

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-21:124

APPLICANTS: Owner David Mejia
Agent Len Angelici

SUBJECT PROPERTY: Municipal address **80 Duncairn Cres., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended by By-law 19-307

ZONING: C/S-1788 district (Urban Protected Residential Etc.)

PROPOSAL: To facilitate the construction of a new roof above the first storey of a single family dwelling with a proposed full second storey, in which the new roof will be supported by columns across the façade, along the length of the dwelling and across the rear wall to provide a roofed-over entrance, carport and a roofed over feature above the rear deck, notwithstanding that:

1. The minimum front yard shall be 4.7 metres to the edge of the eaves instead of the minimum required 6.0 metres.
2. The parking shall consist of two (2) parking spaces instead of the minimum required three (3) parking spaces for a single family dwelling containing nine (9) habitable rooms.

COMMENTS:

1. The variance is written as requested by the applicant.
2. The Zoning By-law defines front yard as

"Yard, Front" shall mean a yard extending across the front of a lot from side lot line to side lot line, and from the front lot line to a principal building or structure, disregarding front steps and unenclosed entrance porches;

Variance 1 applies because the setback for the front yard is measured to the edge of the new roof structure.

3. The submitted plan did not include parking information. Based on the information submitted, tandem parking can be provided and is permitted for two vehicles (2.7m x 6.0m). A side by side parking arrangement would be required to accommodate a third parking space.
4. The applicant has advised that a second kitchen has been provided in the basement of the modified single-family dwelling, but a second dwelling unit has not been created. A building permit is required for a second kitchen.

5. With the exception of the noted modifications to the roof line above the first storey, the second storey that is proposed is consistent with the existing building footprint.
6. The Site-Specific C/S-1788 Zone was created by Amending By-law 19-307. It applies to certain modifications under Section 19 of the Zoning By-law that have been introduced for the conversion of single family dwellings to create second dwelling units. As the proposed changes are for a single family dwelling rather than a converted dwelling, the C District requirements are applicable.

This application will be heard by the Committee as shown below:

DATE:	Thursday, May 20th, 2021
TIME:	1:40 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	To be streamed at
	www.hamilton.ca/committeeofadjustment
	for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

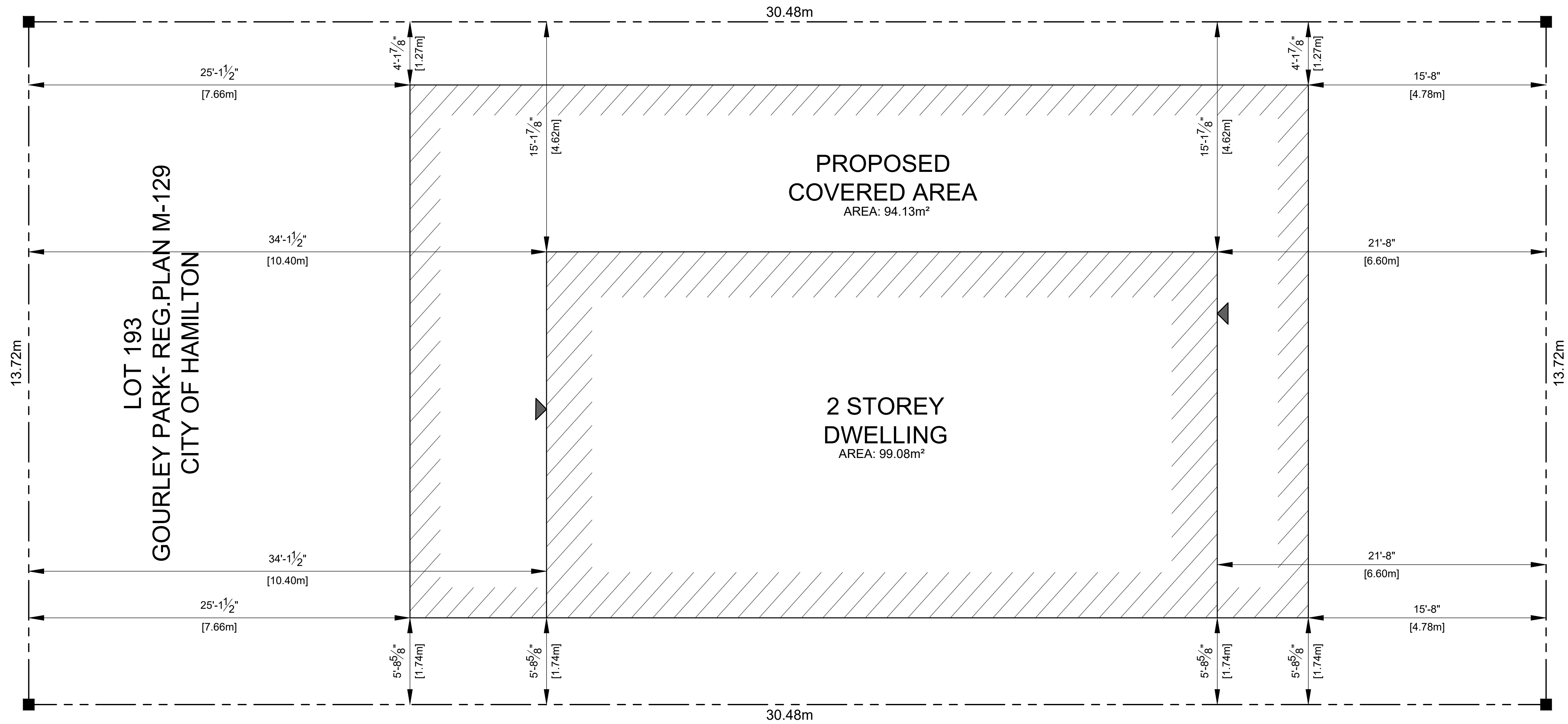
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: May 4th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



SITE DATA	
ZONE:	C
LOT AREA:	418.19m²
EXISTING DWELLING FOOTPRINT:	99.08m²
PROPOSED COVERED AREA:	94.13m²
LOT COVERAGE: COVERED AREA	22.51%
LOT COVERAGE: DWELLING	23.69%
TOTAL LOT COVERAGE:	46.20%
BUILDING HEIGHT	
No. of STOREYS:	2
COVERED AREA SETBACKS	
FRONT:	4.78m
REAR:	7.66m
RIGHT SIDE:	1.27m
LEFT SIDE:	1.74m

PROJECT NORTH	TRUE NORTH

01.	DRAWINGS FOR PERMIT REVIEW	03/23/2021
No.	REVISION	DATE

1. ALL CONTRACTORS AND/OR TRADES SHALL VERIFY ALL DIMENSIONS, NOTES, SITE AND REPORT ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF WORK.
2. THIS DRAWING IS NOT TO BE SCALED. ALL DRAWINGS, PRINTS AND RELATED DOCUMENTS ARE THE PROPERTY OF LEN ANGELICI DESIGN AND MUST BE RETURNED UPON REQUEST.
3. REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS STRICTLY PROHIBITED WITHOUT WRITTEN CONSENT OF LEN ANGELICI DESIGN.
4. CONTRACTOR SHALL REVIEW ALL DRAWINGS PRIOR TO COMMENCING CONSTRUCTION FOR ANY ERRORS OR OMISSIONS.
5. LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR THE DESIGN OR PRE-ENGINEERED TRUSSES OR ANY PRE-ENGINEERED PRODUCTS.
6. LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR HEATING, PLUMBING, OR ELECTRICAL DRAWINGS.
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8. LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR POOR CONSTRUCTION PRACTICES.

SEAL

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION	
LEONARD ANGELICI	42391
NAME	BCIN
REGISTRATION INFORMATION	
LEN ANGELICI DESIGN	43162
NAME	BCIN
03/23/2021	
DATE	SIGNATURE

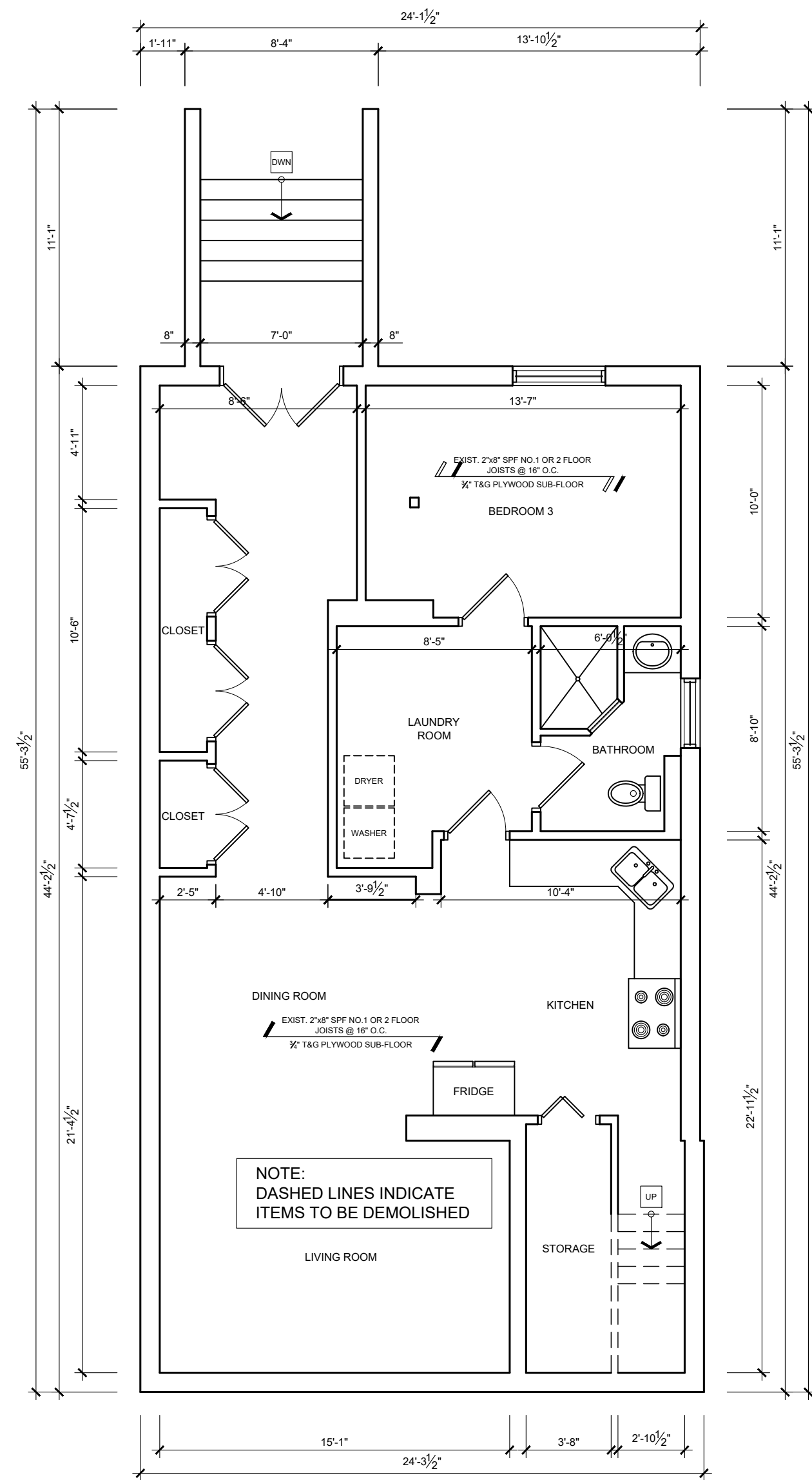
Len Angelici Design

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info@lenangelicidesign.ca

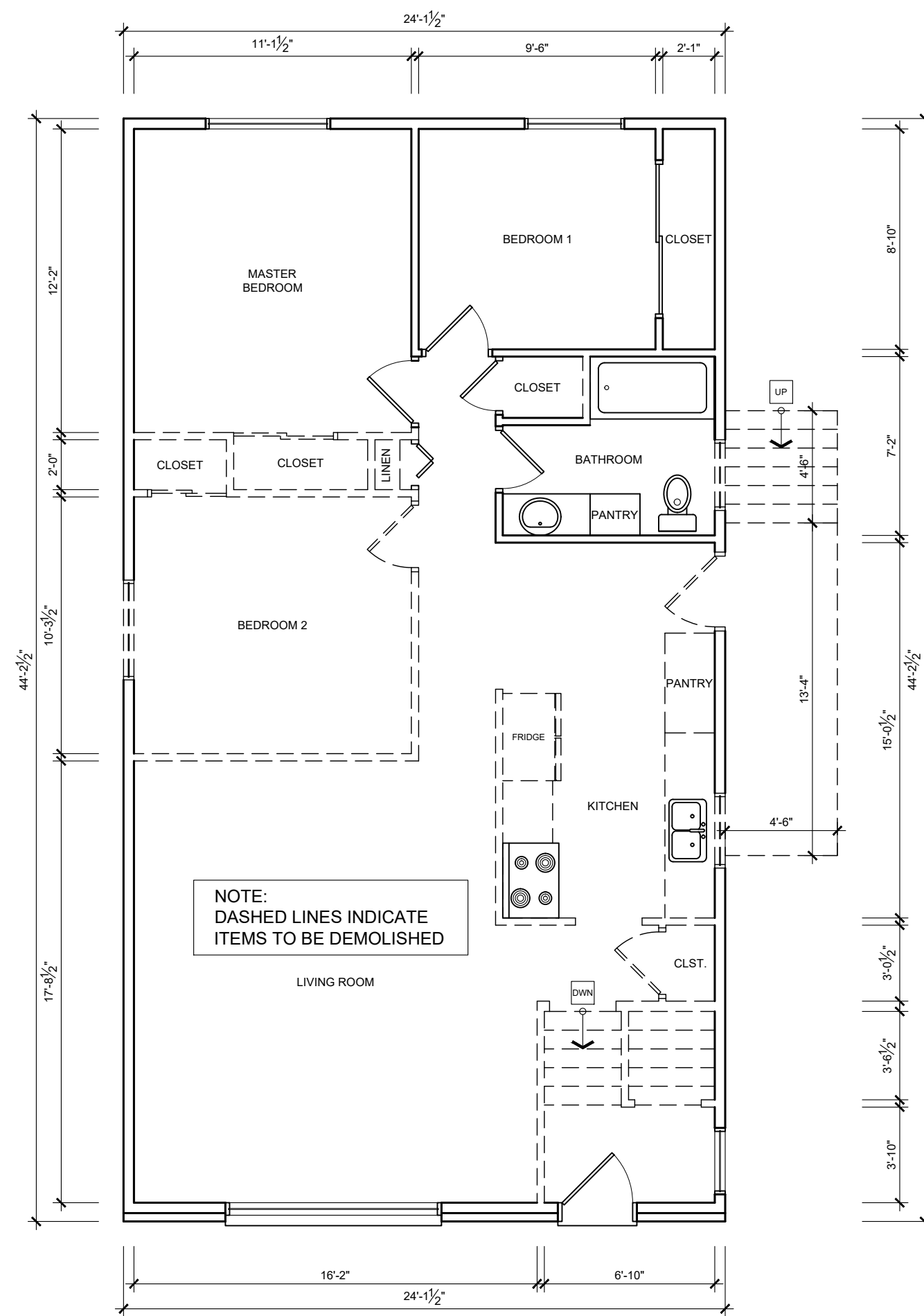
PROJECT

PROPOSED RESIDENCE
80 DUNCAIRN CRES,
HAMILTON, ON.
L9C 6G1

SHEET TITLE	
SITE PLAN	
DRAWN BY	SP1
L. ANGELICI	
DATE	
03/23/2021	
SCALE	
1:50	
PROJECT No.	
18043	



EXISTING BASEMENT PLAN
SCALE 3/16" = 1' - 0"



EXISTING MAIN FLOOR PLAN
SCALE 3/16" = 1' - 0"

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PROJECT

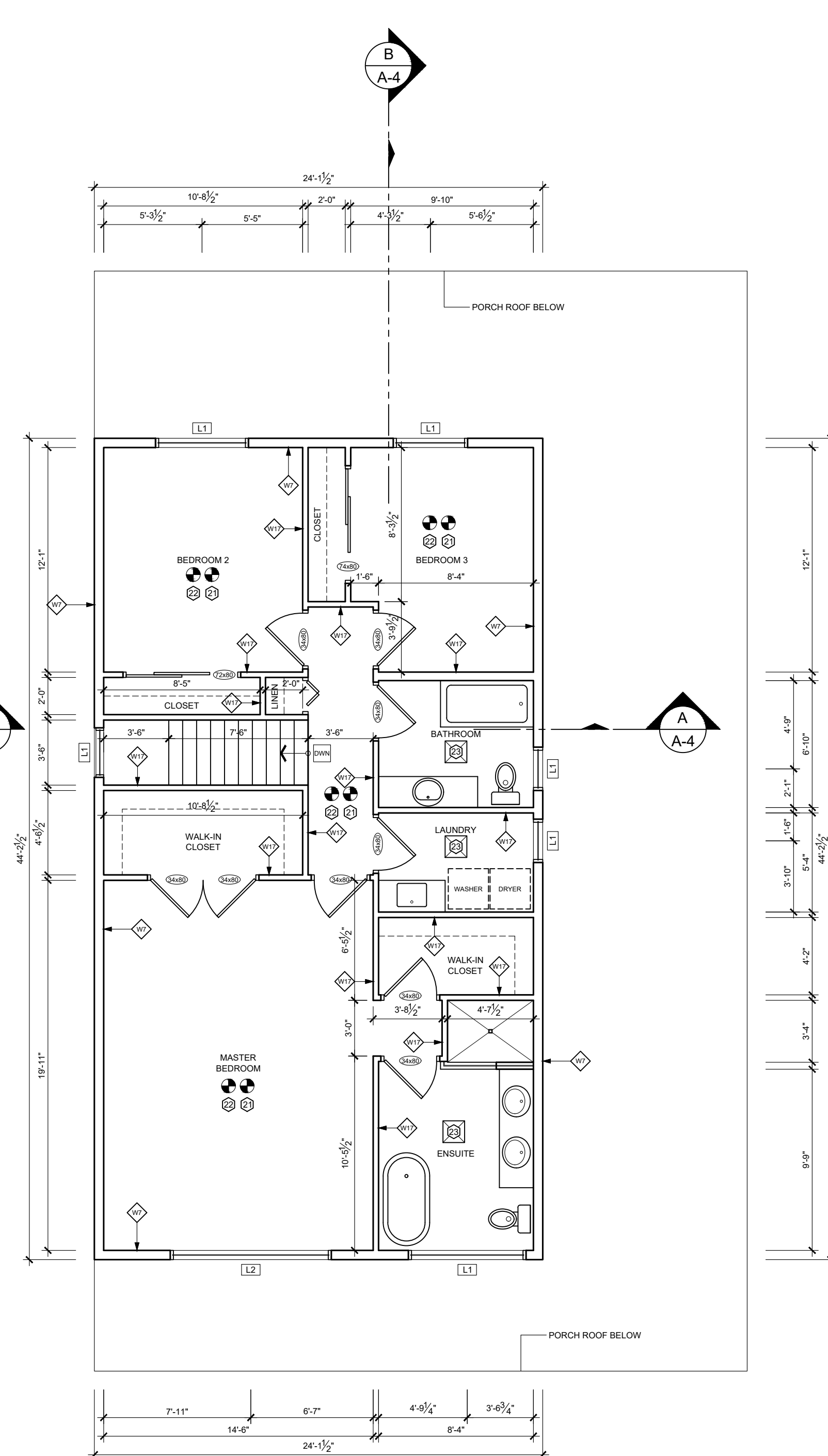
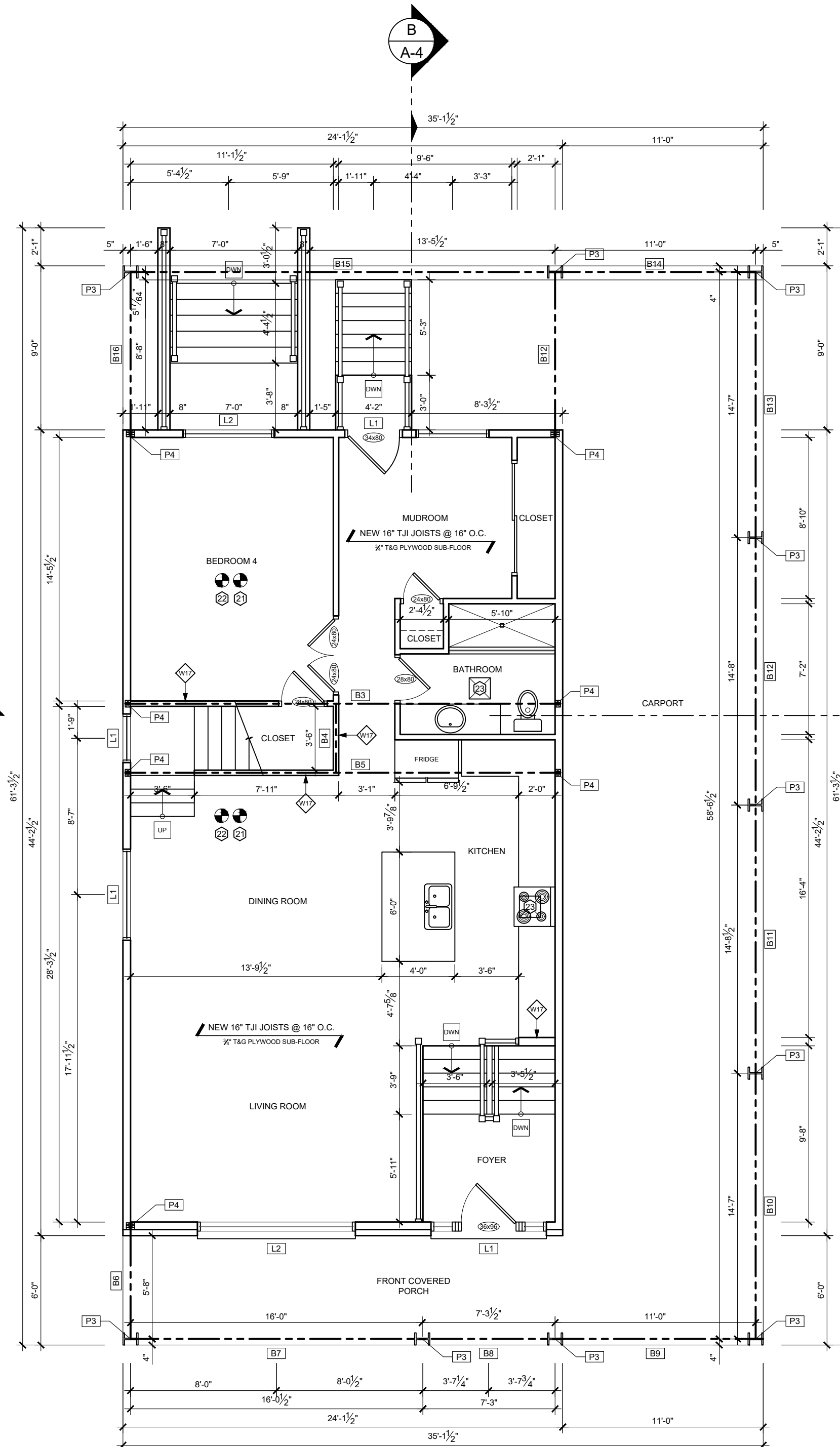
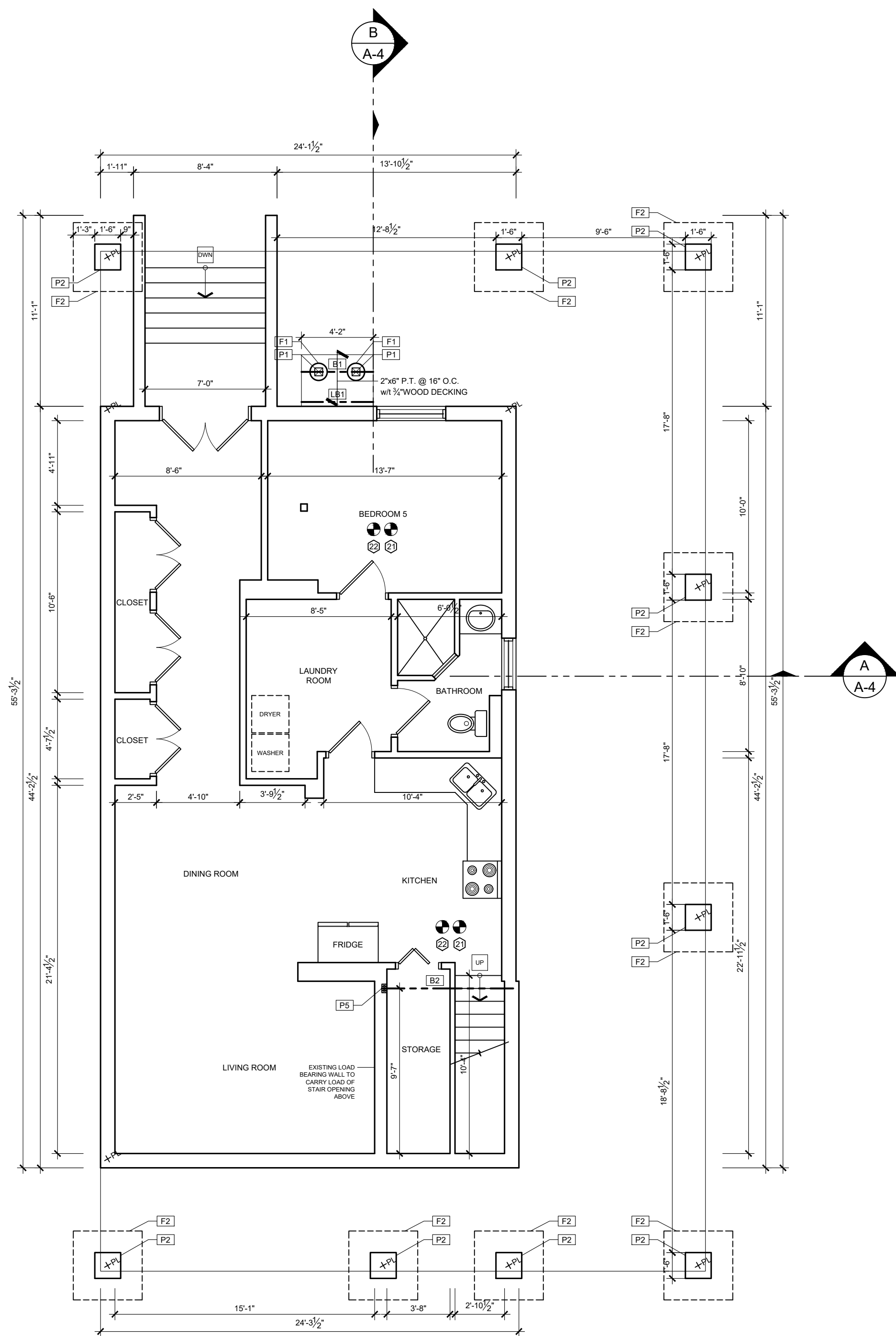
PROPOSED RESIDENCE
80 DUNCAIRN CRES,
HAMILTON, ON.
L9C 6G1

SHEET TITLE

EXISTING FLOOR
PLANS

DRAWN BY	L. ANGELICI
DATE	03/23/2021
SCALE	3/16"=1'-0"
PROJECT No.	18043

A1



PROJECT NORTH	TRUE NORTH

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03/23/2021	SIGNATURE
DATE	

Len Angelici Design

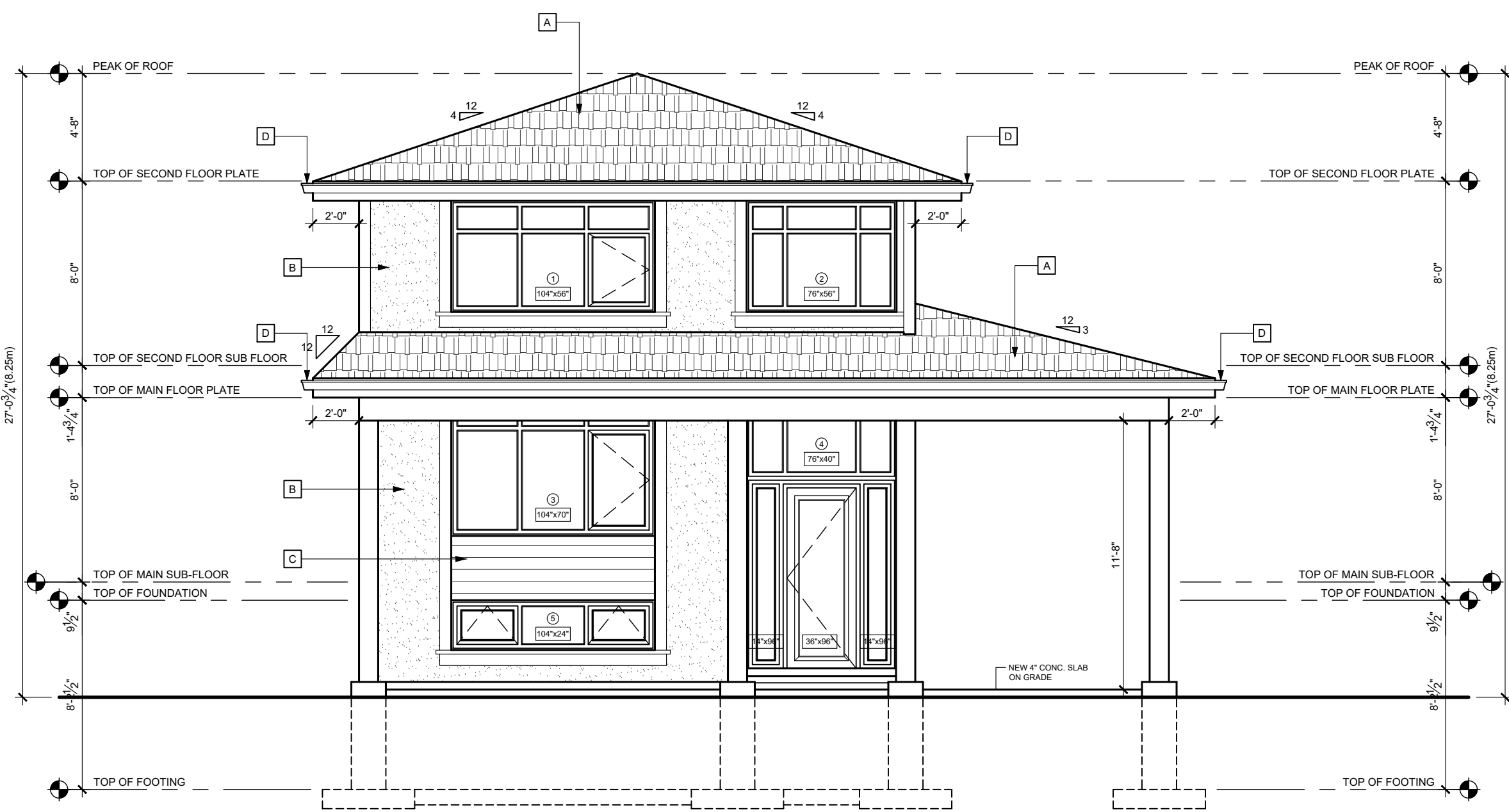
270 SHERMAN AVE N. UNIT OF-269
HAMILTON, ON L8L 6N4
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PROJECT
PROPOSED RESIDENCE 80 DUNCAIRN CRES, HAMILTON, ON. L9C 6G1

SHEET TITLE
PROPOSED FLOOR PLANS

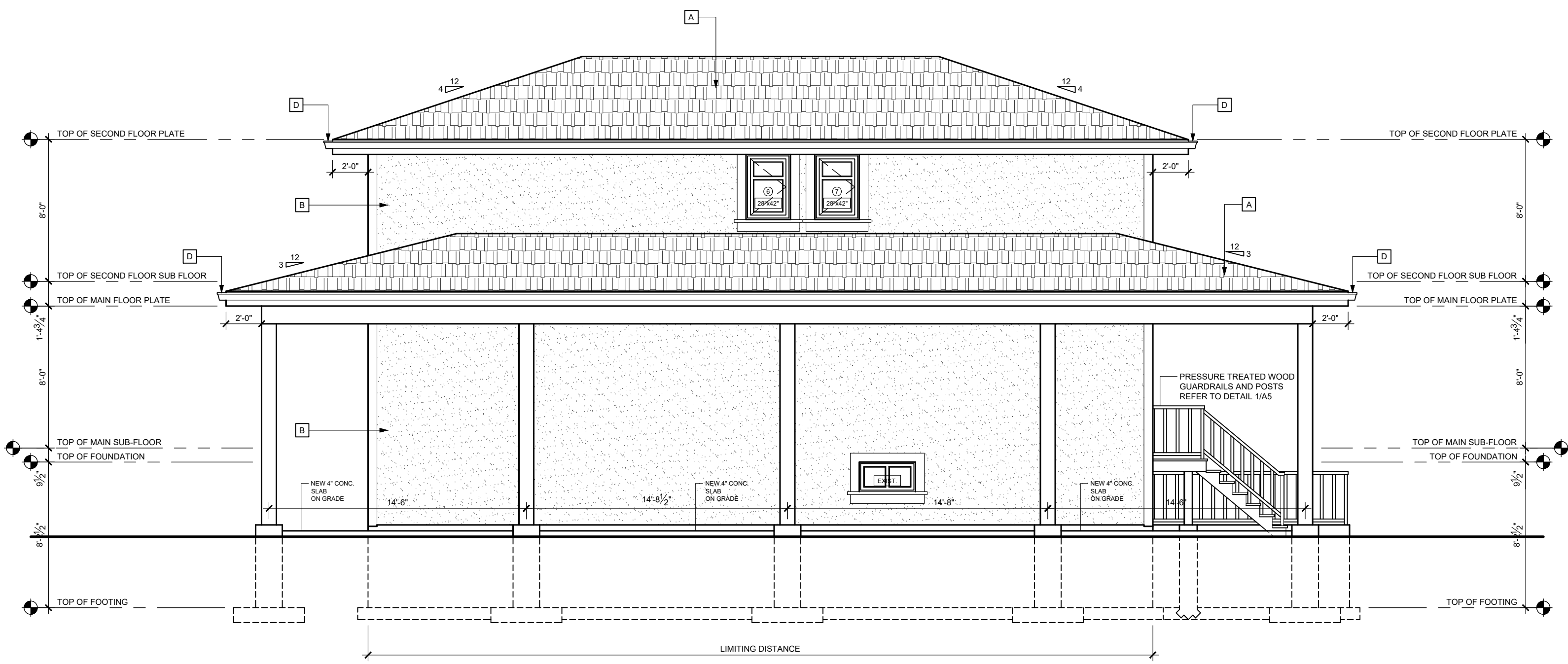
DRAWN BY	L. ANGELICI
DATE	03/23/2021
SCALE	$\frac{3}{16}" = 1' - 0"$
PROJECT No.	18043

A2



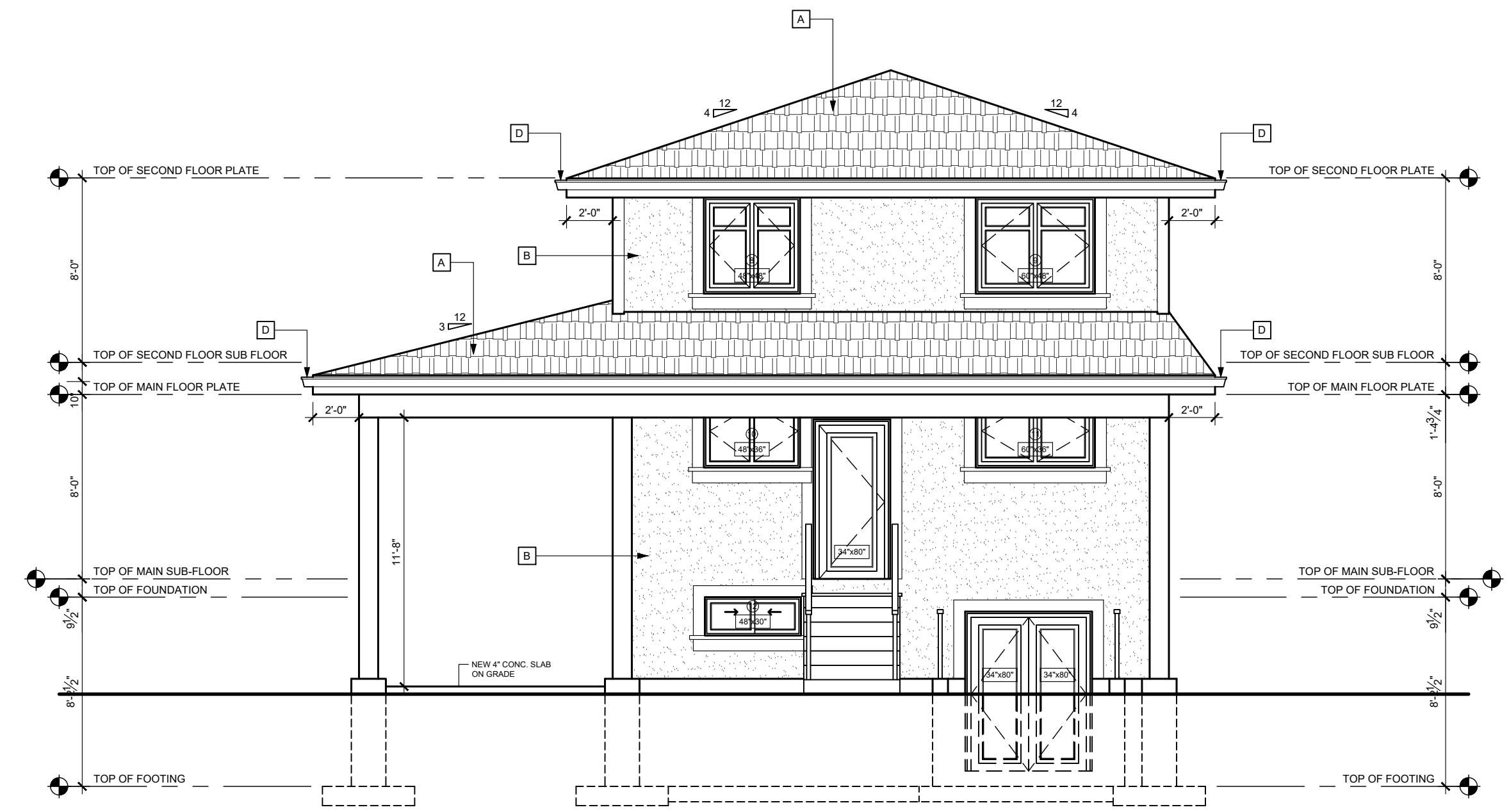
PROPOSED FRONT ELEVATION

SCALE $\frac{3}{16}" = 1' - 0"$



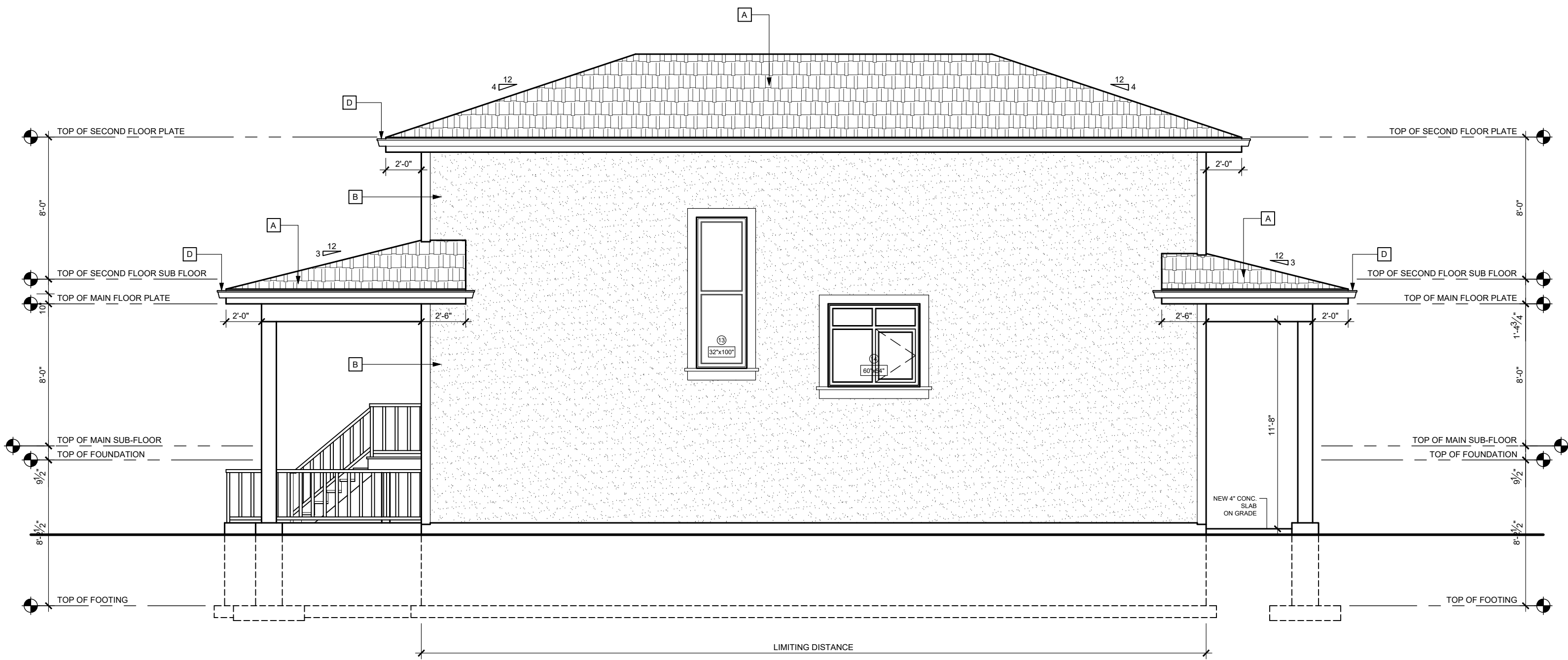
PROPOSED RIGHT ELEVATION

SCALE $\frac{3}{16}" = 1' - 0"$



PROPOSED REAR ELEVATION

SCALE $\frac{3}{16}" = 1' - 0"$



PROPOSED LEFT ELEVATION

SCALE $\frac{3}{16}" = 1' - 0"$

EXTERIOR FINISH INDEX

- [A] ASPHALT SHINGLES
- [B] STUCCO FINISH
- [C] PRE-FIN. METAL FLASHING (OR) SIDING
- [D] 5" PRE-FIN. ALUM. EAVETROUGH ON 10" WITH PRE-FIN. ALUM. FASCIA C/W PRE-FIN. ALUM. DOWNSPOUT

PROJECT NORTH	TRUE NORTH

No.	REVISION	DATE
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NAME BCIN

REGISTRATION INFORMATION

LEN ANGELICI DESIGN 43162
NAME BCIN

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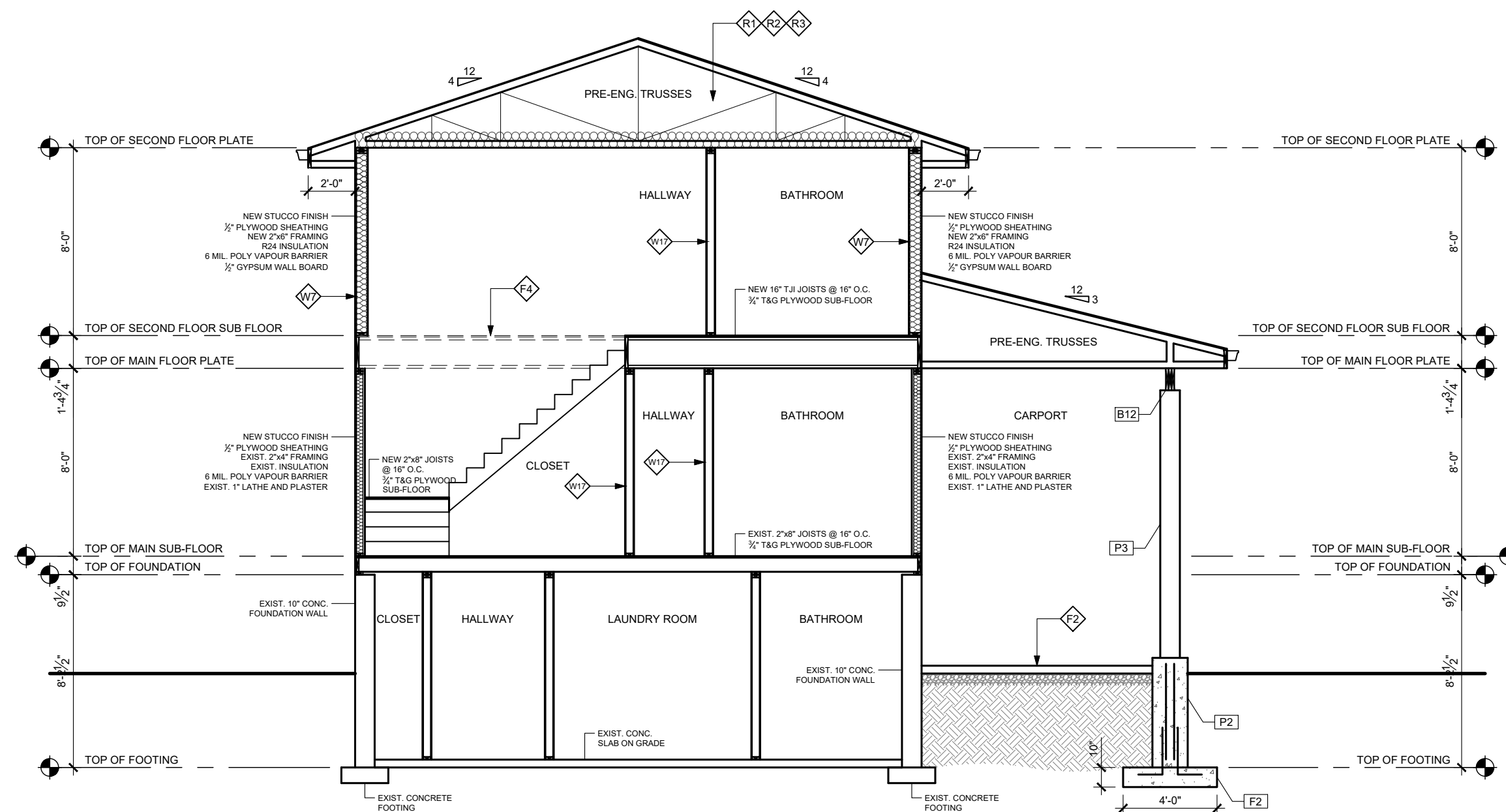
PROPOSED RESIDENCE
80 DUNCAIRN CRES,
HAMILTON, ON.
L9C 6G1

SHEET TITLE

PROPOSED
ELEVATIONS

DRAWN BY	L. ANGELICI
DATE	03/23/2021
SCALE	$\frac{3}{16}" = 1' - 0"$
PROJECT No.	18043

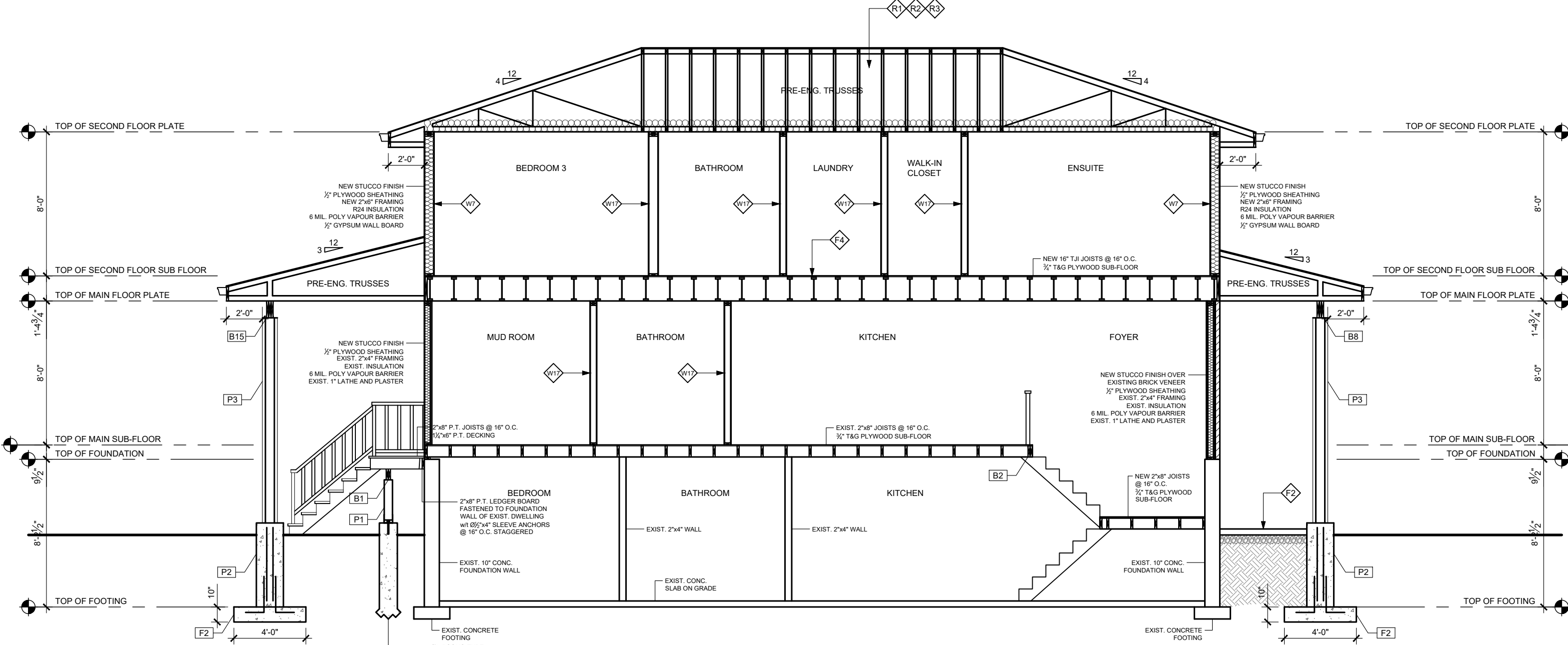
A3



SECTION A

SCALE $\frac{3}{16}'' = 1' - 0''$

- [B7] 3-2"x12" SPF NO. 1 OR 2 LAMINATED TOGETHER
- [P2] 18" CONCRETE PIER 2500psi CONCRETE
- [P3] W8x19 STEEL BEAM (VERTICAL) 8"x8"x5/16" TOP PLATE FASTENED TO UNDERSIDE OF BEAM ABOVE 10"x10"x3/4" BOTTOM PLATE FASTENED TO 18" CONCRETE PIER BELOW
- [F2] 48"x48"x10" CONCRETE PAD w/ 6"x6" SCHEDULE 40S 10M BARS @ 8" O.C. MIN. 3" COVERAGE BARS TO EXTEND 18" FROM FOOTING INTO PIER



SECTION B

SCALE $\frac{1}{8}'' = 1' - 0''$

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LEN ANGELICI DESIGN	43162
NAME	BCIN
03/23/2021	SIGNATURE

Len Angelici Design

270 SHERMAN AVE N. UNIT OF-269
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info@lenangelicidesign.ca

PROJECT

PROPOSED RESIDENCE
80 DUNCAIRN CRES,
HAMILTON, ON.
L9C 6G1

SHEET TITLE	
SECTIONS	
DRAWN BY	L. ANGELICI
DATE	03/23/2021
SCALE	$\frac{3}{16}'' = 1' - 0''$
PROJECT No.	18043

A4

ASSEMBLIES

FOUNDATION WALL ASSEMBLIES

CONCRETE Laterally supported FNDT WALL FOOTINGS:
250mm (10") FOUNDED CONC. FDN. WALL 20 MPa (2900psi) MIN WITH BITUMENOUS DAMPROOFING AND DRAINAGE LAYER w/ MAX BACKFILL HEIGHT IS 2740mm (9'-0"). MAXIMUM POUR HEIGHT IS 3500mm (11'-6") ON 500x155 (20"x6") CONTINUOUS KEYED CON. FTG (TYP). BRACE FNDT WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 75KPA OR COMPACTED ENGINEERED FILL WITH MIN BEARING CAPACITY OF 150kPa OR GREATER. (SEE SOIL REPORT)

MASONRY Laterally supported FNDT WALLS:
250mm (10") CONCR-BLOCK, FDN. WALL PARGEW/ WITH BITUMENOUS DAMPROOFING AND DRAINAGE LAYER. MAX BACKFILL HEIGHT IS 2740mm (9'-0"). MAXIMUM HEIGHT IS 3500mm (11'-6") ON 500x155 (20"x6") CONTINUOUS ON KEY CON. FTG (TYP). BRACE FNDT WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 75KPA OR COMPACTED ENGINEERED FILL WITH MIN BEARING CAPACITY OF 150kPa OR GREATER. (SEE SOIL REPORT)

CONCRETE Laterally unsupported FNDT WALL:
250mm (10") FOUNDED CONC. FDN. WALL 20 MPa (2900psi) MIN WITH BITUMENOUS DAMPROOFING AND DRAINAGE LAYER. MAX BACKFILL HEIGHT IS 2740mm (9'-0"). MAXIMUM POUR HEIGHT IS 3500mm (11'-6") ON 500x155 (20"x6") CONTINUOUS ON KEY CON. FTG (TYP). BRACE FNDT WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 75KPA OR COMPACTED ENGINEERED FILL WITH MIN BEARING CAPACITY OF 150kPa OR GREATER. (SEE SOIL REPORT)

MASONRY Laterally un supported FNDT WALLS:
250mm (10") CONCR-BLOCK, FDN. WALL PARGEW/ WITH BITUMENOUS DAMPROOFING AND DRAINAGE LAYER. MAX BACKFILL HEIGHT IS 2740mm (9'-0"). MAXIMUM HEIGHT IS 3500mm (11'-6") ON 500x155 (20"x6") CONTINUOUS ON KEY CON. FTG (TYP). BRACE FNDT WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 75KPA OR COMPACTED ENGINEERED FILL WITH MIN BEARING CAPACITY OF 150kPa OR GREATER. (SEE SOIL REPORT)

GRADE FOUNDATION WALL:
250mm (10") FOUNDED CONC. FDN. WALL 20 MPa (2900psi) MIN. MAXIMUM POUR HEIGHT IS 2500mm (8'-2") ON 500x155 (20"x6") CONTINUOUS KEYED CON. FTG (TYP). 1200mm (4'-0") BRACE ON GRADE. BRACE FNDT WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 75KPA OR COMPACTED ENGINEERED FILL WITH MIN BEARING CAPACITY OF 150kPa OR GREATER. OUTSIDE OF FOUNDATION TO BE INSULATED WITH 2" RIGID INSULATION MIN (2" RIGID) BELOW GRADE.

ABOVE GRADE WALL ASSEMBLIES

BIODING WALL CONSTRUCTION (2"x4")
BIODING ACCORDING TO CBC 9.2.7.13 AS PER ELEVATION, WITH OSB SHEATHING MEMBRANE 5.5mm (1/2") AS PER ELEVATION, WITH TYVEK MEMBRANE ON 1/2" EXTERIOR TYPE 30x140 (2"x6") STUDS @ 400mm (16") O.C. RSI 4.23 (R24) OR RSI 3.87 (R22) INSULATION AND CONTINUOUS 0.15 (6 mil) POLYETHYLENE VAPOUR BARRIER, 13mm (1/2") INT. DRYWALL FINISH.

STUCCO WALL CONSTRUCTION (2"x4")
STUCCO ACCORDING TO CBC 9.2.7.13 AS PER ELEVATION, WITH OSB SHEATHING MEMBRANE 5.5mm (1/2") AS PER ELEVATION, WITH TYVEK MEMBRANE ON 1/2" EXTERIOR TYPE 30x140 (2"x6") STUDS @ 400mm (16") O.C. RSI 4.23 (R24) OR RSI 3.87 (R22) INSULATION AND CONTINUOUS 0.15 (6 mil) POLYETHYLENE VAPOUR BARRIER, 13mm (1/2") INT. DRYWALL FINISH.

BIODING OR STUCCO WALL CONSTRUCTION (2"x4")
BIODING ACCORDING TO CBC 9.2.7.13 AS PER ELEVATION, WITH OSB SHEATHING MEMBRANE 5.5mm (1/2") AS PER ELEVATION, WITH TYVEK MEMBRANE ON 1/2" EXTERIOR TYPE 30x140 (2"x6") STUDS @ 400mm (16") O.C. RSI 4.23 (R24) OR RSI 3.87 (R22) INSULATION AND CONTINUOUS 0.15 (6 mil) POLYETHYLENE VAPOUR BARRIER, 13mm (1/2") INT. DRYWALL FINISH.

BRICK VENEER OR STONE WALL CONSTRUCTION (2"x4")
50mm (1") FACE BRICK/STONE, 50mm (1") AIR SPACE, 2x10x90, 76 (2"x6"x20) GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 500mm (20") C.C. VERTICAL MTLS TO IN CONTACT WITH WOOD STUD ONLY. APPROVED ASPHALT BUILDING PAPER OR TYVEK, 3.5mm (1/8") OSB SHEATHING, 38x140 (2"x6") STUDS @ 400 O.C. (16") O.C. RSI 4.23 (R24) OR RSI 3.87 (R22) BATT INSULATION, 0.15 (6 mil) POLYETHYLENE VAPOUR BARRIER AND AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH. PROVIDE WEED HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER.

BRICK VENEER OR STONE WALL CONSTRUCTION (2"x4")
50mm (1") FACE BRICK/STONE, 50mm (1") AIR SPACE, 2x10x90, 76 (2"x6"x20) GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 500mm (20") C.C. VERTICAL MTLS TO IN CONTACT WITH WOOD STUD ONLY. APPROVED ASPHALT BUILDING PAPER OR TYVEK, 3.5mm (1/8") OSB SHEATHING, 38x140 (2"x6") STUDS @ 400 O.C. (16") O.C. RSI 4.23 (R24) OR RSI 3.87 (R22) BATT INSULATION, 0.15 (6 mil) POLYETHYLENE VAPOUR BARRIER AND AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH. PROVIDE WEED HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER.

HIGH WALL CONSTRUCTION OPTION A
CONSTRUCTED AS W6 OR W7 OR W8 OR TWO OF, FOR A MAXIMUM WALL HEIGHT OF 5400mm (18'-0") PROVIDE 2-38x140 (2"x6") @ 300mm (12") SPR. #2 CONTINUOUS STUDS PROVIDE 2 ROWS OF SOLID BLOCKING BTW STUDS AT SPACES AT 1850mm (6'-0") (OR AS PER ENGINEERS REPORT)

HIGH WALL CONSTRUCTION OPTION B
CONSTRUCT USING PRE-ENGINEERED WOOD (SEE SHOP DWG FOR LUMBER SUPPLIER)

BASEMENT INSULATION
RSI 3.52 (R20) MIN. INSULATION BLANKET OR BATTS WITH 38x140 (2"x6") STUD WALL AND APPROVED VAPOUR BARRIER FULL HEIGHT OF BASEMENT, WITH BUILDING PAPER BIT THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL.

WALL BETWEEN DWELLING AND GARAGE
PROVIDE AND EFFECTIVE BARRIER TO GAS AND EXHAUST FUMES BETWEEN THE GARAGE AND DWELLING UNIT OVER GARAGE WITH RSI 4.40 (R22) INSULATION BIT JOISTS. TAPE AND SEAL ALL JOINTS GAS TIGHT.

INTERIOR WALL ASSEMBLIES

2X4 INTERIOR LOAD BEARING WALL
FOR BEARING PARTITIONS 38x89 (2X4) 400mm (16") O.C. FOR 2 STOREYS AND 300MM (12") O.C. FOR 3 STOREYS WIT 38x89 (2x4) BOTTOM PLATE AND 2-38x140 (2"x6") TOP PLATE, 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS. PROVIDE ASHLAR BLOCK WHEN LOCATED IN BASEMENT ANCHORED 3'-0" O.C.

2X6 INTERIOR LOAD BEARING WALL
FOR BEARING PARTITIONS 38x140 (2X6) 400mm (16") O.C. FOR 2 STOREYS AND 300MM (12") O.C. FOR 3 STOREYS WIT 38x140 (2x6) BOTTOM PLATE AND 2-38x140 (2"x6") TOP PLATE, 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS. PROVIDE ASHLAR BLOCK WHEN LOCATED IN BASEMENT ANCHORED 3'-0" O.C. SEE DETAIL 5/6B FOR FOOTING SPECS.

2x4 / 2X6 INTERIOR NON-LOAD BEARING WALLS
INTERIOR PARTITIONS 38x89 (2x4) 400mm (16") O.C. WIT 38x89 (2x4) BOTTOM PLATE AND 38x89 (2"x4) TOP PLATE, 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS.
INTERIOR PARTITIONS 38x140 (2x6) 400mm (16") O.C. WIT 38x140 (2x6) BOTTOM PLATE AND 38x140 (2"x6) TOP PLATE, 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS.

DWELLING UNIT AND GARAGE SEPARATION
DOORS AND WALLS BETWEEN THE GARAGE AND DWELLING UNIT SHALL PROVIDE AND EFFECTIVE BARRIER TO GAS AND EXHAUST FUMES AND DOORS SHALL BE FITTED WITH A SELF-CLOSING DEVICE. INSTALL WIT 13mm (1/2") GYPSUM BOARD ON WALL AND CEILING BIT HOUSEHOLD WALL AND GARAGE, RSI 5.46 (R31) IN WALLS. TAPE AND SEAL ALL JOINTS GAS TIGHT.

FLOOR ASSEMBLIES

BASEMENT SLAB
75mm (4") CONCRETE SLAB 25MPa (2950 PSI) AFTER 28 DAYS ON WITH 6"x6"x1/2" W/W M ON 6" COURSE GRANULAR MATERIAL. PROVIDE SOND BREAKER MATERIAL BIT SLAB AND FOOTING. EVERY BASEMENT SHALL BE PROVIDED WITH A FLOOR DRAIN WIT A TRAP SEAL PRIMER.

GARAGE SLAB
100mm (4") CONCRETE SLAB 32MPa (4650 PSI) AFTER 28 DAYS 5-8% AIR ENTRAINMENT, REINFORCED WITH 10M BARS @ 300mm (12") O.C. EACH WAY IN BOTTOM THIRD OF SLAB. SLAB SHALL BEAR 75mm (3") MIN ON FOUNDATION WALL. ANCHORED WIT 10M BENT DOWELS @ 600mm (24") O.C. SLOPE SLAB MIN. 1% FROM DOOR. PROVIDE 4" AND 4" FRUIT CELLAR DOOR. GREAT THAN 6'-2" SEE ENGINEERS DRAWING.

PORCH SLAB
100mm (4") CONCRETE SLAB 32MPa (4650 PSI) AFTER 28 DAYS 5-8% AIR ENTRAINMENT, REINFORCED WITH 10M BARS @ 300mm (12") O.C. EACH WAY IN BOTTOM THIRD OF SLAB. SLAB SHALL BEAR 75mm (3") MIN ON FOUNDATION WALL. ANCHORED WIT 10M BENT DOWELS @ 600mm (24") O.C. SLOPE SLAB MIN. 1% FROM DOOR. PROVIDE 4" AND 4" FRUIT CELLAR DOOR. GREAT THAN 6'-2" SEE ENGINEERS DRAWING.

SUBFLOORING, JOIST SYSTEM
10mm (3/4") T&G SUBFLOOR ON WOOD FLOOR JOISTS AS PER PLANS. FOR CERAMIC TILE APPLICATION (SEE CBC 9.30.6") PROVIDE PANEL TYPE UNDERLAY UNDER RESILIENT @ PARQUET FLOORING. (SEE CBC 9.30.2.1) ALL JOISTS TO BE NAILED, GLUED AND SCREWED AND BRIDGED WIT 38x89 (2"x6") CROSS BRACING OR SOLID BLOCKING @ 2100mm (6'-11") O.C. AND STRAPPING UNLESS A PANEL TYPE CEILING FINISH IS APPLIED (REFER TO SHOP DRAWINGS FOR PRE-ENG JOISTS FROM LUMBER SUPPLIER)

FLOOR OVER GARAGE
THE CONSTRUCTION AS PER F4 AND TO PROVIDE AND EFFECTIVE BARRIER TO GAS AND EXHAUST FUMES BETWEEN THE GARAGE AND DWELLING UNIT OVER GARAGE WIT A RSI 6.46 (R31) INSULATION BIT THE JOISTS. TAPE, SEAL ALL JOINTS GAS TIGHT.

SLABS IN BASEMENT ABOVE FROST LINE
BASEMENT SLABS AS PER F1 THAT ARE LOCATED LESS THAN 600mm (2'-0") BELOW GRADE SHALL BE INSULATED WITH RSI 1.76 (R10) IF IT CONTAINS PIPING AND RSI 1.41 (R8) IF IT DOES NOT CONTAIN PIPING.

ROOF ENVELOPES

ROOF CONSTRUCTION - AS PER PRE-ENG SPEC'S
30YR MIN. ASPHALT ROOF SHINGLES No. 210 (15.25KG/M2) ASPHALT SHINGLES, 10mm (1/2") TY WOOD SHEATHING WITH "I" CLIPS APPROVED WOOD TRUSSES @ 600mm (24") O.C. MAX. SELF-SEALING MEMBRANE TYPE EVAE ICE & WATER PROTECTION TO EXTEND MIN. 12" (300mm) BEYOND INSIDE FACE OF INSIDE WALL. No 15 FELT PAPER NON-PERFORATED FOR THE REST OF ROOF AND TO OVERLAP 2" OVER ICE & WATER PROTECTION. APPROVED EAVES PROTECTION TO EXTEND 900mm (3'-0") FROM EDGE OF ROOF AND MIN. 300mm (12") BEYOND INNER FACE OF EXTERIOR WALL. 38x89 (2"x6") TRUSSES @ 1830mm (6'-0") O.C.

RAIN WATER CONTROL
PREFINISHED ALUM. EAVESTROUGH, FASCIA, RWL & VENTED SOFFIT.

ROOF INSULATION AND VENTING
ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT EAVES, WIT RSI 10.57 (R60) ROOF INSULATION AND APPROVED VAPOUR BARRIER AND CONTINUOUS AIR BARRIER.

COLUMN SUPPORT

SQUARE STEEL POSTS
3/2"x3/2"x20 HSS POST MECH-FASTENED AT TOP AND BOTTOM WIT 6"x6"x25 TOP & BOTTOM PLATE TO EXTEND MIN WIDTH OF BEAM WHERE BEARING ON FOUNDATION WALL OR KNEW WALL. PROVIDE 4-3/4" DIA. BOLTS INTO CONCRETE WALL. CONCRETE PAD FOOTING AS PER PLANS.

SQUARE STEEL POSTS
3/2"x3/2"x20 HSS POST MECH-FASTENED AT TOP AND BOTTOM WIT 6"x6"x25 TOP & BOTTOM PLATE TO EXTEND MIN WIDTH OF BEAM WHERE BEARING ON FOUNDATION WALL OR KNEW WALL. PROVIDE 4-3/4" DIA. BOLTS INTO CONCRETE WALL. CONCRETE PAD FOOTING AS PER PLANS.

WOOD POSTS
SHALL BE 6"x6" BUILT UP No. 1 SPR OR UNLESS CALCULATION PROVIDED. WOOD SHALL BE SEPARATED FROM CONCRETE BY 0.05mm (0.002") POLYETHYLENE FILM. CONCRETE PAD AS PER PLAN.

CONSTRUCTION NOTES

FOUNDATION

ANCHORAGE
38x89 (2x4") SILL PLATE WIT 13mm (1/2") DIA. ANCHOR BOLTS 200m (8") LONG EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-0") O.C. CAULKING OR FIBER GASKET BIT PLATE AND TOP OF FOUNDATION WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.

STEP FOOTINGS
THE VERTICAL STEP BIT HORIZONTAL PORTIONS SHALL NOT EXCEED 600mm (24") FOR FIRM SOILS AND 400mm (16") FOR SAND OR GRAVEL. HORIZONTAL DISTANCE BIT RISERS SHALL BE NOT LESS THAN 800mm.

FOUNDATION DRAINAGE
100mm (4") DIA. WEEPING TILE 150mm (6") CRUSHED STONE OVER AND AROUND WEEPING TILES AT BASEMENT FOOTING PERIMETER.

MASONRY BONDING
CONCRETE AND BRICK VENEER AIR SPACE SHALL BE COMPLETELY FILLED WITH CONCRETE FOR SOLID UNIT.

WINDOW WELL DRAINAGE
EVERY WINDOW WELL SHALL BE DRAINED TO FOOTING LEVEL OR OTHER SUITABLE LOCATION.

FLOOR DRAIN
EVERY BASEMENT SHALL BE PROVIDED WITH A FLOOR DRAIN WIT A TRAP SEAL PRIMER.

WOOD FRAMING

NOTCHING & DRILLING OF MEMBERS
HOLES IN FLOOR, ROOF AND CEILING MEMBERS TO BE MAXIMUM 1/3 ACTUAL DEPTH OF MEMBER AND NOT LESS THAN 2" FROM EDGES.

NOTCHES IN FLOOR, ROOF AND CEILING MEMBERS TO BE LOCATED ON TOP OF MEMBER WITHIN THE ACTUAL DEPTH FROM EDGE OF BEARING AND NOT GREATER THAN 1/3 JOIST DEPTH.

WALL STUDS MAY BE NOTCHED OR DRILLED PROVIDED THAT NO LESS THAN 1/3 THE DEPTH OF STUD REMAINS IF LOAD BEARING AND 1-1/2" IF NON-LOAD BEARING.

ROOF TRUSSES MEMBERS SHALL NOT BE NOTCHED DRILLED OR WEAKENED UNLESS ACCOMMODATED IN THE DESIGN.

FLOOR JOIST
JOIST TO HAVE 1-1/2" END BEARING. JOIST SHALL BEAR ON SILL PLATE FIXED TO FOUNDATION. MAX. DOUBLE HEADER JOIST LENGTH OF 10'-6". MAX DOUBLE TRIMMER JOIST LENGTH OF 8'-0". SLOPE SLAB MIN. 1% FROM DOOR. PROVIDE 4" AND 4" FRUIT CELLAR DOOR. GREAT THAN 6'-2" SEE ENGINEERS DRAWING.

FUTURE GRAB BARS

STUD WALL REINFORCEMENT
STUD WALL REINFORCEMENT SHALL BE INSTALLED IN "MAIN BATHROOMS" WITHIN A DWELLING UNIT ACCORDING TO CBC 9.5.2.3

BLOCKING LOCATION
PROVIDE BLOCKING FOR SIDE GRAB BARS AND BARS OVER TOILET AS WELL AS BAR IN SHOWER. BATH TUB GRAB BAR TO BE LOCATED OPPOSITE THE ENTRANCE TO THE SHOWER AND 1'-0" OF THE BAR TO BE LOCATED TO ONE SIDE OF THE APPROXIMATE LOCATION OF THE FUTURE SEAT IN TUB.

BLOCKING AND FASTENING
ALL BLOCKING MUST BE FASTENED ENOUGH TO WITHSTAND 1.3kN OF FORCE WITHHER VERTICALLY OR HORIZONTALLY ON THE GRAB BAR. A MINIMUM OF 2"x4" BLOCKING IS REQUIRED WITH A MIN. OF 3-3-1/2" NAILS ON EACH SIDE OF BLOCKING.

THERMAL INSULATION

ATTIC HATCH
EVERY ROOF SHALL BE PROVIDED WIT A 533mm x 700mm (2'-0"x2'-0") ATTIC HATCH WIT WEATHERSTRIPPING, RSI 7.0 (R40) RIGID INSULATION BACKING.

RIM JOIST INSULATION
15mm (1/2") WITH TYVEK MEMBRANE ON 1-1/2" RIM JOIST AS PER PLAN WIT OSB SHEATHING WITH RSI 4.23 (R24) OR RSI 3.87 (R22) INSULATION AND CONTINUOUS 0.15 (6 mil) POLYETHYLENE VAPOUR BARRIER FRICION FIT.

STAIRS, HANDRAILS AND GUARDS

STAIRS
CLEAR HEIGHT OVER STAIRS MUST BE MEASURED VERTICALLY MIN. HEIGHT 1950mm (6'-5")

STAIRS DIMENSIONS:
MAX RISE 7-1/2" (200mm)
MIN RUN 8-1/2" (210mm)
MIN TREAD 9-1/2" (235mm)
MAX NOSING 1" (25mm)
MIN HEADROOM 6'-0" (1800mm)
RAILING @ LANDING 2'-7" (800mm)
RAILING @ STAIR 2'-7" (800mm)
MIN WIDTH 2'-1" (600mm)
FOR CURVED STAIRS:
MIN RUN 5-1/2" (150mm)
MIN AVG RUN 7-1/2" (200mm)

HANDRAILS AND GUARD AS PER CBC - 9B.7
FINISHED HANDRAIL ON WOOD PICKETS MAX SPACING 4" BETWEEN PICKETS SHALL NOT BE LESS THAN 800MM (2'-7") AND NOT MORE THAN 950mm (3'-2") WHERE GUARDS ARE REQUIRED. HANDRAILS ON LANDING ARE PERMITTED TO BE NOT MORE THAN 1070mm (3'-6").

GUARDS AS PER CBC - 9B.7
INTERIOR GUARDS FOR STAIRS + 800mm (2'-11")
EXTERIOR GUARDS + 1070mm (3'-6") ABOVE LANDINGS. MAX OPENING WITHIN GUARDS 100mm (4") PROTECTED BY THE GUARD WILL NOT FACILITATE CLIMBING.

MEANS OF EGRESS

MINIMUM BEDROOM WINDOW - CBC 9.7.1.3
AT LEAST ONE BEDROOM WINDOW ON A GIVEN FLOOR IS TO HAVE MIN. 0.32m² UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH A MIN. CLEAR OF 380mm (1'-3")

WINDOW GUARDS - CBC 9.7.1.6 & 9.8.8
A GUARD OR WINDOW WITH A MAXIMUM RESTRICTED OPENING OF 100mm (4") IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 450mm (1'-4") ABOVE FINISHED FLOOR AND THE DISTANCE FROM THE FINISHED FLOOR AND THE DISTANCE FROM THE FINISHED ADJACENT GRADE IS GREATER THAN 1800mm (5'-11").

WINDOW IN EXIT STAIRWAYS - CBC 9.7.3.3
A GUARD OR WINDOW WITH A MAXIMUM RESTRICTED OPENING OF 1070mm (3'-6") SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE 2 ABOVE ON THE WINDOW. SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN PART 4 OF THE ONTARIO BUILDING CODE.

CARBON MONOXIDE ALARMS - CBC 9.3.4
A CARBON MONOXIDE ALARMS CONFERRING TO CAN/CGA-4.19 SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH ROOM WHICH THERE IS INSTALLED A SOLID FUEL BURNING APPLIANCE. CARBON MONOXIDE ALARMS SHALL BE WIRED SO THAT ITS ACTIVATION WILL ACTIVATE THE SMOKE ALARMS.

SMOKE ALARM - CBC 9.10.19
PROVIDE ONE PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS INTERCONNECTED TO AN ELECTRICAL CIRCUIT AND INTERCONNECTED TO ACTIVATE ALL ALARMS IF ONE SOUNDS.

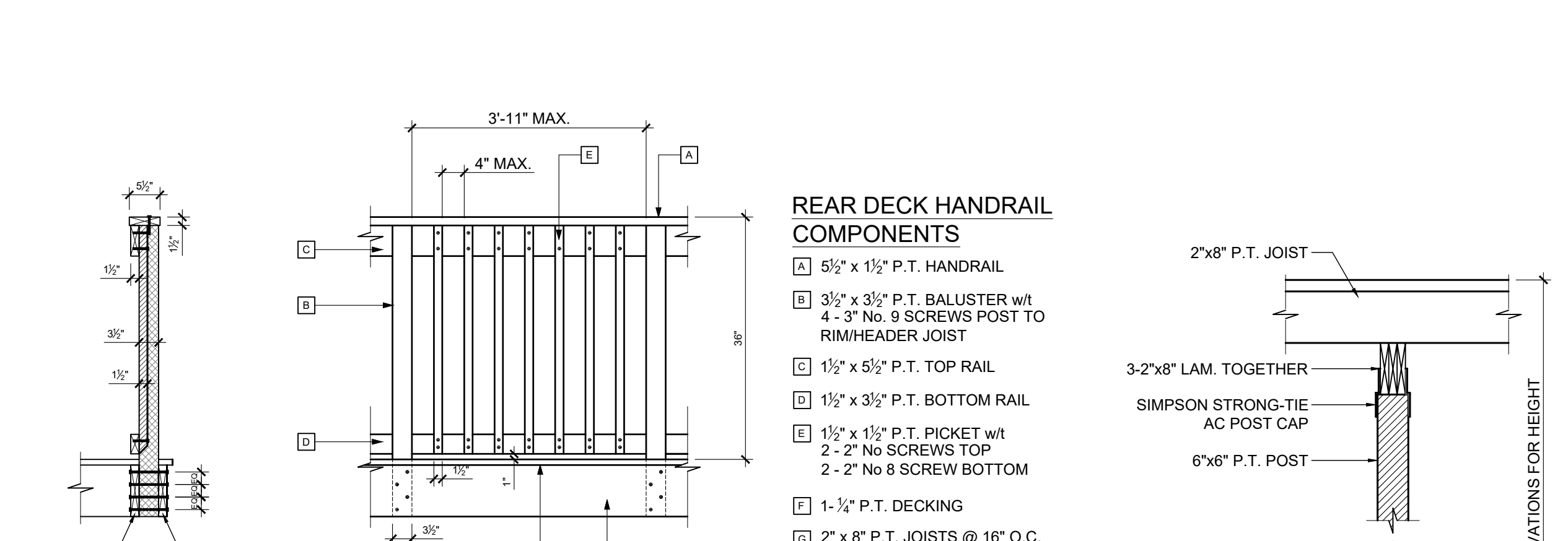
MECHANICAL VENTILATION
WASHROOM AND RANGE TO BE MECHANICALLY VENTED TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR.

DIRECT GAS VENT FURNACE
FURNACE TERMINAL MIN 900mm (36") FROM A GAS REGULATOR MIN. 300mm (12") ABOVE FIN. GRADE FROM ALL OPENINGS EXHAUST AND INTAKE VENTS, HRY INTAKE TO BE A MIN OF 1830mm (6'-0") FROM ALL EXHAUST TERMINALS.

DIRECTS GAS FIRE PLACE
VENTS TO BE A MIN. 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE REFER TO GAS CODE.

NATURAL VENTILATION
EXTERIOR WALLS TO BE A MIN. 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE REFER TO GAS CODE.

WATER RESISTANT FLOORING
FINISHED FLOORING IN BATHROOMS, KITCHENS, ENTRANCE HALL, LAUNDRY AND GENERAL STORAGE AREAS SHALL CONSIST OF RESILIENT FLOORING, FELTED SYNTHETIC FIBRE FLOORING COVERINGS.



SECTION: POST FOUNDATION 4'-0" BELOW GRADE

DETAIL 2: 6"x6" WOOD POST N.T.S.

PROPOSED ROOF PLAN

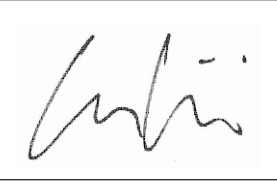
SCALE 3/16" = 1' - 0"

PROJECT NORTH	TRUE NORTH

No.	REVISION	DATE
01.	DRAWINGS FOR PERMIT REVIEW	03/23/2021

- ALL CONTRACTORS AND/OR TRADES SHALL VERIFY ALL DIMENSIONS, NOTES, SITE AND REPORT ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF WORK.
- THIS DRAWING IS NOT TO BE SCALED. ALL DRAWINGS, PRINTS AND RELATED DOCUMENTS ARE THE PROPERTY OF LEN ANGELICI DESIGN AND MUST BE RETURNED UPON REQUEST.
- REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN PART OR WHOLE IS STRICTLY PROHIBITED WITHOUT WRITTEN CONSENT OF LEN ANGELICI DESIGN.
- CONTRACTOR SHALL REVIEW ALL DRAWINGS PRIOR TO COMMENCING CONSTRUCTION FOR ANY ERRORS OR OMISSIONS.
- LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR THE DESIGN OR PRE-ENGINEERED TRUSSES OR ANY PRE-ENGINEERED PRODUCTS.
- LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR HEATING, PLUMBING, OR ELECTRICAL DRAWINGS.
- DRAWING MAY NOT BE CHANGED, ALTERED OR COPIED WITHOUT WRITTEN CONSENT OF LEN ANGELICI DESIGN. FAILURE TO COMPLY WITH THIS STATEMENT IS NOT THE RESPONSIBILITY OF LEN ANGELICI DESIGN.
- LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR POOR CONSTRUCTION PRACTICES.

SEAL

QUALIFICATION INFORMATION	
LEONARD ANGELICI	42391
NAME	BCIN
REGISTRATION INFORMATION	
LEN ANGELICI DESIGN	43162
NAME	BCIN
03/23/2021	
DATE	SIGNATURE

Len Angelici Design

270 SHERMAN AVE N. UNIT OF-269
HAMILTON, ON L8L 6N4
(905) 393-8868
info@lenangelicidesign.ca

PROJECT
PROPOSED RESIDENCE 80 DUNCAIRN CRES, HAMILTON, ON. L9C 6G1

SHEET TITLE	
SECTIONS, DETAILS & ROOF PLAN	
DRAWN BY L. ANGELICI	A5
DATE 03/23/2021	
SCALE	
AS NOTED	
PROJECT No. 18043	

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS
Registered Owners(s)	David Mejia	
Applicant(s)*	Len Angelici	
Agent or Solicitor		
		Phone: _____
		E-mail: _____

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Relief from required front yard depth of 6.0m to 4.78m

5. Why it is not possible to comply with the provisions of the By-law?

Location of existing dwelling does not allow for a covered area over the front entrance

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

LOT 193

80 DUNCAIRN GRES

GOURLAY PARK - REG. PLAN M-129

CITY OF HAMILTON

7. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☐

Other _____

- 8.1 If Industrial or Commercial, specify use _____

- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☒ Unknown ☐

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☒ Unknown ☐

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Area has been residential since construction of subject property

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☒

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

March 16, 2021
Date


Signature Property Owner

José David Nidia Blanco
Print Name of Owner

10. Dimensions of lands affected:

Frontage 13.72 m
Depth 30.48 m
Area 418.19 m²
Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:

Ground floor area: 86.67 m²

Second floor area: 89.60 m²

Gross floor area: 176.27 m²

Proposed

Covered Area: 94.13 m²

2 stories

width: 7.36 m

length: 13.47 m

height: 8.25 m

12. Location of all buildings and structures on or proposed for the subject lands: (Specify distance from side, rear and front lot lines)

Existing:

Front: 6.60 m

Rear: 10.40 m

Right side: 4.62 m

Left side: 1.74 m

Proposed:

Front: 4.78 m

Rear: 7.66 m

Right Side: 1.27 m

Left Side: 1.74 m

13. Date of acquisition of subject lands:

14. Date of construction of all buildings and structures on subject lands:

N/A

15. Existing uses of the subject property:

Single Family Dwelling

16. Existing uses of abutting properties:

Single Family Dwellings

17. Length of time the existing uses of the subject property have continued:

Since Construction

18. Municipal services available: (check the appropriate space or spaces)

Water	<u>✓</u>	Connected	<u>✓</u>
Sanitary Sewer	<u>✓</u>	Connected	<u>✓</u>
Storm Sewers	<u>✓</u>		

19. Present Official Plan/Secondary Plan provisions applying to the land:

Gowley Park - Reg. Plan M-129

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

C/S-1788 Urban Protected Residential, Etc

Parent Bylaw Number 6593 Former Hamilton

21. Has the owner previously applied for relief in respect of the subject property?

☐ Yes

☒ No

If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

☐ Yes

☒ No

23. Additional Information

24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.