANDESCENT FIXTURE	
-	EXTERIOR MOUNTED FIXTURE	MOTION DETECTOR LOCATIONS TO BE DISCUSSED WITH OWNER
S M	SMOKE DETECTOR	
\$	POWER SWITCH	
•	TELEPHONE OUTLET	
⊳	DATA OUTLET	
THERMOSTAT		
¢	DUPLEX	
©	CABLE	
₽	DUPLEX DEDICATED	
OTES:	> COORDINATE FIXTURE LOCATIONS WITH OWNER	
	> MOTION DETECTORS WHERE REQUESTED BY OWNER	



Revision Issue/Description Date CUSSONS RESIDENCE SCOPE OF WORK: REMOVE AND REPLACE EXISTING 1 STOREY DETACHED GARAGE W/ NEW 1 STOREY DETACHED WOOD FRAME GARAGE 618 MILLGROVE SIDE ROAD WATERDOWN, ON L8B 0W7 GROUND AND ELECTRICAL PLAN	no responsibi Upon written or supplemen The Owner wi conformance 2/ Drawings are conditions an ancies with ti 3/ Positions of of fixtures are in Architectural	ct Documents are the proj ity for the interpretations application the Owner will tary information regarding I review Shop Drawings su only. not to be scaled for cons d dimensions required to p the Contract Documents to exposed or finished mecha ndicated on the Architectu drawings govern over the not clearly located will be	of these documents by provide written/graphic the intent of the Contract brutted by the Contract struction. Contractor to perform the Work and re the Owner before comm nical or electrical device ral drawings. The locatic Mechanical and Electrica	the Contractor. clarification act Documents. or for design verify all existing port any discrep- nencing work. s, fittings, and ons shown on the I drawings.
Revision Issue/Description Date CUSSONS RESIDENCE SCOPE OF WORK: REMOVE AND REPLACE EXISTING 1 STOREY DETACHED GARAGE W/ NEW 1 STOREY DETACHED WOOD FRAME GARAGE 618 MILLGROVE SIDE ROAD WATERDOWN, ON L8B 0W7 GROUND AND ELECTRICAL PLAN				
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SCOPE OF WORK: REMOVE AND REPLACE EXISTNG 1 STOREY DETACHED GARAGE W/ NEW 1 STOREY DETACHED WOOD FRAME GARAGE 618 MILLGROVE SIDE ROAD WATERDOWN, ON L8B 0W7 GROUND AND ELECTRICAL PLAN				
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WATERDOWN, ON L8B 0W7 GROUND AND ELECTRICAL PLAN	AND REF STOREY W/ NEW	PLACE EXIST DETACHED 1 STOREY DI	NG 1 GARAGE ETACHED	
	WATERD		ROAD	
Scale: $1/4'' = 1'-0''$	GROUNE) AND ELEC	CTRICAL PL	.AN
υαι σ. JULI 14 2020	Scale: Date:	1/4" = 1'-0" JULY 14 2020		



ancies with the Contract Documents to 3/ Positions of exposed or finished mechan	of these documents by the Contractor. provide written/graphic clarification the intent of the Contract Documents. omitted by the Contractor for design truction. Contractor to verify all existing erform the Work and report any discrep- the Owner before commencing Work. nical or electrical devices, fittings, and al drawings. The locations shown on the Mechanical and Electrical drawings.
ISSUED FOR PPR Revision Issue/Description	2020 JULY 14 Date
CUSSONS RESIDENC	E
SCOPE OF WORK: RE AND REPLACE EXIST STOREY DETACHED (W/ NEW 1 STOREY DE WOOD FRAME GARA(NG 1 GARAGE ETACHED
618 MILLGROVE SIDE WATERDOWN, ON L8B 0W7	ROAD
ROOF FRAMING PLA	AN
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Dra wing No.:	A2.01

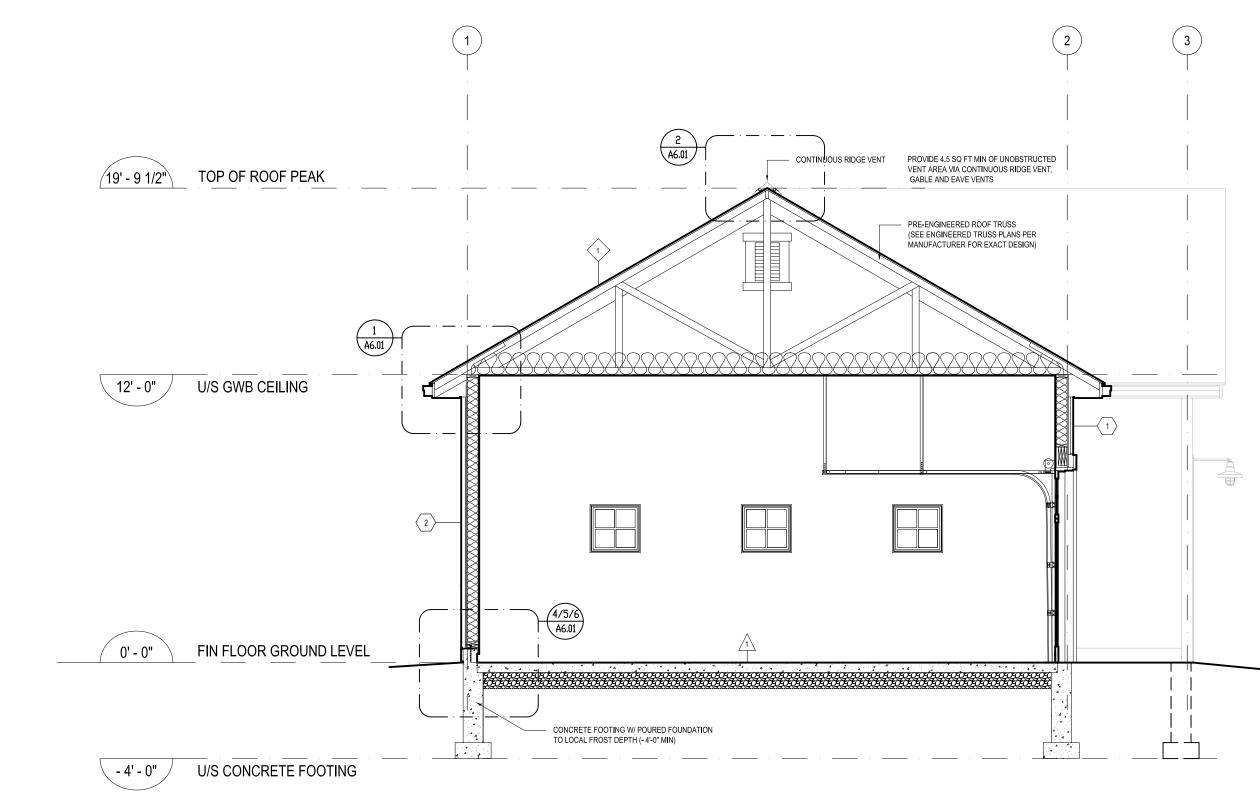
ROOF	RAFTERS (WHERE NO	CEILING IS	INSTALLED)
11001				

ROOF JOISTS

(WHERE CEILING IS INSTALLED)

	MAXIMUM CLEAR SPAN (M)							
	ROOF SNOW LOAD 1.0kPa			ROOF SNOW LOAD 1.5kPa				
RAFTER SIZE	RAFTER SP	SPACING (mm) O.C.		RAFTER SPACING (mm) O.C.				
	300	400	600	300	400	600		
38x89	3.11	2.83	2.47	2.72	2.47	2.16		
38x140	4.90	4.45	3.89	4.28	3.89	3.40		
38x184	6.44	5.85	5.11	5.62	5.11	4.41		
38x235	8.22	7.47	6.38	7.18	6.52	5.39		

MAXIMUM CLEAR SPAN (M)							
10107	ROOF SNOW LOAD 1.0kPa			ROOF SNOW LOAD 1.5kPa			
JOIST SIZE	JOIST SPACING (mm) O.C.		JOIST SPACING (mm) O.C.				
	300	400	600	300	400	600	
38x140	3.89	3.53	3.08	3.40	3.08	2.69	
38x184	5.11	4.64	4.05	4.46	4.05	3.54	
38x235	6.52	5.93	5.18	5.70	5.18	4.52	



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SCOPE OF WORK: REMOVE AND REPLACE EXISTNG 1 STOREY DETACHED GARAGE W/ NEW 1 STOREY DETACHED WOOD FRAME GARAGE 618 MILLGROVE SIDE ROAD WATERDOWN, ON L8B 0W7

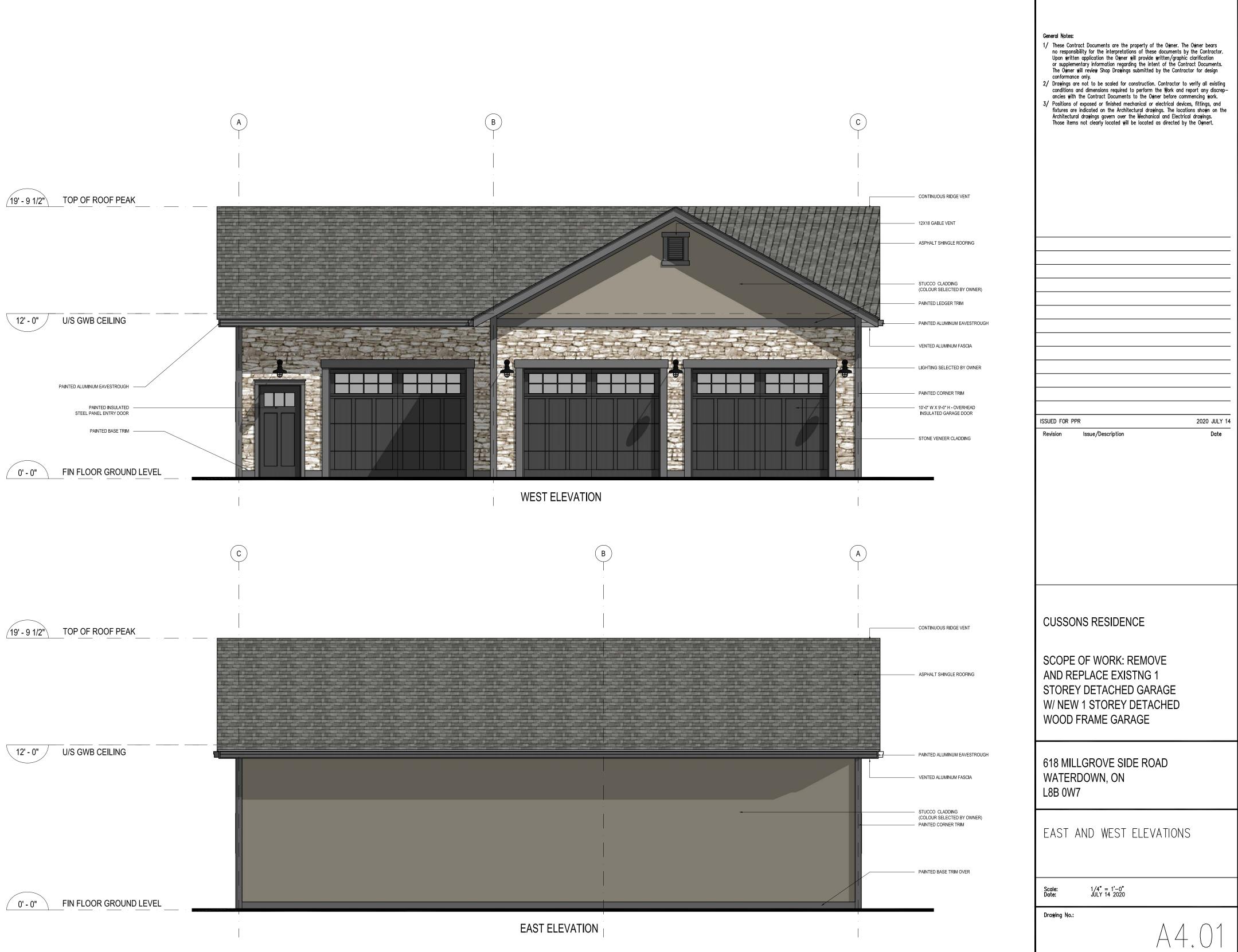
GENERAL NOTES

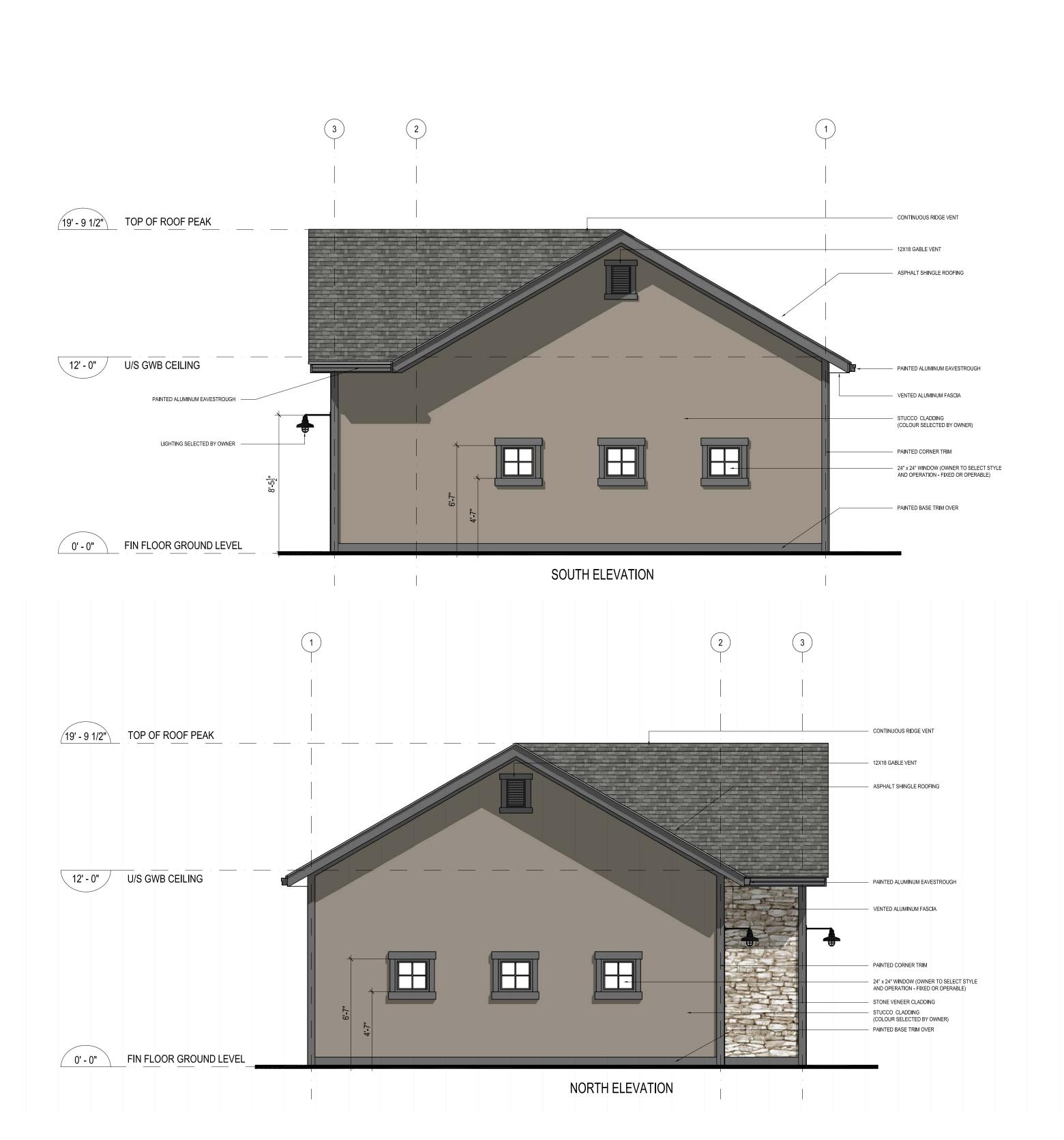
- 1. ALL LUMBER TO BE NO. 1&2 SPRUCE OR BETTER
- 2. ALL PLYWOOD SHALL BE STAMPED EXTERIOR GRADE
- 3. ROOF LOAD DESIGN 1.0 kPa OR 1.5 kPa
- 4. ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL.
- IF GARAGE WALL IS LESS THAN 600mm TO THE PROPERTY LINE PROVIDE 15.9mm TYPE 'X' DRYWALL INTERIOR SHEATHING. NO WINDOWS ARE PERMITTED IN GARAGE WALLS LESS THAN 1200mm FROM PROPERTY LINE.
- FOR ONE STOREY WOOD FRAME DETACHED GARAGES LESS THAN 55M2. AN ALTERNATE FOOTING MAY BE USED, SEE DETAIL SHEET G02c
- GARAGE SLAB SHALL BE 32 Mpg CONCRETE W/ 5% 8% AIR ENTRAINMENT SLOPED TO DRAIN TO THE OUTSIDE.
- 8. ROOF SHEATHING SHALL BE MIN. 9.5mm PLYWOOD PROVIDE 'H' CLIPS IF RAFTERS OR JOISTS ARE SPACED GREATER THAN 400mm O.C.
- 9. PROVIDE A LIGHT FIXTURE IN THE GARAGE.
- STEEL BEAMS TO BE SUPPORTED BY SOLID MASONRY (190mm BEARING ON MASONRY OR 73mm DIA. STEEL COLUMN).
- 11. LINTELS AND BEAMS TO BE DESIGNED BY A QUALIFIED PERSON FOR SPANS GREATER THAN 4900mm

LINTELS

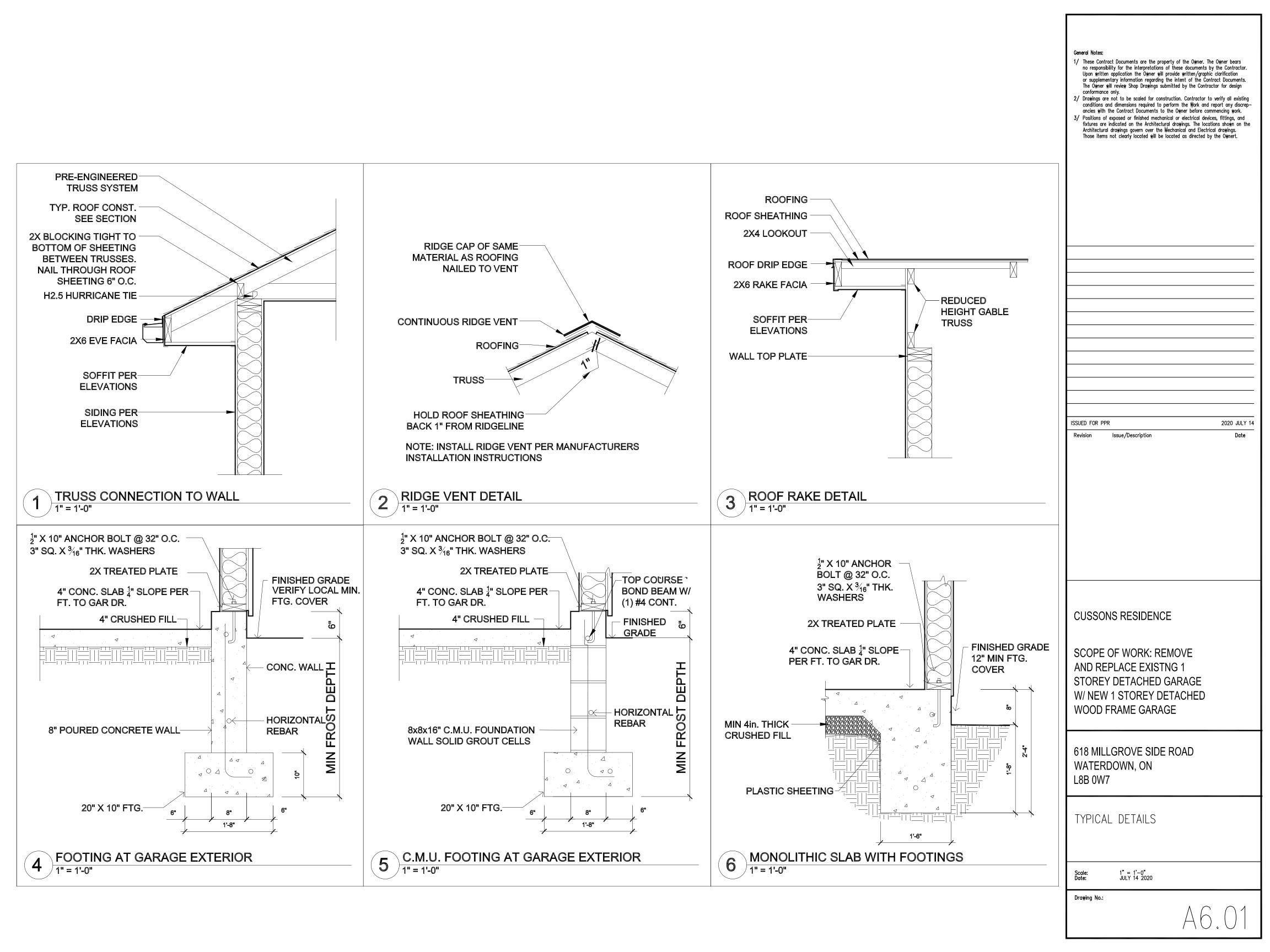
(MAXIMUM 1.5 kPa ROOF SNOW LOAD)

l WO	LINTELS FOR WOOD FRAMING		LINTELS FOR BRICK VENEER 90mm		LINTELS FOR SOLID MASONRY 200mm	
DOOR WIDTH	NOT SUPPORTING THE ROOF	SUPPORTING THE ROOF	NOT SUPPORTING THE ROOF	SUPPORTING THE ROOF	NOT SUPPORTING THE ROOF	SUPPORTING THE ROOF
UP T0 3000mm	2/38x184	2/38x286	2/38x184 + ANGLE 125x90x8	2/38x286 + ANGLE 125x90x8	2 ANGLES 150x100x10	₩150x22 + PLATE 200x10
UP TO 4900mm	2/38x286	4/38x286 OR 2-45x300 1.9E LVL	₩200x27 + PLATE 200x10	W200x27 + PLATE 200x10	MUST BE DESIGNED	MUST BE DESIGNED





no respons Upon writt or supplem The Owner conforman 2/ Drawings of conditions ancies with 3/ Positions of fixtures on Architectur	tract Documents are the sibility for the interpretat en application the Owner entary information regar will review Shop Drawing ce only. ire not to be scaled for and dimensions required in the Contract Document of exposed or finished m e indicated on the Archi ral drawings govern over is not clearly located wil	tions of these documen will provide written/gra- rding the intent of the gs submitted by the Cou- construction. Contractor to perform the Work of ts to the Owner before echanical or electrical of tectural drawings. The I the Mechanical and Ele	ts by the Contractor. aphic clarification Contract Documents. Intractor for design or to verify all existing and report any discrep- commencing Work. devices, fittings, and ocations shown on the ctrical drawings.
ISSUED FOR P Revision	PR Issue/Description		2020 JULY Date
SCOPE AND RE STORE W/ NEV	NS RESIDEN OF WORK: EPLACE EXIS Y DETACHE V 1 STOREY FRAME GAF	REMOVE STNG 1 D GARAGE DETACHED)
	LGROVE SII RDOWN, ON 17	DE ROAD	
NORTH	I AND SOU	ITH ELEVA	TIONS
Scale: Date:	1/4" = 1'-0" JULY 14 2020		
Drawing No.:		ΔΔ	02





Committee of Adjustment City Hall, 5th Floor, 71 Main St. W., Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221 Email: <u>cofa@hamilton.ca</u>

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

 APPLICATION NO.
 _______ DATE APPLICATION RECEIVED ______

 PAID _______
 DATE APPLICATION DEEMED COMPLETE _______

 SECRETARY'S
 SIGNATURE _______

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS		
Registered Owners(s)	Mark and Nicole Cussons	618 Millgrove side rd Hamilton, ON L8B 0W7		
Applicant(s)*	Mark Cussons			
Agent or Solicitor			Phone:	
			E-mail:	

Note: Unless otherwise requested all communications will be sent to the agent, if any.

 Names and addresses of any mortgagees, holders of charges or other encumbrances: Scotia Bank mortgage - 76 Dundas Street E, Waterdown, ON L0R 2H2 Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

- Nature and extent of relief applied for: Garage replacement - increasing size by 16%
- Why it is not possible to comply with the provisions of the By-law?
 We require additional storage space.
- Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):
 618 Millgrove side rd, Hamilton, ON, L8B 0W7

7. PREVIOUS USE OF PROPERTY

	Residential 🚺 Industrial 🔲 Commercial 📃
	Agricultural Vacant
	Other
8.1	If Industrial or Commercial, specify use
8.2	Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
	Yes O No O Unknown O
8.3	Has a gas station been located on the subject land or adjacent lands at any time? Yes No Unknown
8.4	Has there been petroleum or other fuel stored on the subject land or adjacent lands? Yes No Unknown
8.5	Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands? Yes No Unknown
8.6	Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands? Yes O No O Unknown O
8.7	Have the lands or adjacent lands ever been used as a weapon firing range?
	Yes O No O Unknown O
8.8	Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump? Yes No Unknown
8.9	If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)? Yes O No O Unknown O

8.10	Is there any rea	ason to believe t	he subject land	may hav	/e been d	contaminated	by former
	uses on the sit	e or adjacent site	es?				
	Yes 🔼	No 💽	Unknown	0			

- 8.11 What information did you use to determine the answers to 9.1 to 9.10 above? Educated guess.
- 8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use	e inventory	attached?	Y
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No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

'es

March 24, 2021 Date

Signature Property Owner

Print Name of Owner

10. Dimensions of lands affected:

Frontage	231ft	
Depth	208ft	
Area	48048sqft	
Width of street	approx 30ft	

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:_

Front = 154'6" Side North = 54'5" Side South = 118' Rear = 25'

Proposed

Front = 156'6" Side North = 54'5" Side South = 131'3" Rear = 21'3"

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: Front = 154'6" Side North = 54'5" Side South = 118' Rear = 25'

Proposed:

Front = 156'6" Side North = 54'5" Side South = 131'3" Rear = 21'3"

13.	Date of acquisition of subject lands: August 2013
14.	Date of construction of all buildings and structures on subject lands: Unknown +30 years
15.	Existing uses of the subject property: Residential
16.	Existing uses of abutting properties: South is 40 acre farm with house, North is 7 acre with house
17.	Length of time the existing uses of the subject property have continued: Decades
18.	Municipal services available: (check the appropriate space or spaces) Water Connected Sanitary Sewer Connected Storm Sewers Connected
19.	Present Official Plan/Secondary Plan provisions applying to the land: No
20.	Present Restricted Area By-law (Zoning By-law) provisions applying to the land: No
21.	Has the owner previously applied for relief in respect of the subject property? Yes No If the answer is yes, describe briefly.
22.	Is the subject property the subject of a current application for consent under Section 53 of the <i>Planning Act</i> ?
23.	Additional Information
24.	The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.