



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: FL/A-21:132

APPLICANTS: Mark Cussons

SUBJECT PROPERTY: Municipal address **618 Millgrove Side Rd., Flamborough**

ZONING BY-LAW: Zoning By-law 05-200, as Amended 15-173

ZONING: "A1 and P8" (Agriculture and Conservation Hazard Lands - Rural P8) Zone

PROPOSAL: To permit the construction of a 116.8m² accessory structure notwithstanding that a maximum height of 6.6m shall be provided instead of the maximum permitted 6.0m.

NOTE:

The proposed accessory structure is accessory to the existing single detached dwelling.

This application will be heard by the Committee as shown below:

DATE: Thursday, May 20th, 2021
TIME: 1:20 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment

- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: May 4th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

DRAWING LIST JULY 14 2020

	SURVEY	N.T.S
A1.01	Site Plan/Roof Plan	1/16" = 1'- 0"
A1.02	Ground Floor/Elec. Plan	1/4" = 1'- 0"
A2.01	Roof Framing Plan	1/4" = 1'- 0"
A3.01	Cross Section	1/4" = 1'- 0"
A4.01	East/West Elevations	1/4" = 1'- 0"
A4.02	North/South Elevations	1/4" = 1'- 0"
A6.01	Typical Details	1" = 1'- 0"

ROOF TYPE

- 1 DIMENSION ASPHALT SHINGLE
 30LB FELT PAPER
 1/2" EXTERIOR PLY T&G SHEATHING
 PRE-ENGINEERED ROOF TRUSS (SEE ENGINEERED TRUSS PLANS PER MANUFACTURER FOR EXACT DESIGN)
 R40 FG BATT INSULATION
 6MIL POLYETHYLENE VABOUR BARRIER
 1/2" GWB
 CEILING FINISH

WALL TYPES

- 1 1" STONE VENEER
 1" AIR SPACE W/ WEeping HOLES AT BASE
 GALVANIZED METAL TIES @ 16" O/C HORIZONTAL AND 24" O/C VERTICAL
 SPUNBONDED OLEFIN SHEATHING MEMBRANE (AB)
 1/2" PLYWOOD SHEATHING
 2x6 FRAMING @ 16" O/C C/W R20 FG BATT INSULATION
 6 MIL POLY VAPOUR BARRIER (VB)
 1/2" GWB
 WALL FINISH

- 2 POLYMER MODIFIED (PM) OR TRADITIONAL CEMENT STUCCO (COLOUR TO BE SELECTED BY CLIENT)
 SELF FURRING LATH
 15LB PERFORATED ASPHALT BUILDING PAPER (MB)
 1/2" FIBREBOARD (AB)
 SPUNBONDED OLEFIN (AB)
 1/2" FIBREBOARD (AB)
 2x6 FRAMING @ 16" O/C C/W R20 FG BATT INSULATION
 6 MIL POLY VAPOUR BARRIER (VB)
 1/2" GWB
 WALL FINISH

FLOOR TYPE

- 1 4" POURED CONCRETE SLAB
 32MPa @ 28 DAYS
 5% - 8% AIR ENTRAPMENT
 WELDED WIRE MESH REINFORCING @ CENTRE OF SLAB
 6" COMPACTED CRUSHED STONE
 UNDISTURBED SOIL

SITE INFORMATION

TOTAL LOT AREA	48048 SQ FT (4463.8m2)
GFA OF EXISTING GARAGE	1071 SQ FT (99.5m2)
GFA OF PROPOSED GARAGE	1276 SQ FT (118.5m2)
PROPOSED HEIGHT OF STRUCTURE	19'-9 1/2" (5.9m2)

PROPOSED GARAGE SETBACKS :

FRONT YARD (WEST)	156'-6" (47.7m)
SIDE YARD (NORTH)	54'-5" (16.6m)
REAR YARD (EAST)	21'-3" (6.5m)
SIDE YARD (SOUTH)	131'-4" (39.9m)

SURVEY INFORMATION

SITE PLAN INFORMATION TAKEN FROM
 PLAN OF SURVEY OF PART OF LOT 19, CONCESSION 3, TOWNSHIP OF FLAMBOROUGH,
 REGIONAL MUNICIPALITY OF HAMILTON -WENTWORTH
 SURVEY BY SEWELL & SEWELL ONTARIO LAND SURVEYOR

GENERAL NOTES:

THESE DRAWINGS ARE PART OF A SET OF CONSTRUCTION DOCUMENTS.
 THE CONSTRUCTION DOCUMENTS CONSIST OF ONE OR MORE OF THE FOLLOWING ELEMENTS:

CONSTRUCTION DRAWINGS
 SPECIFICATIONS (OWNERS LIST OF PRODUCTS TO BE USED WHEN BUILDING)
 CONTRACT FORMS & CONDITIONS
 MODIFICATIONS AND REVISIONS

CONTRACTORS, SUBCONTRACTORS, AND OTHERS WHO PROVIDE LABOUR AND/OR MATERIALS REFERENCING THESE DRAWINGS ARE RESPONSIBLE FOR OBTAINING AND REVIEWING ALL CURRENT CONSTRUCTION DOCUMENTS

CONTRACTORS, SUBCONTRACTORS, AND OTHERS ARE TO REPORT ANY DISCREPANCIES OR ERRORS TO THE OWNER AND/OR BUILDER. ANY CHANGES TO THE PROJECT WILL BE VERIFIED WITH THE OWNER AND/OR BUILDER AND REVISIONS MADE. CONTRACTORS ARE NOT TO MAKE ALTERATIONS OF ANY KIND WITHOUT PRIOR WRITTEN CONSENT. DISCREPANCIES NOT REPORTED IMMEDIATELY ARE THE RESPONSIBILITY OF THE CONTRACTOR.

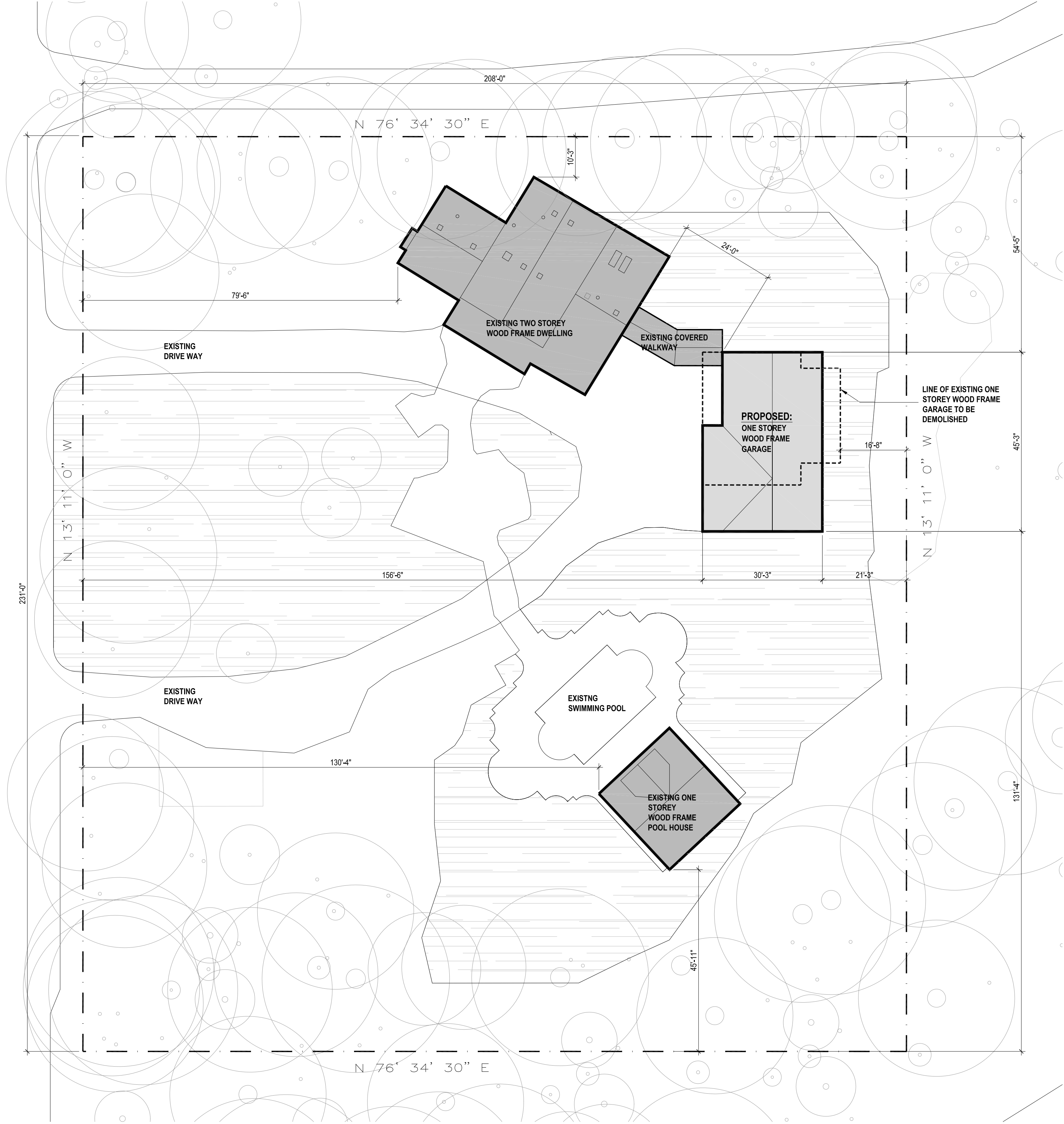
CONTRACTORS SHALL NOT SCALE FROM DRAWINGS.



CUSSONS RESIDENCE
 DETACHED GARAGE REPLACEMENT

618 MILLGROVE SIDE ROAD, WATERDOWN, ON

MILLGROVE SIDE ROAD
(COUNTRY ROAD NO. 9)



General Notes:

- 1/ These Contract Documents are the property of the Owner. The Owner bears no responsibility for the interpretations of these documents by the Contractor. Upon written application the Owner will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents. The Owner will review Shop Drawings submitted by the Contractor for design conformance only.
- 2/ Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Owner before commencing work.
- 3/ Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. Those items not clearly located will be located as directed by the Owner.

ISSUED FOR PPR 2020 JULY 14

Revision	Issue/Description	Date

CUSSONS RESIDENCE

SCOPE OF WORK: REMOVE AND REPLACE EXISTING 1 STOREY DETACHED GARAGE W/ NEW 1 STOREY DETACHED WOOD FRAME GARAGE

618 MILLGROVE SIDE ROAD
WATERDOWN, ON
L8B 0W7

SITE PLAN

Scale: 1/16" = 1'-0"
Date: JULY 14 2020

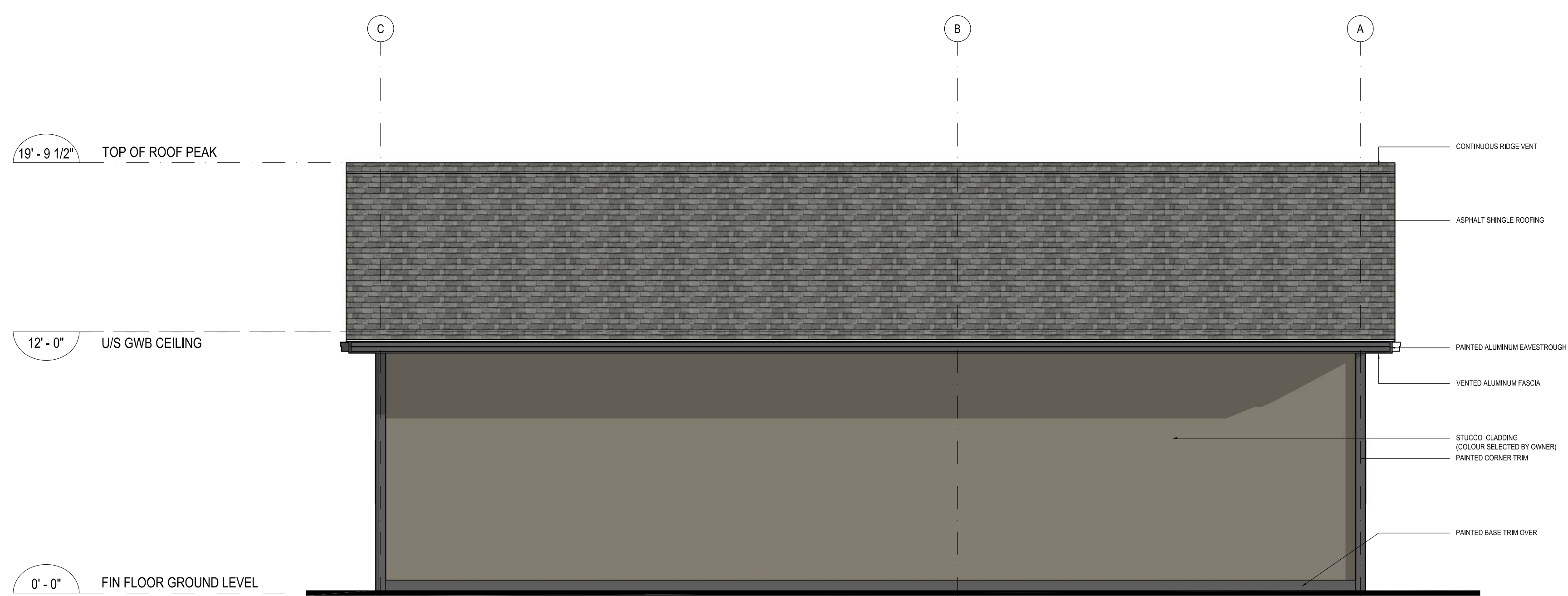
Drawing No.: A1.01

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WEST ELEVATION



EAST ELEVATION

ISSUED FOR PPR 2020 JULY 14

Revision	Issue/Description	Date

CUSSONS RESIDENCE

SCOPE OF WORK: REMOVE AND REPLACE EXISTING 1 STOREY DETACHED GARAGE W/ NEW 1 STOREY DETACHED WOOD FRAME GARAGE

618 MILLGROVE SIDE ROAD
WATERDOWN, ON
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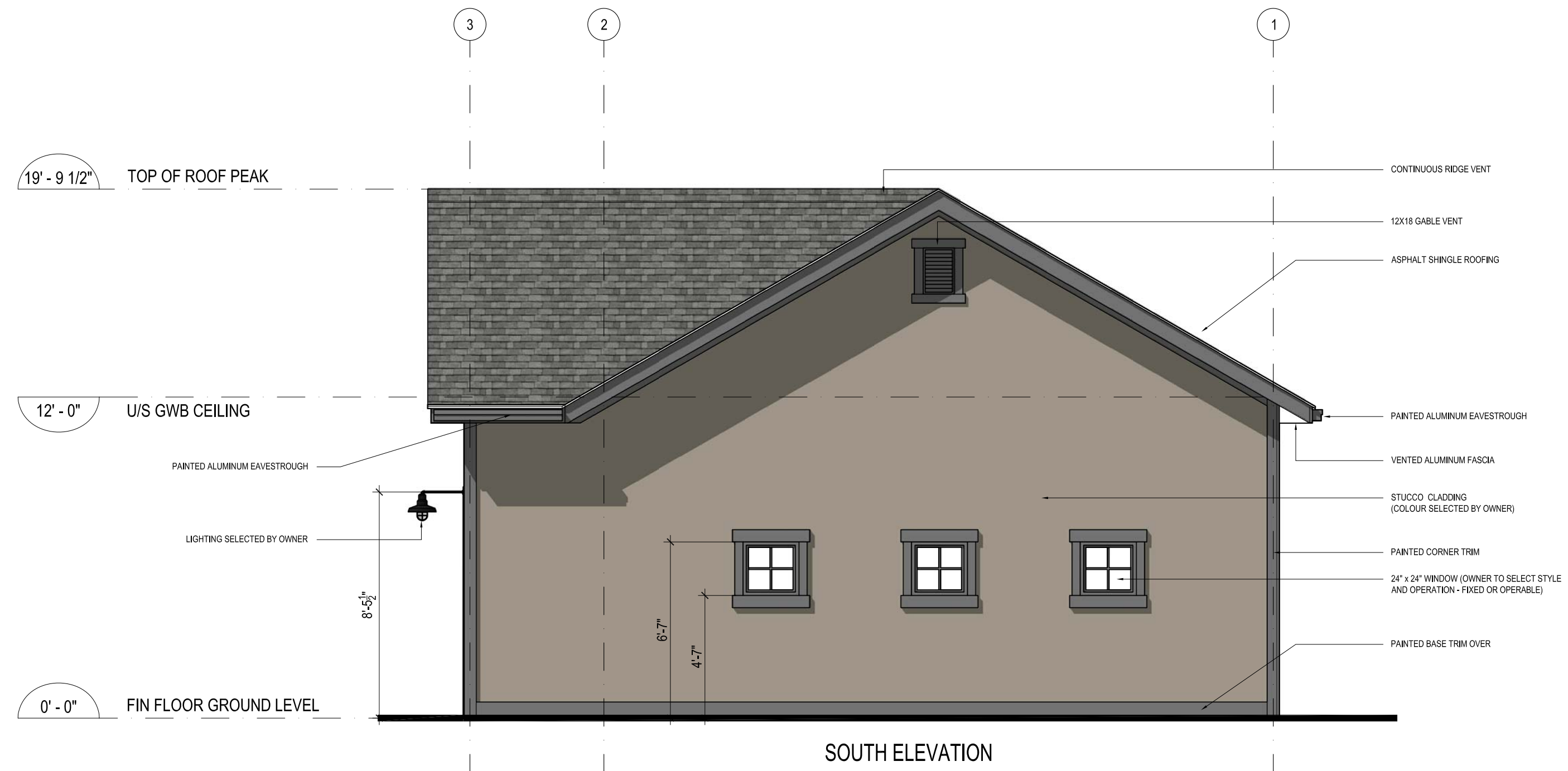
EAST AND WEST ELEVATIONS

Scale: 1/4" = 1'-0"
Date: JULY 14 2020

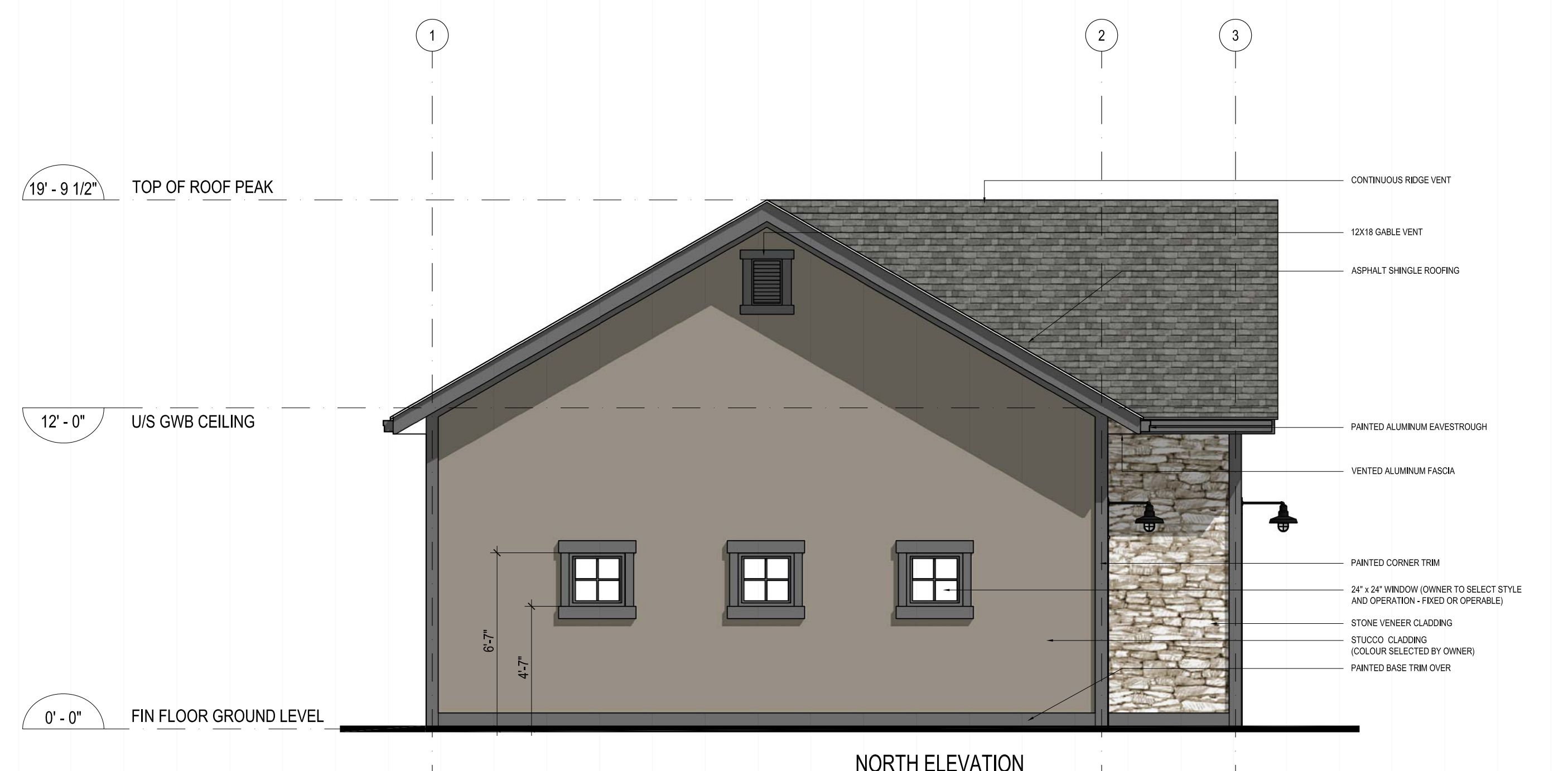
Drawing No.: A4.01

General Notes:

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SOUTH ELEVATION



NORTH ELEVATION

ISSUED FOR PPR 2020 JULY 14

Revision	Issue/Description	Date

CUSSONS RESIDENCE

SCOPE OF WORK: REMOVE AND REPLACE EXISTING 1 STOREY DETACHED GARAGE W/ NEW 1 STOREY DETACHED WOOD FRAME GARAGE

618 MILLGROVE SIDE ROAD
WATERDOWN, ON
L8B 0W7

NORTH AND SOUTH ELEVATIONS

Scale: 1/4" = 1'-0"
Date: JULY 14 2020

Drawing No.: A4.02



Hamilton

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS	
Registered Owners(s)	Mark and Nicole Cussons	618 Millgrove side rd Hamilton, ON L8B 0W7	
Applicant(s)*	Mark Cussons		
Agent or Solicitor			Phone:
			E-mail:

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:
Scotia Bank mortgage - 76 Dundas Street E, Waterdown, ON L0R 2H2

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Garage replacement - increasing size by 16%

5. Why it is not possible to comply with the provisions of the By-law?

We require additional storage space.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

618 Millgrove side rd, Hamilton, ON, L8B 0W7

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial
Agricultural Vacant

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Educated guess.

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

March 24, 2021

Date

Signature Property Owner

Print Name of Owner

10. Dimensions of lands affected:

Frontage	231ft
Depth	208ft
Area	48048sqft
Width of street	approx 30ft

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

Front = 154'6"
Side North = 54'5"
Side South = 118'
Rear = 25'

Proposed

Front = 156'6"
Side North = 54'5"
Side South = 131'3"
Rear = 21'3"

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Front = 154'6"
Side North = 54'5"
Side South = 118'
Rear = 25'

Proposed:

Front = 156'6"
Side North = 54'5"
Side South = 131'3"
Rear = 21'3"

13. Date of acquisition of subject lands:
August 2013 _____
14. Date of construction of all buildings and structures on subject lands:
Unknown +30 years _____
15. Existing uses of the subject property:
Residential
16. Existing uses of abutting properties:
South is 40 acre farm with house, North is 7 acre with house
17. Length of time the existing uses of the subject property have continued:
Decades
18. Municipal services available: (check the appropriate space or spaces)
Water _____ Connected _____
Sanitary Sewer _____ Connected _____
Storm Sewers _____
19. Present Official Plan/Secondary Plan provisions applying to the land:
No
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
No
21. Has the owner previously applied for relief in respect of the subject property?
 Yes No
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.