



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-21:124

APPLICANTS: Owner David Mejia
Agent Len Angelici

SUBJECT PROPERTY: Municipal address **80 Duncairn Cres., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended by By-law 19-307

ZONING: C/S-1788 district (Urban Protected Residential Etc.)

PROPOSAL: To facilitate the construction of a new roof above the first storey of a single family dwelling with a proposed full second storey, in which the new roof will be supported by columns across the façade, along the length of the dwelling and across the rear wall to provide a roofed-over entrance, carport and a roofed over feature above the rear deck, notwithstanding that:

1. The minimum front yard shall be 4.7 metres to the edge of the eaves instead of the minimum required 6.0 metres.
2. The parking shall consist of two (2) parking spaces instead of the minimum required three (3) parking spaces for a single family dwelling containing nine (9) habitable rooms.

COMMENTS:

1. The variance is written as requested by the applicant.
2. The Zoning By-law defines front yard as

"Yard, Front" shall mean a yard extending across the front of a lot from side lot line to side lot line, and from the front lot line to a principal building or structure, disregarding front steps and unenclosed entrance porches;

Variance 1 applies because the setback for the front yard is measured to the edge of the new roof structure.

3. The submitted plan did not include parking information. Based on the information submitted, tandem parking can be provided and is permitted for two vehicles (2.7m x 6.0m). A side by side parking arrangement would be required to accommodate a third parking space.
4. The applicant has advised that a second kitchen has been provided in the basement of the modified single-family dwelling, but a second dwelling unit has not been created. A building permit is required for a second kitchen.

5. With the exception of the noted modifications to the roof line above the first storey, the second storey that is proposed is consistent with the existing building footprint.
6. The Site-Specific C/S-1788 Zone was created by Amending By-law 19-307. It applies to certain modifications under Section 19 of the Zoning By-law that have been introduced for the conversion of single family dwellings to create second dwelling units. As the proposed changes are for a single family dwelling rather than a converted dwelling, the C District requirements are applicable.

This application will be heard by the Committee as shown below:

DATE: Thursday, May 20th, 2021
TIME: 1:40 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

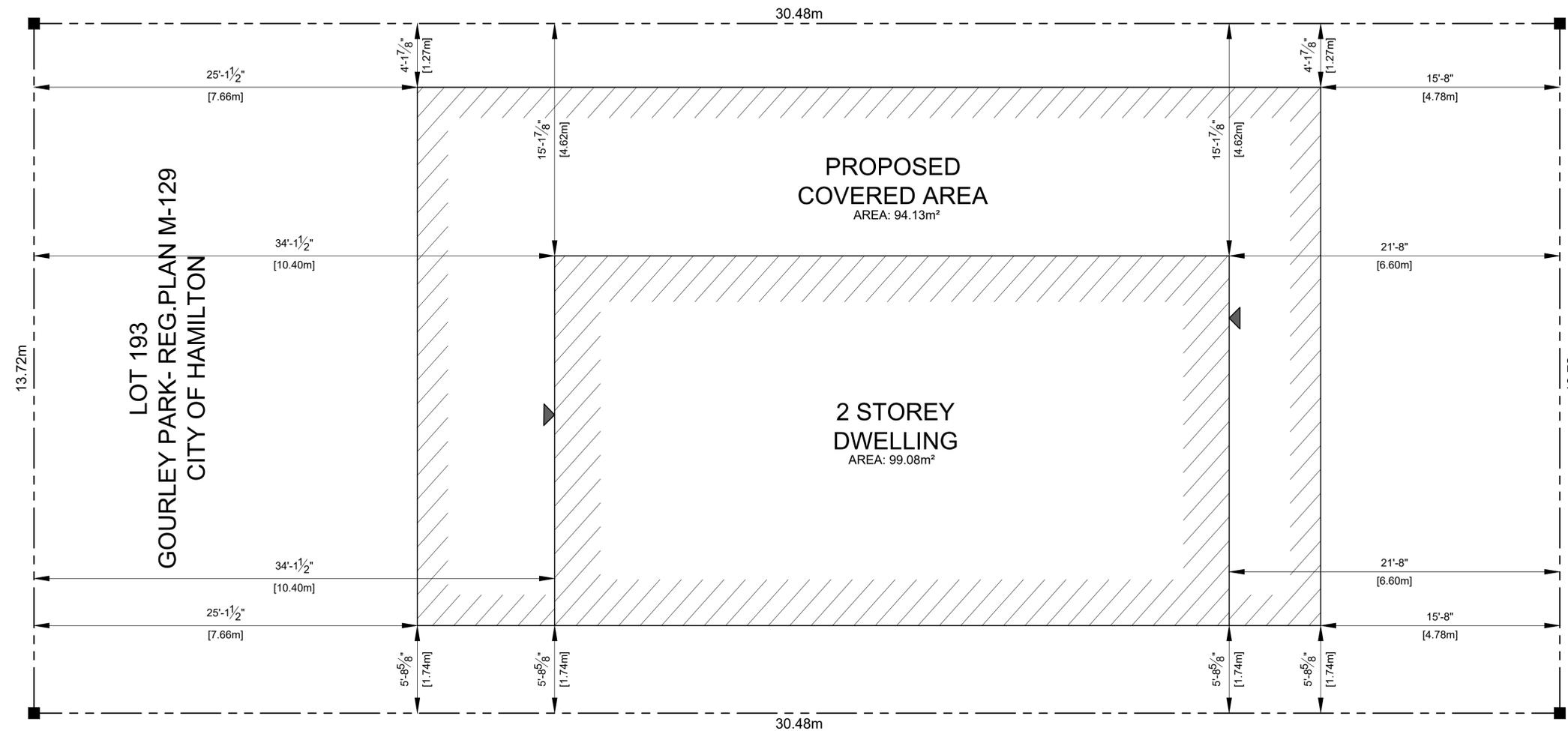
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: May 4th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



LOT 193
 GOURLEY PARK- REG. PLAN M-129
 CITY OF HAMILTON

DUNCAIRN CRESCENT

PROPOSED COVERED AREA
 AREA: 94.13m²

2 STOREY DWELLING
 AREA: 99.08m²

SITE DATA	
ZONE:	C
LOT AREA:	418.19m ²
EXISTING DWELLING FOOTPRINT:	99.08m ²
PROPOSED COVERED AREA:	94.13m ²
LOT COVERAGE: COVERED AREA	22.51%
LOT COVERAGE: DWELLING	23.69%
TOTAL LOT COVERAGE:	46.20%
BUILDING HEIGHT	
No. of STOREYS:	2
COVERED AREA SETBACKS	
FRONT:	4.78m
REAR:	7.66m
RIGHT SIDE:	1.27m
LEFT SIDE:	1.74m

PROJECT NORTH	TRUE NORTH

No.	REVISION	DATE
01.	DRAWINGS FOR PERMIT REVIEW	03/23/2021

- ALL CONTRACTORS AND/OR TRADES SHALL VERIFY ALL DIMENSIONS, NOTES, SITE AND REPORT ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF WORK.
- THIS DRAWING IS NOT TO BE SCALED. ALL DRAWINGS, PRINTS AND RELATED DOCUMENTS ARE THE PROPERTY OF LEN ANGELICI DESIGN AND MUST BE RETURNED UPON REQUEST.
- REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS STRICTLY PROHIBITED WITHOUT WRITTEN CONSENT OF LEN ANGELICI DESIGN.
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- LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR POOR CONSTRUCTION PRACTICES.

SEAL

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
 LEONARD ANGELICI 42391
 NAME BCIN
REGISTRATION INFORMATION
 LEN ANGELICI DESIGN 43162
 NAME BCIN
 03/23/2021
 DATE SIGNATURE

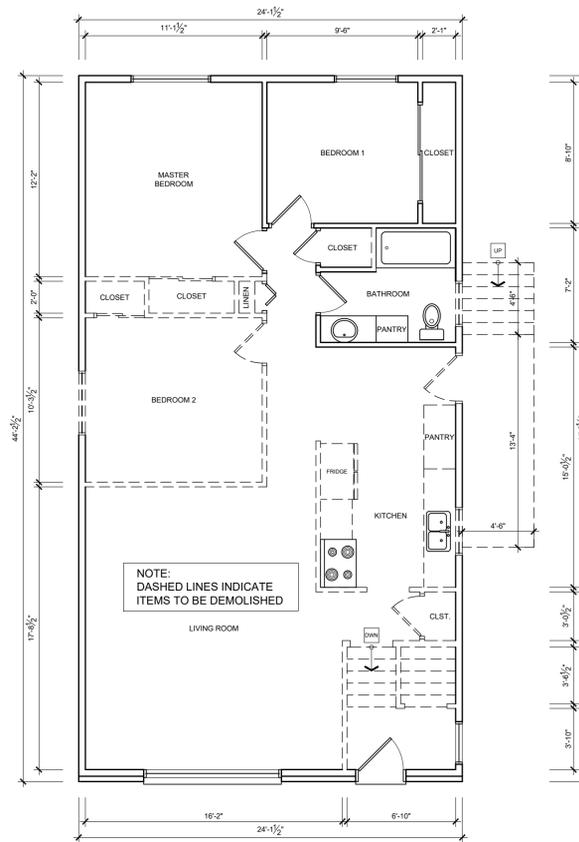
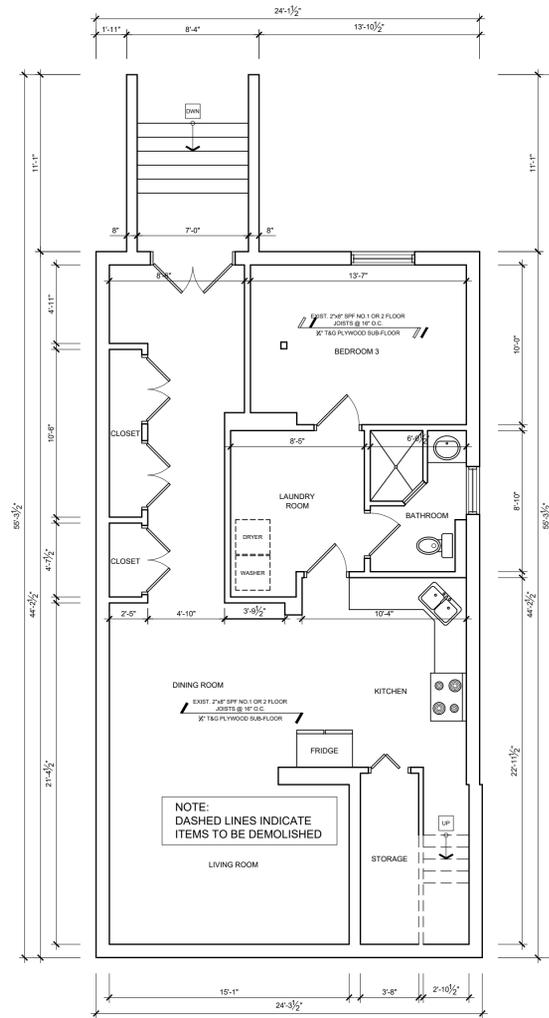
Len Angelici Design
 270 SHERMAN AVE N. UNIT OF-269
 HAMILTON, ON L8L 6N4
 (905) 393-8868
 info@lenangelicidesign.ca

PROJECT
 PROPOSED RESIDENCE
 80 DUNCAIRN CRES,
 HAMILTON, ON,
 L9C 6G1

SHEET TITLE
 SITE PLAN

DRAWN BY	L. ANGELICI
DATE	03/23/2021
SCALE	1:50
PROJECT No.	18043

SP1



PROJECT NORTH	TRUE NORTH
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PROJECT
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 80 DUNCAIRN CRES,
 HAMILTON, ON,
 L9C 6G1

SHEET TITLE
 EXISTING FLOOR PLANS

DRAWN BY	A1
L. ANGELICI	
DATE	
03/23/2021	
SCALE	
3/16"=1'-0"	
PROJECT No.	
18043	

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03/23/2021
 DATE SIGNATURE

Len Angelici Design

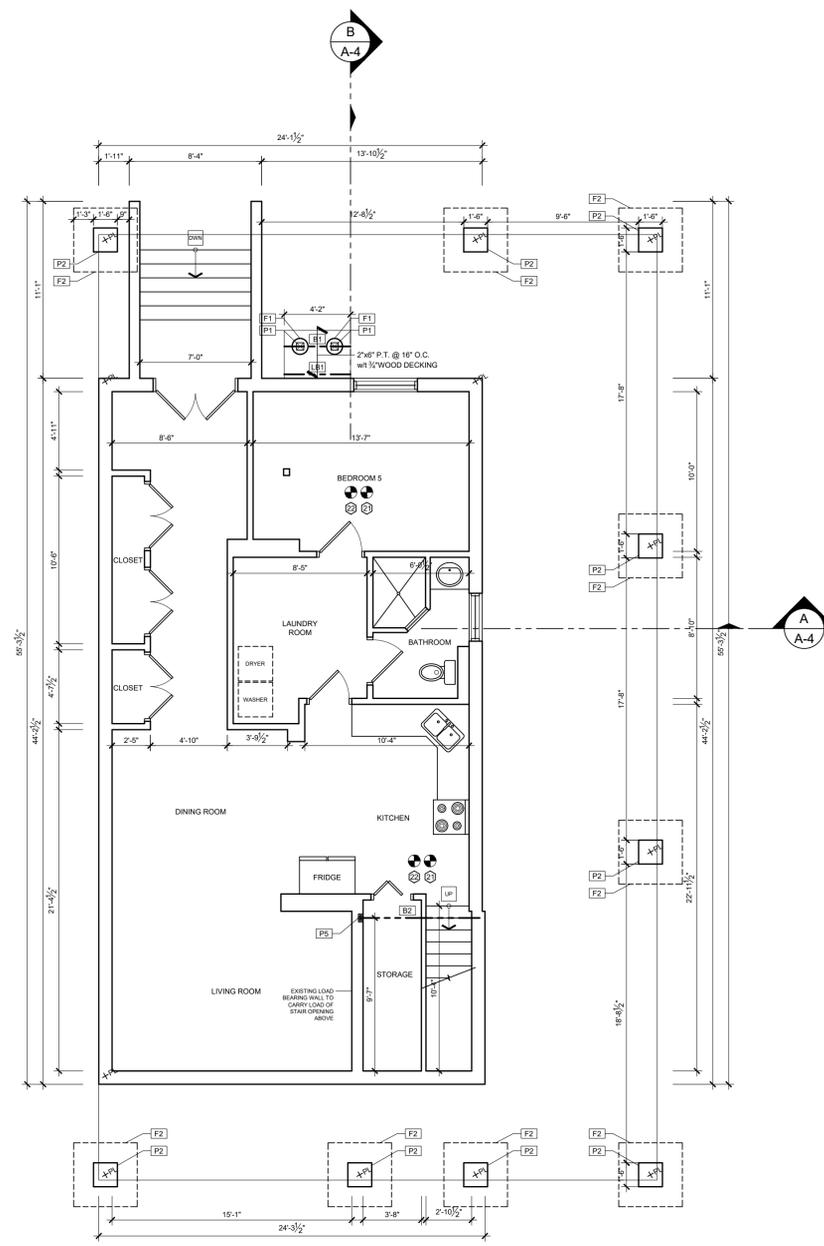
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PROJECT
 PROPOSED RESIDENCE
 80 DUNCAIRN CRES,
 HAMILTON, ON,
 L9C 6G1

SHEET TITLE
PROPOSED FLOOR PLANS

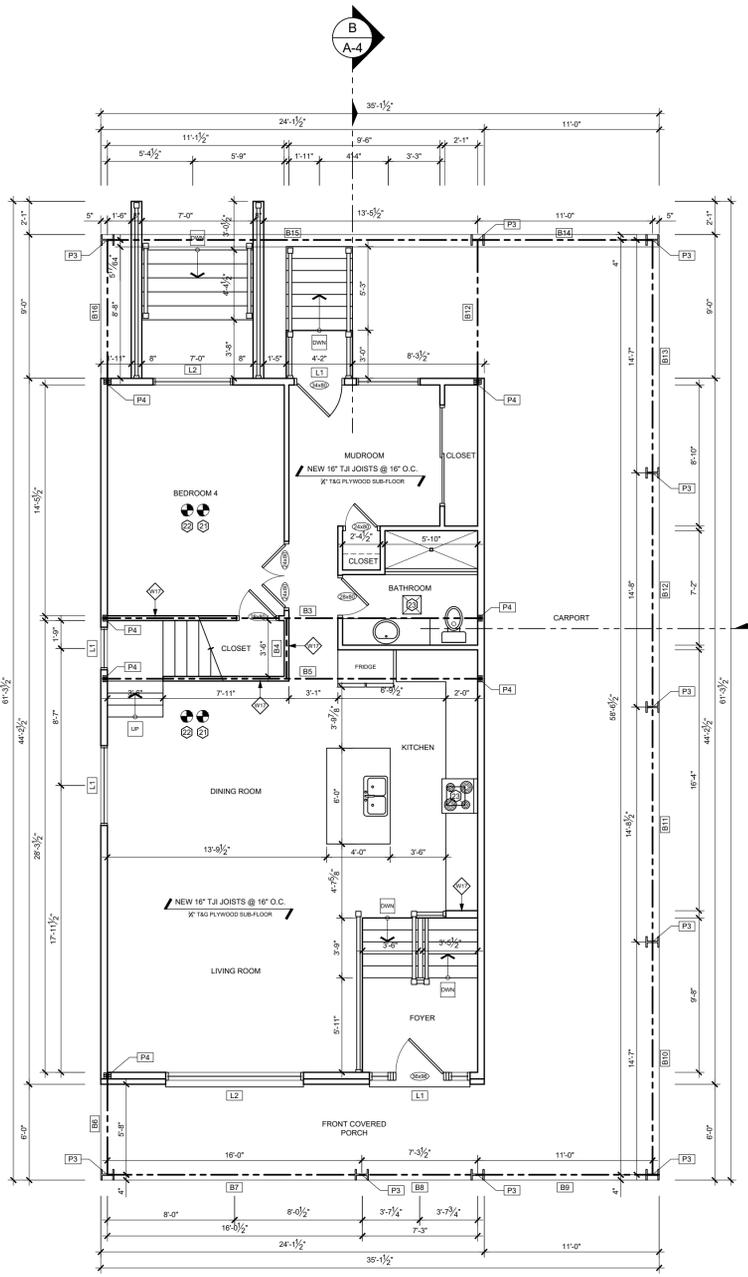
DRAWN BY	L. ANGELICI
DATE	03/23/2021
SCALE	3/16" = 1'-0"
PROJECT No.	18043

A2



PROPOSED BASEMENT PLAN
 SCALE 3/16" = 1' - 0"

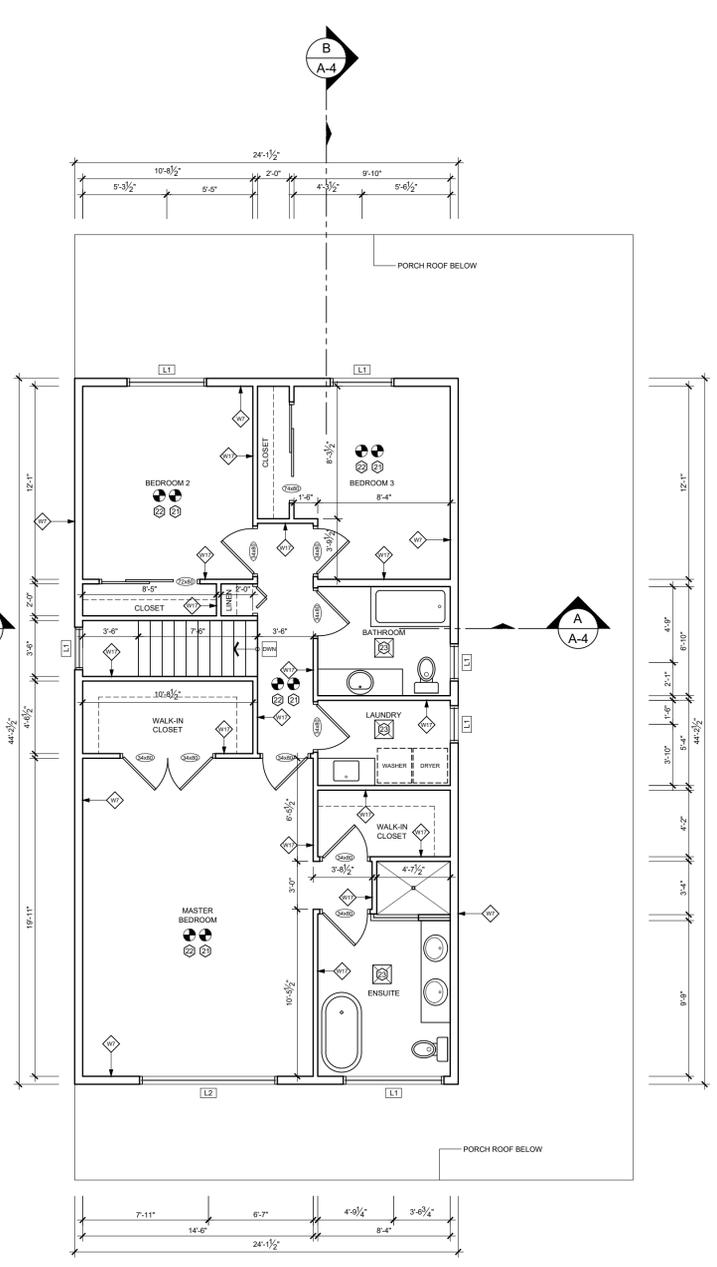
- [B1] 2-2"x8" P.T. WOOD BEAM (DROPPED) BEAM BY TRUSS COMPANY
- [B2] BEAM BY TRUSS COMPANY
- [P1] 6"x6" P.T. WOOD POST "SEE DETAIL 2/A5"
- [P2] 18" CONCRETE PIER 25MPa CONCRETE
- [P3] 3-2"x4" SPF No. 1 or 2 LAMINATED TOGETHER FASTENED TO FOOTING BELOW
- [L1] 2-2"x8" SPF No. 1 or 2 LAMINATED TOGETHER
- [L2] 2-2"x10" SPF No. 1 or 2 LAMINATED TOGETHER
- [F1] 6"x6" P.T. POST w/ 012" SONO-TUBE SHORCON STRONG-TIE POST STAND-OFF BASE BOTTOM OF SONO-TUBE MIN. 4'-0" BELOW GRADE AND MATCH DEPTH OF HOUSE FOOTING "SEE DETAIL 2/A5"
- [F2] 48"x48"x10" CONCRETE PAD w/ 012" SONOTUBES 10M BARS @ 6" O.C. MIN. 3" COVERAGE BARS TO EXTEND 16" FROM FOOTING INTO PIER



PROPOSED MAIN FLOOR PLAN
 SCALE 3/16" = 1' - 0"
 MAIN FLOOR AREA: 932.91ft² (86.67m²)
 STAIR OPENING: 70.08ft² (6.5m²)

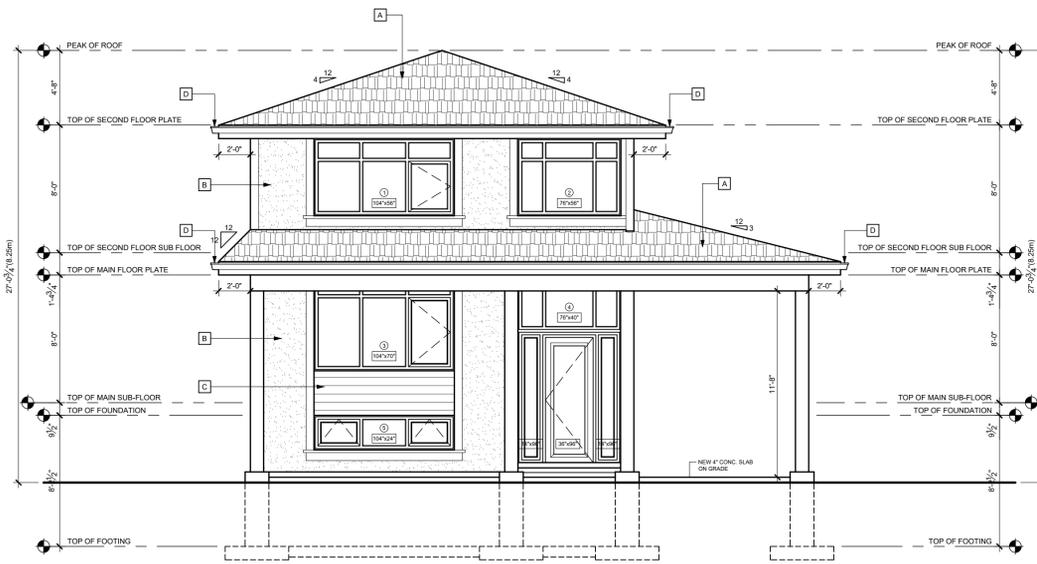
TOTAL AREA OF WORK:
 INTERIOR: 2005.98ft² (186.36m²)
 EXTERIOR : 1013.17ft² (94.13m²)

- [B3] BEAM BY TRUSS COMPANY
- [B4] BEAM BY TRUSS COMPANY
- [B5] BEAM BY TRUSS COMPANY
- [B6] 3-2"x12" SPF NO. 1 OR 2 LAMINATED TOGETHER
- [B7] 3-2"x12" SPF NO. 1 OR 2 LAMINATED TOGETHER
- [B8] 2-2"x12" SPF NO. 1 OR 2 LAMINATED TOGETHER
- [B9] 3-2"x12" SPF NO. 1 OR 2 LAMINATED TOGETHER
- [B10] 3-2"x12" SPF NO. 1 OR 2 LAMINATED TOGETHER
- [B11] 3-2"x12" SPF NO. 1 OR 2 LAMINATED TOGETHER
- [B12] 3-2"x12" SPF NO. 1 OR 2 LAMINATED TOGETHER
- [B13] 3-2"x12" SPF NO. 1 OR 2 LAMINATED TOGETHER
- [B14] 3-2"x12" SPF NO. 1 OR 2 LAMINATED TOGETHER
- [B15] 3-2"x12" SPF NO. 1 OR 2 LAMINATED TOGETHER
- [B16] 3-2"x12" SPF NO. 1 OR 2 LAMINATED TOGETHER
- [L1] 2-2"x8" SPF No. 1 or 2 LAMINATED TOGETHER
- [L2] 2-2"x10" SPF No. 1 or 2 LAMINATED TOGETHER
- [P3] W/8x18- STEEL BEAM (VERTICAL) 8"x8"x18" TOP PLATE FASTENED TO UNDERSIDE OF BEAM ABOVE 10"x10"x18" BOTTOM PLATE FASTENED TO 18" CONCRETE PIER BELOW
- [F1] 3-2"x8" SPF No. 1 or 2 LAMINATED TOGETHER FASTENED TO FOUNDATION WALL BELOW

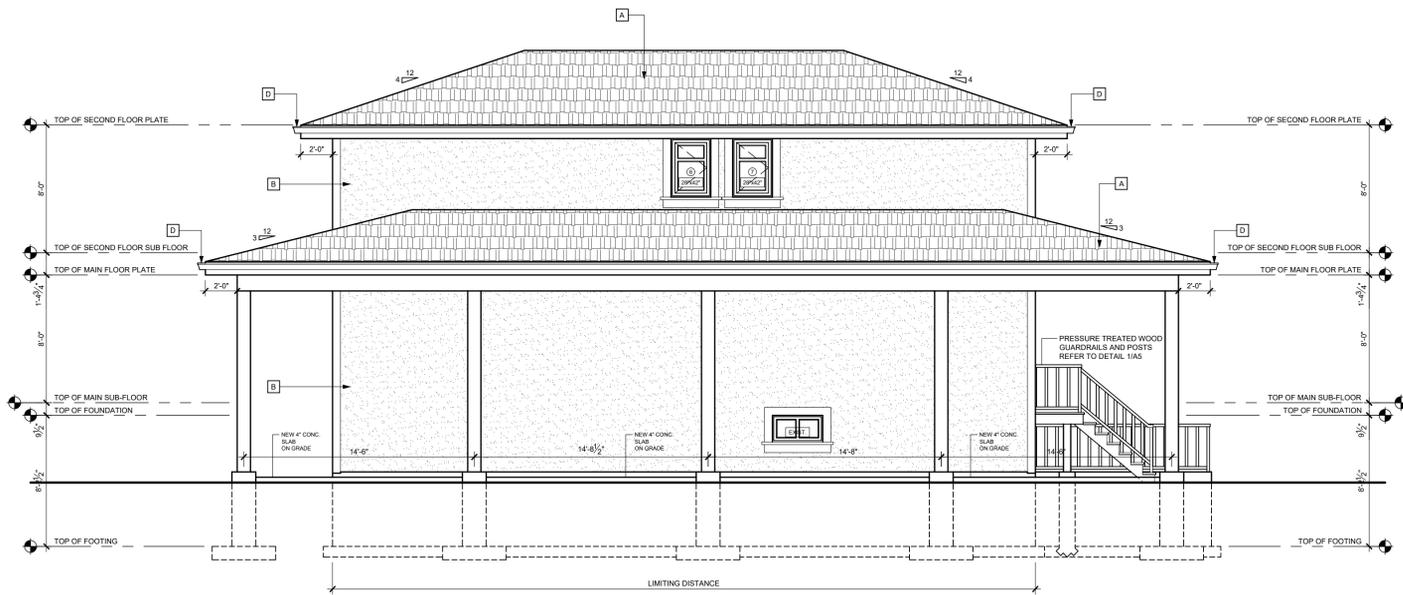


PROPOSED SECOND FLOOR PLAN
 SCALE 3/16" = 1' - 0"
 SECOND FLOOR AREA: 964.49ft² (89.60m²)
 STAIR OPENING: 38.50ft² (3.58m²)

- [L1] 2-2"x8" SPF No. 1 or 2 LAMINATED TOGETHER
- [L2] 2-2"x10" SPF No. 1 or 2 LAMINATED TOGETHER

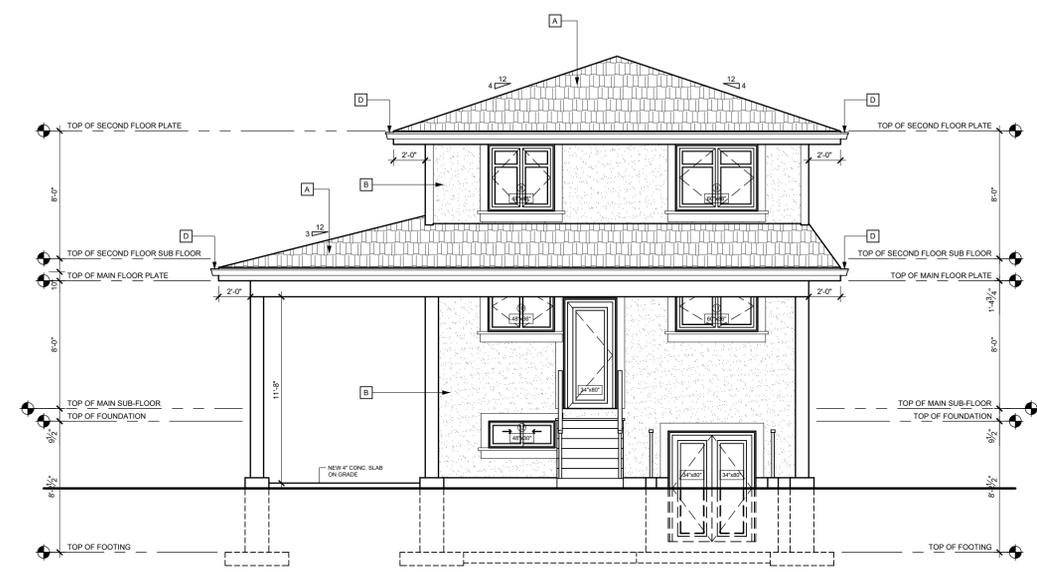


PROPOSED FRONT ELEVATION
SCALE 3/16" = 1' - 0"

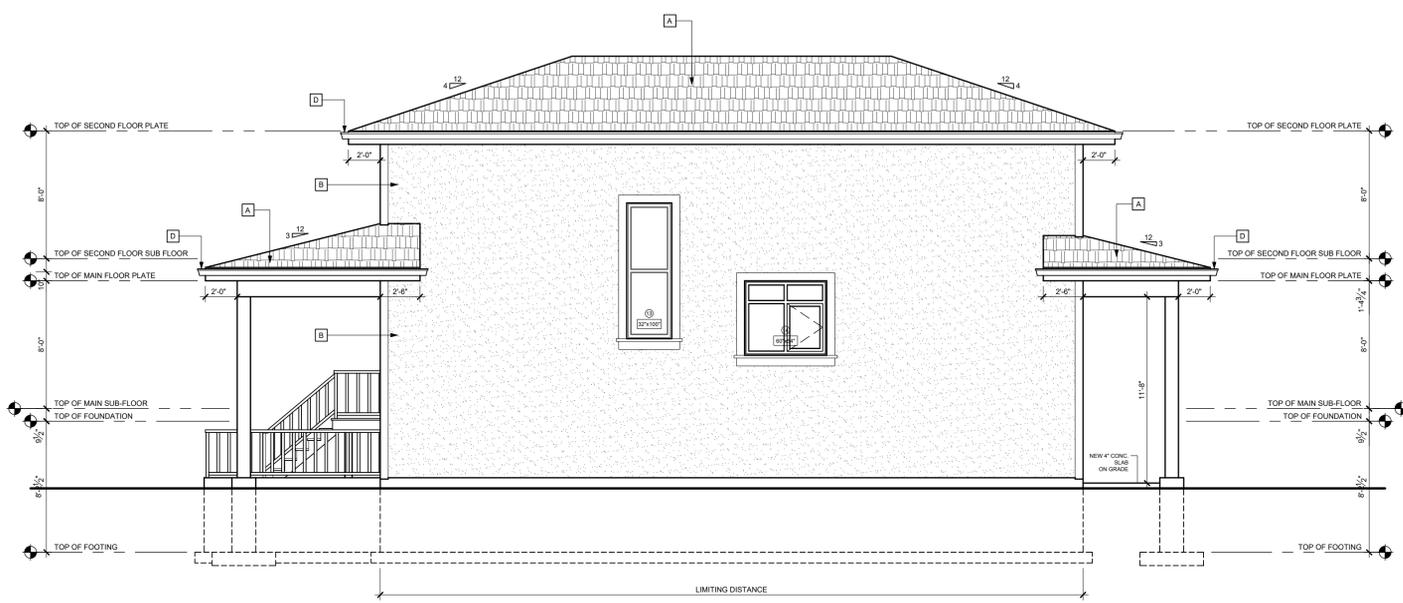


PROPOSED RIGHT ELEVATION
SCALE 3/16" = 1' - 0"

WALL AREA: 67.93m²
WALL SETBACK: 1.27m
UNPROTECTED OPENINGS AREA: 1.11m² = 1.63%
MAXIMUM ALLOWABLE OPENINGS: 7%



PROPOSED REAR ELEVATION
SCALE 3/16" = 1' - 0"



PROPOSED LEFT ELEVATION
SCALE 3/16" = 1' - 0"

WALL AREA: 86.86m²
WALL SETBACK: 1.74m
UNPROTECTED OPENINGS AREA: 3.37m² = 3.87%
MAXIMUM ALLOWABLE OPENINGS: 8%

EXTERIOR FINISH INDEX

- [A] ASPHALT SHINGLES
- [B] STUCCO FINISH
- [C] PRE-FIN. METAL FLASHING (OR) SIDING
- [D] 5" PRE-FIN. ALUM. EAVETROUGH ON 10" WITH PRE-FIN. ALUM. FASCIA C/W PRE-FIN. ALUM. DOWNSPOUT

PROJECT NORTH	TRUE NORTH

01.	DRAWINGS FOR PERMIT REVIEW	03/23/2021
No.	REVISION	DATE

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NAME BCIN

REGISTRATION INFORMATION

LEN ANGELICI DESIGN 43162
NAME BCIN

03/23/2021
DATE SIGNATURE

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PROJECT

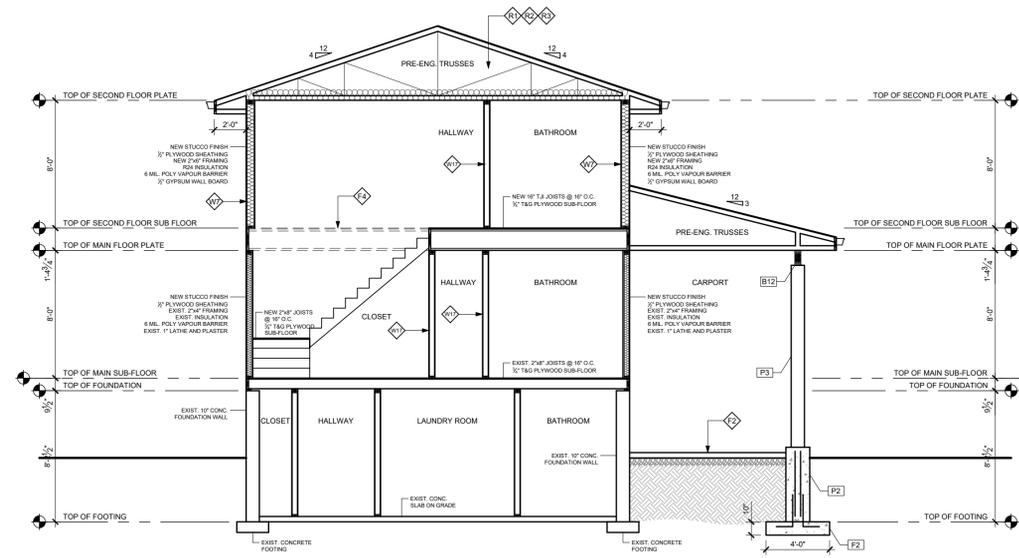
PROPOSED RESIDENCE
80 DUNCAIRN CRES,
HAMILTON, ON,
L9C 6G1

SHEET TITLE

PROPOSED ELEVATIONS

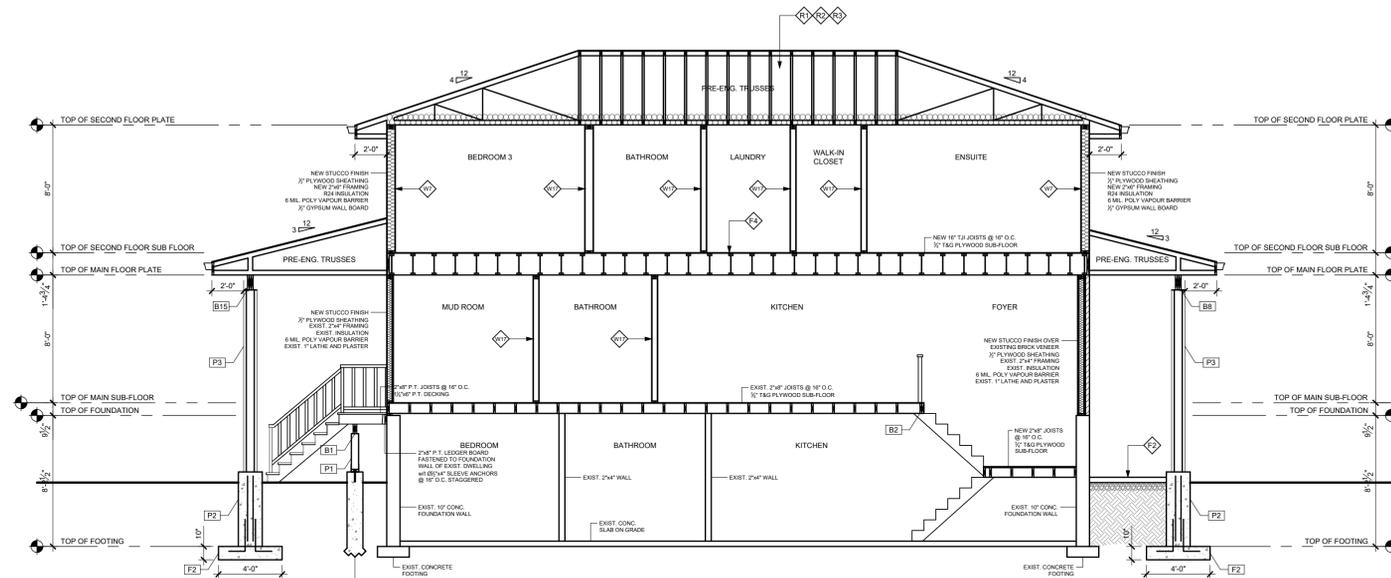
DRAWN BY	L. ANGELICI
DATE	03/23/2021
SCALE	3/16"=1'-0"
PROJECT No.	18043

A3



SECTION A
SCALE $\frac{3}{16}'' = 1' - 0''$

- [B7] 3/4" x 12" SPF NO 1 OR 2 LAMINATED TOGETHER
- [P2] 18" CONCRETE PIER
2500PSI CONCRETE
- [P3] W8x19 STEEL BEAM (VERTICAL)
8"x8" x 5/8" TOP PLATE FASTENED TO UNDERSIDE OF BEAM ABOVE
10"x10" x 3/4" BOTTOM PLATE FASTENED TO 18" CONCRETE PIER BELOW
- [F2] 48"x48"x12" CONCRETE PAD w/ 6"Ø SCHEDULE 40 BARS @ 8" O.C. MIN. 3" COVERAGE BARS TO EXTEND 18" FROM FOOTING INTO PIER



SECTION B
SCALE $\frac{1}{8}'' = 1' - 0''$

PROJECT NORTH	TRUE NORTH

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NAME BCG

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PROPOSED RESIDENCE
80 DUNCAIRN CRES,
HAMILTON, ON,
L9C 6G1

SHEET TITLE

SECTIONS

DRAWN BY

L. ANGELICI

DATE

03/23/2021

SCALE

$\frac{3}{16}'' = 1' - 0''$

PROJECT No.

18043

A4

ASSEMBLIES

FOUNDATION WALL ASSEMBLIES

W1 CONCRETE LATERALLY SUPPORTED FNDT WALL FOOTINGS:
200mm (1") FLOURED CONC. FDN WALL 20 MPa (2900psi) MIN WITH BITUMENOUS DAMPROOFING AND DRAINAGE LAYER W/ MAX BACKFILL HEIGHT IS 2700mm (9'-0"). MAXIMUM POUR HEIGHT IS 3000mm (10'-0") ON 500x155 (20"x6") CONTINUOUS KEYS CON. FTG. TYPE BRACE FNDT WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 750kPa OR COMPACTED ENGINEERED FILL WITH MIN BEARING CAPACITY OF 1500kPa OR GREATER. (SEE SOIL REPORT)

W2 MASONRY LATERALLY SUPPORTED FNDT WALLS:
200mm (1") FLOURED CONC. FDN WALL 20 MPa (2900psi) MIN WITH BITUMENOUS DAMPROOFING AND DRAINAGE LAYER W/ MAX BACKFILL HEIGHT IS 2700mm (9'-0"). MAXIMUM POUR HEIGHT IS 3000mm (10'-0") ON 500x155 (20"x6") CONTINUOUS KEYS CON. FTG. TYPE BRACE FNDT WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 750kPa OR COMPACTED ENGINEERED FILL WITH MIN BEARING CAPACITY OF 1500kPa OR GREATER. (SEE SOIL REPORT)

W3 CONCRETE LATERALLY UNSUPPORTED FNDT WALL:
200mm (1") FLOURED CONC. FDN WALL 20 MPa (2900psi) MIN WITH BITUMENOUS DAMPROOFING AND DRAINAGE LAYER W/ MAX BACKFILL HEIGHT IS 2700mm (9'-0"). MAXIMUM POUR HEIGHT IS 3000mm (10'-0") ON 500x155 (20"x6") CONTINUOUS KEYS CON. FTG. TYPE BRACE FNDT WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 750kPa OR COMPACTED ENGINEERED FILL WITH MIN BEARING CAPACITY OF 1500kPa OR GREATER. (SEE SOIL REPORT)

W4 MASONRY LATERALLY UN SUPPORTED FNDT WALLS:
240mm (1") CONCR-BLOCK FDN WALL PARGEWED WITH BITUMENOUS DAMPROOFING AND DRAINAGE LAYER. MAX BACKFILL HEIGHT IS 2700mm (9'-0"). MAXIMUM POUR HEIGHT IS 3000mm (10'-0") ON 500x155 (20"x6") CONTINUOUS KEYS CON. FTG. TYPE BRACE FNDT WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 750kPa OR COMPACTED ENGINEERED FILL WITH MIN BEARING CAPACITY OF 1500kPa OR GREATER. (SEE SOIL REPORT)

W5 GRADE FOUNDATION WALL:
200mm (1") FLOURED CONC. FDN WALL 20 MPa (2900psi) MAXIMUM POUR HEIGHT IS 2500mm (8'-2") ON 500x155 (20"x6") CONTINUOUS KEYS CON. FTG. TYPE BRACE FNDT WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 750kPa OR COMPACTED ENGINEERED FILL WITH MIN BEARING CAPACITY OF 1500kPa OR GREATER. OUTSIDE OF FOUNDATION TO BE INSULATED WITH 2" RIGID INSULATION MIN (2" R2) BELOW GRADE.

ABOVE GRADE WALL PER ELEVATION

W6 SIDING WALL CONSTRUCTION (2"x4")
SIDING ACCORDING TO CBC 9.13 AS PER ELEVATION. WITH OSB SHEATHING MEMBRANE 9.5mm (3/8") AS PER ELEVATION. WITH TYVEK MEMBRANE ON 1/2" EXTERIOR TYPE 30x140 (2"x6") STUDS @ 400mm (16") O.C. RSI 4.23 (R24) OR RSI 3.87 (R22) INSULATION AND CONTINUOUS 0.15 (6 mil) POLYETHYLENE VAPOUR BARRIER. 13mm (1/2") INT. DRYWALL FINISH.

W7 STUCCO WALL CONSTRUCTION (2"x4")
STUCCO ACCORDING TO CBC 9.28 AS PER ELEVATION. WITH OSB SHEATHING MEMBRANE 9.5mm (3/8") AS PER ELEVATION. WITH TYVEK MEMBRANE ON 1/2" EXTERIOR TYPE 30x140 (2"x6") STUDS @ 400mm (16") O.C. RSI 4.23 (R24) OR RSI 3.87 (R22) INSULATION AND CONTINUOUS 0.15 (6 mil) POLYETHYLENE VAPOUR BARRIER. 13mm (1/2") INT. DRYWALL FINISH.

W8 SIDING OR STUCCO WALL CONSTRUCTION (2"x4")
SIDING ACCORDING TO CBC 9.27, 13 AS PER ELEVATION. WITH OSB SHEATHING MEMBRANE 9.5mm (3/8") AS PER ELEVATION. WITH TYVEK MEMBRANE ON 1/2" EXTERIOR TYPE 30x140 (2"x6") STUDS @ 400mm (16") O.C. RSI 4.23 (R24) OR RSI 3.87 (R22) INSULATION AND CONTINUOUS 0.15 (6 mil) POLYETHYLENE VAPOUR BARRIER. 13mm (1/2") INT. DRYWALL FINISH.

W9 BRICK VENEER OR STONE WALL CONSTRUCTION (2"x4")
200mm (1") FACE BRICKWORK. 20mm (1") AIR SPACE 20x180x76 (2"x6"x30) GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL MT. TIES TO IN CONTACT WITH WOOD STUD ONLY. APPROVED ASPHALT BUILDING PAPER OR TYVEK. 3.2mm (1/8") OSB SHEATHING. 38x140 (2"x6") STUDS @ 400 O.C. (16") O.C. RSI 4.23 (R24) OR RSI 3.87 (R22) BATT INSULATION. 0.15 (6 mil) POLYETHYLENE VAPOUR BARRIER AND AIR BARRIER. 13mm (1/2") INT. DRYWALL FINISH. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER.

W10 BRICK VENEER OR STONE WALL CONSTRUCTION (2"x4")
200mm (1") FACE BRICKWORK. 20mm (1") AIR SPACE 20x180x76 (2"x6"x30) GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL MT. TIES TO IN CONTACT WITH WOOD STUD ONLY. APPROVED ASPHALT BUILDING PAPER OR TYVEK. 3.2mm (1/8") OSB SHEATHING. 38x140 (2"x6") STUDS @ 400 O.C. (16") O.C. RSI 4.23 (R24) OR RSI 3.87 (R22) BATT INSULATION. 0.15 (6 mil) POLYETHYLENE VAPOUR BARRIER AND AIR BARRIER. 13mm (1/2") INT. DRYWALL FINISH. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER.

W11 HIGH WALL CONSTRUCTION OPTION A
CONSTRUCTED AS W6 OR W7 OR W8 OR TWO OF FOR A MAXIMUM WALL HEIGHT OF 5400mm (18'-0") PROVIDE 2.38x140 (2"x6") @ 300mm (12") SPR. #2 CONTINUOUS STUDS PROVIDE 2 ROWS OF SOLID BLOCKING BTW STUDS AT SPACES AT 1850mm (6'-1"). (OR AS PER ENGINEERS REPORT)

W12 HIGH WALL CONSTRUCTION OPTION B
CONSTRUCT USING PRE-ENGINEERED WOOD (SEE SHOP DWG FOR LUMBER SUPPLIER)

W13 BASEMENT INSULATION
RSI 3.52 (R20) MIN. INSULATION BLANKET OR BATT WITH 38x140 (2"x6") STUD WALL AND APPROVED VAPOUR BARRIER FULL HEIGHT OF BASEMENT. WITH BUILDING PAPER BIT THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL.

W14 WALL BETWEEN DWELLING AND GARAGE
PROVIDE AND EFFECTIVE BARRIER TO GAS AND EXHAUST FUMES BETWEEN THE GARAGE AND DWELLING UNIT OVER GARAGE WITH RSI 4.40 (R22) INSULATION BT JOISTS. TAPE AND SEAL ALL JOINTS GAS TIGHT.

INTERIOR WALL ASSEMBLIES

W15 2X4 INTERIOR LOAD BEARING WALL
FOR BEARING PARTITIONS 38x89 (2x4) 400mm (16") O.C. FOR 2 STOREYS AND 300MM (12") O.C. FOR 3 STOREYS W/IT 38x89 (2x4) BOTTOM PLATE AND 2.38x140 (2"x6") TOP PLATE. 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS. PROVIDE ASHLAR BLOCK WHEN LOCATED IN BASEMENT ANCHORED 3'-0" O.C.

W16 2X6 INTERIOR LOAD BEARING WALL
FOR BEARING PARTITIONS 38x140 (2x6) 400mm (16") O.C. FOR 2 STOREYS AND 300MM (12") O.C. FOR 3 STOREYS W/IT 38x140 (2x6) BOTTOM PLATE AND 2.38x140 (2"x6") TOP PLATE. 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS. PROVIDE ASHLAR BLOCK WHEN LOCATED IN BASEMENT ANCHORED 3'-0" O.C. SEE DETAIL 5/6B FOR FOOTING SPECS.

W17 2x4 / 2X6 INTERIOR NON-LOAD BEARING WALLS
ANTERIOR PARTITIONS 38x89 (2x4) 400mm (16") O.C. W/IT 38x89 (2x4) BOTTOM PLATE AND 2.38x140 (2"x6") TOP PLATE. 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS.
ANTERIOR PARTITIONS 38x140 (2x6) 400mm (16") O.C. W/IT 38x140 (2x6) BOTTOM PLATE AND 2.38x140 (2"x6") TOP PLATE. 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS.

W18 DWELLING UNIT AND GARAGE SEPARATION
DOORS AND WALLS BETWEEN THE GARAGE AND DWELLING UNIT SHALL PROVIDE AND EFFECTIVE BARRIER TO GAS AND EXHAUST FUMES AND DOORS SHALL BE FITTED WITH A SELF-CLOSING DEVICE. INSTALL W/IT 13mm (1/2") GYP/SLM BOARD ON WALL AND CEILING BT HOUSEHOLD AND GARAGE. RSI 5.46 (R31) IN WALLS. TAPE AND SEAL ALL JOINTS GAS TIGHT.

FLOOR ASSEMBLIES

F1 BASEMENT SLAB
75mm (4") CONCRETE SLAB 25MPa (2950 PSI) AFTER 28 DAYS ON WITH 6"x6"x1/2" W/M ON 6" COURSE GRANULAR MATERIAL. PROVIDE 50% BREAKER MATERIAL BT SLAB AND FOOTING. EVERY BASEMENT SHALL BE PROVIDED WITH A FLOOR DRAIN W/IT A TRAP SEAL PRIMER.

F2 GARAGE SLAB
100mm (4") CONCRETE SLAB 32MPa (4650 PSI) AFTER 28 DAYS 5.8% AIR ENTRAINMENT. REINFORCED WITH 10M BARS @ 300mm (12") O.C. EACH WAY IN BOTTOM THIRD OF SLAB. SLAB SHALL BEAR 75mm (3") MIN ON FOUNDATION WALL ANCHORED W/IT 10M BENT DOWELS @ 600mm (24") O.C. SLOPE SLAB MIN. 1% FROM DOOR. PROVIDE 4" AND AT FRUIT CELLAR DOOR. GREAT THAN 6" 2" SEE ENGINEERS DRAWING.

F3 PORCH SLAB
200mm (8") CONCRETE SLAB 32MPa (4650 PSI) AFTER 28 DAYS 5.8% AIR ENTRAINMENT. REINFORCED WITH 10M BARS @ 300mm (12") O.C. EACH WAY IN BOTTOM THIRD OF SLAB. SLAB SHALL BEAR 75mm (3") MIN ON FOUNDATION WALL ANCHORED W/IT 10M BENT DOWELS @ 600mm (24") O.C. SLOPE SLAB MIN. 1% FROM DOOR. PROVIDE 4" AND AT FRUIT CELLAR DOOR. GREAT THAN 6" 2" SEE ENGINEERS DRAWING.

F4 SUBFLOORING JOIST SYSTEM
10mm (3/8") 1x6 SUBFLOOR ON WOOD FLOOR JOISTS AS PER PLANS. FOR CERAMIC TILE APPLICATION (SEE CBC 9.30(7)) PROVIDE PANEL TYPE UNDERLAY UNDER RESILIENT @ PARQUET FLOORING. (SEE CBC 9.32.1.1) ALL JOISTS TO BE NAILED, GLUED AND SCREWED AND BRIDGED W/IT 38x24 (2"x4") CROSS BRACING OR SOLID BLOCKING @ 2100mm (8'-11") O.C. AND STRAPPING UNLESS A PANEL TYPE CEILING FINISH IS APPLIED (REFER TO SHOP DRAWINGS FOR PRE-ENG. JOISTS FROM LUMBER SUPPLIER)

F5 FLOOR OVER GARAGE
THE CONSTRUCTION AS PER F4 AND TO PROVIDE AND EFFECTIVE BARRIER TO GAS AND EXHAUST FUMES BETWEEN THE GARAGE AND DWELLING UNIT OVER GARAGE W/IT RSI 4.46 (R31) INSULATION BT THE JOISTS. TAPE, SEAL ALL JOINTS GAS TIGHT.

F6 SLABS IN BASEMENT ABOVE FROST LINE
BASEMENT SLABS AS PER F1 THAT ARE LOCATED LESS THAN 600mm (2'-0") BELOW GRADE SHALL BE INSULATED WITH RSI 1.16 (R10) IF IT CONTAINS PIPING AND RSI 1.41 (R8) IF IT DOES NOT CONTAIN PIPING.

ROOF ENVELOPES

R1 ROOF CONSTRUCTION - AS PER PRE-ENG SPECS
30YR (MIN) ASPHALT ROOF SHINGLES No. 210 (19.25KG/M2) ASPHALT SHINGLES. 10mm (3/8") WOOD SHEATHING WITH 1" CLIPS APPROVED WOOD TRUSSES @ 600mm (24") O.C. MAX. SELF-SEALING MEMBRANE TYPE ENR ICE & WATER PROTECTION TO EXTEND MIN. 12" (300mm) BEYOND INSIDE FACE OR INSIDE WALL. No 15 FELT PAPER NON-PERFORATED FOR THE REST OF ROOF AND TO OVERLAP OVER ICE & WATER PROTECTION. APPROVED EAVES PROTECTION TO EXTEND 900mm (3'-0") FROM EDGE OF ROOF AND MIN. 300mm (12") BEYOND INNER FACE OF EXTERIOR WALL. 38x38 (2x4) TRUSSES @ 1830mm (6'-0") O.C.

R2 RAIN WATER CONTROL
PREFABRICATED ALUM. EAVESTROUGH, FASCIA, RWL & VENTED SOFFIT.

R3 ROOF INSULATION AND VENTING
ATTIC VENTILATION 1.30 CFM INSULATED CEILING AREA WITH 50% AT EAVES. W/IT RSI 15.57 (R80) ROOF INSULATION AND APPROVED VAPOUR BARRIER AND CONTINUOUS AIR BARRIER.

COLUMN SUPPORT

C1 SQUARE STEEL POSTS
3/2"x3/2"x25 HSS POST MECH-FASTENED AT TOP AND BOTTOM W/IT 6"x6"x25 TOP & BOTTOM PLATE TO EXTEND MIN WIDTH OF BEAM WHERE BEARING ON FOUNDATION WALL OR KNEE WALL PROVIDE 4 - 3/4" DIA. BOLTS INTO CONCRETE WALL. CONCRETE PAD FOOTING AS PER PLANS.

C2 SQUARE STEEL POSTS
3/2"x3/2"x25 HSS POST MECH-FASTENED AT TOP AND BOTTOM W/IT 6"x6" TOP & BOTTOM PLATE TO EXTEND MIN WIDTH OF BEAM WHERE BEARING ON FOUNDATION WALL OR KNEE WALL PROVIDE 4 - 3/4" DIA. BOLTS INTO CONCRETE WALL. CONCRETE PAD FOOTING AS PER PLANS.

C3 WOOD POSTS
SHALL BE 6"x6" BUILT UP No. 1 SPR OR UNLESS CALCULATION PROVIDED. WOOD SHALL BE SEPARATED FROM CONCRETE BY 0.05mm (0.002") POLYETHYLENE FLUM. CONCRETE PAD AS PER PLAN.

CONSTRUCTION NOTES

FOUNDATION

1 ANCHORAGE
38x89 (2x4") SILL PLATE W/IT 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C. CAULKING OR FIBER GASKET BT PLATE AND TOP OF FOUNDATION WALL. USE NON-SHRINK GROUT TO LEVEL. SILL PLATE WHEN REQUIRED.

2 STEP FOOTINGS
THE VERTICAL STEP BT HORIZONTAL PORTIONS SHALL NOT EXCEED 600mm (24") FOR FIRM SOIL AND 400mm (16") FOR SAND OR GRAVEL. HORIZONTAL DISTANCE BT RISERS SHALL BE NOT LESS THAN 800mm.

3 FOUNDATION DRAINAGE
100mm (4") DIA. WEEPING TILE 150mm (6") CRUSHED STONE OVER AND AROUND WEEPING TILES AT BASEMENT FOOTING PERIMETER.

4 MASONRY BONDING
CONCRETE AND BRICK VENEER AIR SPACE SHALL BE COMPLETELY FILLED WITH CONCRETE FOR SOLID UNIT.

5 WINDOW WELL DRAINAGE
EVERY WINDOW WELL SHALL BE DRAINED TO FOOTING LEVEL OR OTHER SUITABLE LOCATION.

6 FLOOR DRAIN
EVERY BASEMENT SHALL BE PROVIDED WITH A FLOOR DRAIN W/IT A TRAP SEAL PRIMER.

WOOD FRAMING

7 NOTCHING & DRILLING OF MEMBERS
A CARBON MONOXIDE ALARMS CONFIRMING TO CAN/CSA-6.19 SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH ROOM WHICH THESE IS INSTALLED A SOLID FUEL BURNING APPLIANCE CARBON MONOXIDE ALARMS SHALL BE WIRED SO THAT ITS ACTIVATION WILL ACTIVATE THE SMOKE ALARMS.

8 WALL STUDS
WALL STUDS MAY BE NOTCHED OR DRILLED PROVIDED THAT NOT LESS THAN 1/3 THE DEPTH OF STUD REMAINS IF LOAD BEARING AND 1/2" FOR NON-LOAD BEARING.

9 ROOF TRUSSES
ROOF TRUSSES MEMBERS SHALL NOT BE NOTCHED DRILLED OR WEAKENED UNLESS ACCOMMODATED IN THE DESIGN.

10 MECHANICAL VENTILATION
WASHROOM AND RANGE TO BE MECHANICALLY VENTED TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR.

11 DIRECT GAS VENT FURNACE
FURNACE TERMINAL MIN 900mm (36") FROM A GAS REGULATOR MIN. 300mm (12") ABOVE FIN. GRADE FROM ALL OPENINGS EXHAUST AND INTAKE VENTS. HWY INTAKE TO BE A MIN OF 1500mm (6'-0") FROM ALL EXHAUST TERMINALS.

12 DIRECT GAS FIRE PLACE
VENTS TO BE A MIN. 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE REFER TO GAS CODE.

13 NATURAL VENTILATION
VENTS TO BE A MIN. 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE REFER TO GAS CODE.

14 WATER RESISTANT FLOORING
FINISHED FLOORING IN BATHROOMS, KITCHENS, ENTRANCE HALL, LAUNDRY AND GENERAL STORAGE AREAS SHALL CONSIST OF RESILIENT FLOORING, FELTED SYNTHETIC FIBRE FLOORING COVERINGS.

15 BLOCCING AND FASTENING
ALL BLOCCING MUST BE FASTENED ENOUGH TO WITHSTAND 1.3kN OF FORCE EITHER VERTICALLY OR HORIZONTALLY ON THE GRAB BAR. A MINIMUM OF 2"X4" BLOCCING IS REQUIRED WITH A MIN. OF 3 - 3/4" NAILS ON EACH SIDE OF BLOCCING.

16 ATTIC HATCH
EVERY ROOF SHALL BE PROVIDED W/IT A 533mm x 700mm (2'-0"x28") ATTIC HATCH W/IT WEATHERSTRIPPING. RSI 7.0 (R40) RIGID INSULATION BACKING.

17 RIM JOIST INSULATION
15mm (1/2") WITH TYVEK MEMBRANE ON 1 - 1/2" RIM JOIST AS PER PLAN W/IT OSB SHEATHING WITH RSI 4.23 (R24) OR RSI 3.87 (R22) INSULATION AND CONTINUOUS 0.15 (6 mil) POLYETHYLENE VAPOUR BARRIER FRICTION FIT.

18 STAIRS, HANDRAILS AND GUARDS

19 STAIRS
CLEAR HEIGHT OVER STAIRS MUST BE MEASURED VERTICALLY MIN. HEIGHT 1950mm (6'-5")

STAIRS DIMENSIONS:
MAX RISE 7 - 1/4" (200mm)
MIN RUN 8 - 1/2" (210mm)
MAX TREAD 9 - 1/2" (230mm)
MAX NOSING 1" (25mm)
MIN HEADROOM 6'-0" (1800mm)
RAILING @ LANDING 2'-0" (600mm)
RAILING @ STAIR 2'-0" (600mm)
MIN WIDTH 2'-1" (600mm)
FOR CURVED STAIRS:
MIN RUN 5 - 1/2" (150mm)
MIN AVG RUN 7 - 1/2" (200mm)

16 HANDRAILS AND GUARD AS PER CBC - S8.7
FINISHED HANDRAIL ON WOOD PICKETS MAX SPACING 4" BETWEEN PICKETS SHALL NOT BE LESS THAN 800MM (2'-7") AND NOT MORE THAN 950mm (3'-1") WHERE GUARDS ARE REQUIRED. HANDRAILS ON LANDING ARE PERMITTED TO BE NOT MORE THAN 1070mm (3'-6").

17 GUARDS AS PER CBC - S8.7
INTERIOR GUARDS FOR STAIRS & 800mm (2'-11") EXTERIOR GUARDS & 1070mm (3'-6") ABOVE LANDINGS. MAX OPENING WITHIN GUARDS 100mm (4") PROTECTED BY ITS EXTERIOR GUARD. W/IT NO FACILITATE CLIMBING.

MEANS OF EGRESS

18 MINIMUM BEDROOM WINDOWS - CBC 9.7.1.3
AT LEAST ONE BEDROOM WINDOW ON A GIVEN FLOOR IS TO HAVE MIN. 0.3m² UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH A MIN. CLEAR @ 300mm (1'-3")

19 WINDOW GUARDS - CBC 9.7.1.6 & 9.8.8.4
A GUARD OR WINDOW WITH A MAXIMUM RESTRICTED OPENING OF 100mm (4") IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 400mm (1'-4") ABOVE FINISHED FLOOR AND THE DISTANCE FROM THE FINISHED FLOOR AND THE DISTANCE FROM THE FINISHED ADJACENT GRADE IS GREATER THAN 1800mm (5'-11").

20 WINDOW IN EXIT STAIRWAYS - CBC 9.7.3.3
A GUARD OR WINDOW THAT EXTEND TO LESS THAN 1070mm (3'-6") SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE 2 ABOVE. THE GUARD SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS ON BALCONY GUARDS AS PROVIDED IN PART 4 OF THE ONTARIO BUILDING CODE.

21 CARBON MONOXIDE ALARMS - CBC 9.3.4
A CARBON MONOXIDE ALARMS CONFIRMING TO CAN/CSA-6.19 SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH ROOM WHICH THESE IS INSTALLED A SOLID FUEL BURNING APPLIANCE CARBON MONOXIDE ALARMS SHALL BE WIRED SO THAT ITS ACTIVATION WILL ACTIVATE THE SMOKE ALARMS.

22 SMOKE ALARM - CBC 9.10.18
PROVIDE ONE PER FLOOR NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS INTERCONNECTED TO AN ELECTRICAL CIRCUIT AND INTERCONNECTED TO ACTIVATE ALL ALARMS IF ONE SOUNDS.

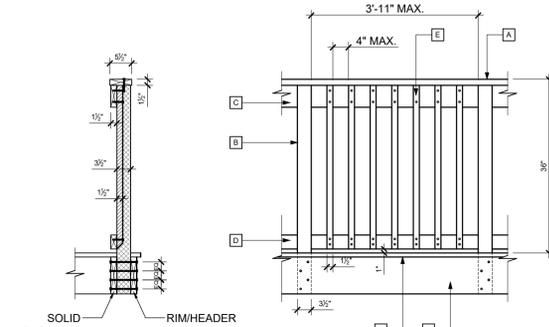
23 MECHANICAL VENTILATION
WASHROOM AND RANGE TO BE MECHANICALLY VENTED TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR.

24 DIRECT GAS VENT FURNACE
FURNACE TERMINAL MIN 900mm (36") FROM A GAS REGULATOR MIN. 300mm (12") ABOVE FIN. GRADE FROM ALL OPENINGS EXHAUST AND INTAKE VENTS. HWY INTAKE TO BE A MIN OF 1500mm (6'-0") FROM ALL EXHAUST TERMINALS.

25 DIRECTS GAS FIRE PLACE
VENTS TO BE A MIN. 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE REFER TO GAS CODE.

26 NATURAL VENTILATION
VENTS TO BE A MIN. 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE REFER TO GAS CODE.

27 WATER RESISTANT FLOORING
FINISHED FLOORING IN BATHROOMS, KITCHENS, ENTRANCE HALL, LAUNDRY AND GENERAL STORAGE AREAS SHALL CONSIST OF RESILIENT FLOORING, FELTED SYNTHETIC FIBRE FLOORING COVERINGS.



DETAIL 1: GUARDRAIL COMPONENTS & CONSTRUCTION N.T.S.

NOTCHES IN FLOOR, ROOF AND CEILING MEMBERS TO BE LOCATED ON TOP OF MEMBER WITH 1/2 THE ACTUAL DEPTH FROM EDGE OF BEARING AND NOT GREATER THAN 1/2 JOIST DEPTH.

WALL STUDS MAY BE NOTCHED OR DRILLED PROVIDED THAT NOT LESS THAN 1/3 THE DEPTH OF STUD REMAINS IF LOAD BEARING AND 1/2" FOR NON-LOAD BEARING.

ROOF TRUSSES MEMBERS SHALL NOT BE NOTCHED DRILLED OR WEAKENED UNLESS ACCOMMODATED IN THE DESIGN.

MECHANICAL VENTILATION WASHROOM AND RANGE TO BE MECHANICALLY VENTED TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR.

DIRECT GAS VENT FURNACE FURNACE TERMINAL MIN 900mm (36") FROM A GAS REGULATOR MIN. 300mm (12") ABOVE FIN. GRADE FROM ALL OPENINGS EXHAUST AND INTAKE VENTS. HWY INTAKE TO BE A MIN OF 1500mm (6'-0") FROM ALL EXHAUST TERMINALS.

DIRECTS GAS FIRE PLACE VENTS TO BE A MIN. 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE REFER TO GAS CODE.

NATURAL VENTILATION VENTS TO BE A MIN. 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE REFER TO GAS CODE.

WATER RESISTANT FLOORING FINISHED FLOORING IN BATHROOMS, KITCHENS, ENTRANCE HALL, LAUNDRY AND GENERAL STORAGE AREAS SHALL CONSIST OF RESILIENT FLOORING, FELTED SYNTHETIC FIBRE FLOORING COVERINGS.

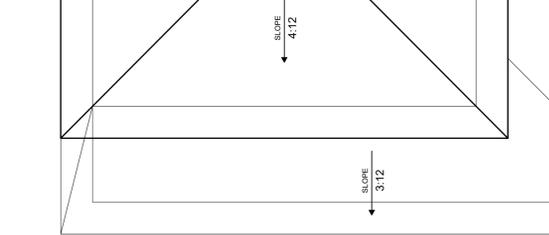
BLOCCING AND FASTENING ALL BLOCCING MUST BE FASTENED ENOUGH TO WITHSTAND 1.3kN OF FORCE EITHER VERTICALLY OR HORIZONTALLY ON THE GRAB BAR. A MINIMUM OF 2"X4" BLOCCING IS REQUIRED WITH A MIN. OF 3 - 3/4" NAILS ON EACH SIDE OF BLOCCING.

ATTIC HATCH EVERY ROOF SHALL BE PROVIDED W/IT A 533mm x 700mm (2'-0"x28") ATTIC HATCH W/IT WEATHERSTRIPPING. RSI 7.0 (R40) RIGID INSULATION BACKING.

RIM JOIST INSULATION 15mm (1/2") WITH TYVEK MEMBRANE ON 1 - 1/2" RIM JOIST AS PER PLAN W/IT OSB SHEATHING WITH RSI 4.23 (R24) OR RSI 3.87 (R22) INSULATION AND CONTINUOUS 0.15 (6 mil) POLYETHYLENE VAPOUR BARRIER FRICTION FIT.

STAIRS, HANDRAILS AND GUARDS

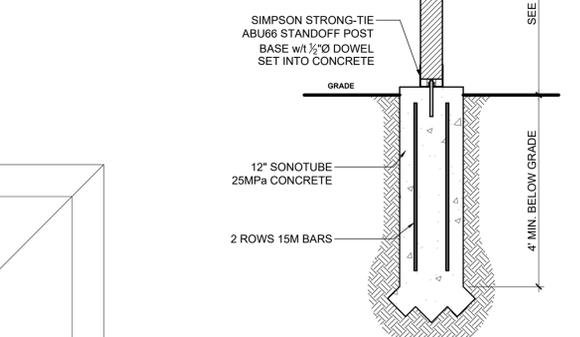
STAIRS DIMENSIONS:
MAX RISE 7 - 1/4" (200mm)
MIN RUN 8 - 1/2" (210mm)
MAX TREAD 9 - 1/2" (230mm)
MAX NOSING 1" (25mm)
MIN HEADROOM 6'-0" (1800mm)
RAILING @ LANDING 2'-0" (600mm)
RAILING @ STAIR 2'-0" (600mm)
MIN WIDTH 2'-1" (600mm)
FOR CURVED STAIRS:
MIN RUN 5 - 1/2" (150mm)
MIN AVG RUN 7 - 1/2" (200mm)



PROPOSED ROOF PLAN SCALE 3/16" = 1' - 0"

REAR DECK HANDRAIL COMPONENTS

- A) 5 1/2" x 1 1/2" P.T. HANDRAIL
- B) 3 1/2" x 3 1/2" P.T. BALUSTER W/IT 4 - 3" No. 9 SCREWS POST TO RIMHEADER JOIST
- C) 1 1/2" x 5 1/2" P.T. TOP RAIL
- D) 1 1/2" x 3 1/2" P.T. BOTTOM RAIL
- E) 1 1/2" x 1 1/2" P.T. PICKET W/IT 2 - 2" No 8 SCREWS TOP 2 - 2" No 8 SCREW BOTTOM
- F) 1 - 1/2" P.T. DECKING
- G) 2" x 8" P.T. JOISTS @ 16" O.C.



SECTION: POST FOUNDATION 4'-0" BELOW GRADE

DETAIL 2: 6"x6" WOOD POST N.T.S.



DETAIL 2: 6"x6" WOOD POST N.T.S.

PROJECT NORTH	TRUE NORTH
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No.	REVISION	DATE
01.	DRAWINGS FOR PERMIT REVIEW	03/23/2021

1. ALL CONTRACTORS AND/OR TRADE SHALL VERIFY ALL DIMENSIONS, NOTES, SITE AND REPORT ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF WORK.
2. THIS DRAWING IS NOT TO BE SCALED. ALL DRAWINGS, PRINTS AND RELATED DOCUMENTS ARE THE PROPERTY OF LEN ANGELICI DESIGN AND MUST BE RETURNED UPON REQUEST.
3. REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS STRICTLY PROHIBITED WITHOUT WRITTEN CONSENT OF LEN ANGELICI DESIGN.
4. CONTRACTOR SHALL REVIEW ALL DRAWINGS PRIOR TO COMMENCING CONSTRUCTION FOR ANY ERRORS OR OMISSIONS.
5. LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR THE DESIGN OR PRE-ENGINEERED TRUSSES OR ANY PRE-ENGINEERED PRODUCTS.
6. LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR HEATING, PLUMBING, OR ELECTRICAL DRAWINGS.
7. DRAWING MAY NOT BE CHANGED, ALTERED OR COPIED WITHOUT WRITTEN CONSENT OF LEN ANGELICI DESIGN. FAILURE TO COMPLY WITH THIS STATEMENT IS NOT THE RESPONSIBILITY OF LEN ANGELICI DESIGN.
8. LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR POOR CONSTRUCTION PRACTICES.

SEAL	



Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS
Registered Owners(s)	David Mejia	[REDACTED]
Applicant(s)*	Len Angelici	
Agent or Solicitor		Phone:
		E-mail:

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Relief from required front yard depth of 6.0m to 4.78m

5. Why it is not possible to comply with the provisions of the By-law?

Location of existing dwelling does not allow for a covered area over the front entrance

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

LOT 193

80 DUNCAIRN GRES

GOURLAY PARK - REG. PLAN M-129

CITY OF HAMILTON

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Area has been residential since construction of subject property

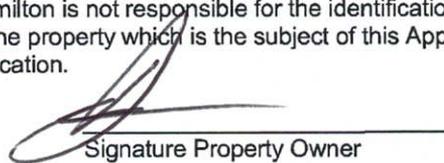
8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

March 16, 2021
Date


Signature Property Owner

José David Nidia Blanco
Print Name of Owner

10. Dimensions of lands affected:

Frontage 13.72 m
Depth 30.48 m
Area 418.19 m²
Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

Ground floor area: 86.67 m²
Second floor area: 89.60 m²
Gross floor area: 176.27 m²
Proposed

2 stories
width: 7.36 m
length: 13.47 m
height: 8.25 m

Covered Area: 94.13 m²

12. Location of all buildings and structures on or proposed for the subject lands: (Specify distance from side, rear and front lot lines)

Existing:

Front: 6.60 m Rear: 10.40 m
Right side: 4.62 m
Left side: 1.74 m

Proposed:

Front: 4.78 m Rear: 7.66 m
Right side: 1.27 m
Left side: 1.74 m

13. Date of acquisition of subject lands:

14. Date of construction of all buildings and structures on subject lands:

N/A

15. Existing uses of the subject property:

Single Family Dwelling

16. Existing uses of abutting properties:

Single Family Dwellings

17. Length of time the existing uses of the subject property have continued:

Since Construction

18. Municipal services available: (check the appropriate space or spaces)

Water	<u>✓</u>	Connected	<u>✓</u>
Sanitary Sewer	<u>✓</u>	Connected	<u>✓</u>
Storm Sewers	<u>✓</u>		

19. Present Official Plan/Secondary Plan provisions applying to the land:

Gourley Park - Reg. Plan M-129

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

C/S-1788 Urban Protected Residential, Etc

Parent Bylaw Number 6593 former Hamilton

21. Has the owner previously applied for relief in respect of the subject property?

Yes

No

If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

23. Additional Information

24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.