

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-21:143

APPLICANTS: KB Civil Constructors Inc.

SUBJECT PROPERTY: Municipal address **24-26 Graham Ave. N., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: "D" (Urban Protected Residential) district

PROPOSAL: To create two separate lots having equal frontage in accordance with Consent Application No. HM/B-21:33 and to permit the construction of a new two (2) storey, two family dwelling on the property known as 24 Graham Avenue North notwithstanding that:

1. A lot area of 342.0m² shall be provided instead of the minimum required lot area of 540.0m²,
2. A lot width of 10.6m shall be provided instead of the minimum required lot width of 18.0m,
3. A side yard width of 0.6m shall be provided instead of the minimum required side yard width of 1.2m,
4. Two (2) parking spaces shall be provided in the front yard whereas the by-law does not permit parking in the front yard within a residential district,
5. No onsite manoeuvring shall be provided for the parking space located within the front yard instead of the minimum required 6.0m manoeuvring aisle width and the requirement that a manoeuvring space shall be provided and maintained on the lot,
6. The parking area shall be permitted to occupy 78% of the gross area of the front yard instead of the maximum 50.0% gross area of the front yard permitted for parking purposes
7. The front yard landscaped area shall be a minimum of 23% the gross area of the front yard instead of the minimum 50.0% required front yard landscaped area.

NOTE:

- i. Variances #1 and #2 are necessary to facilitate Consent Application No. HM/B-21:33

This application will be heard by the Committee as shown below:

DATE:	Thursday, May 20th, 2021
TIME:	3:20 p.m.
PLACE:	Via video link or call in (see attached sheet for details) To be streamed at www.hamilton.ca/committeeofadjustment for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

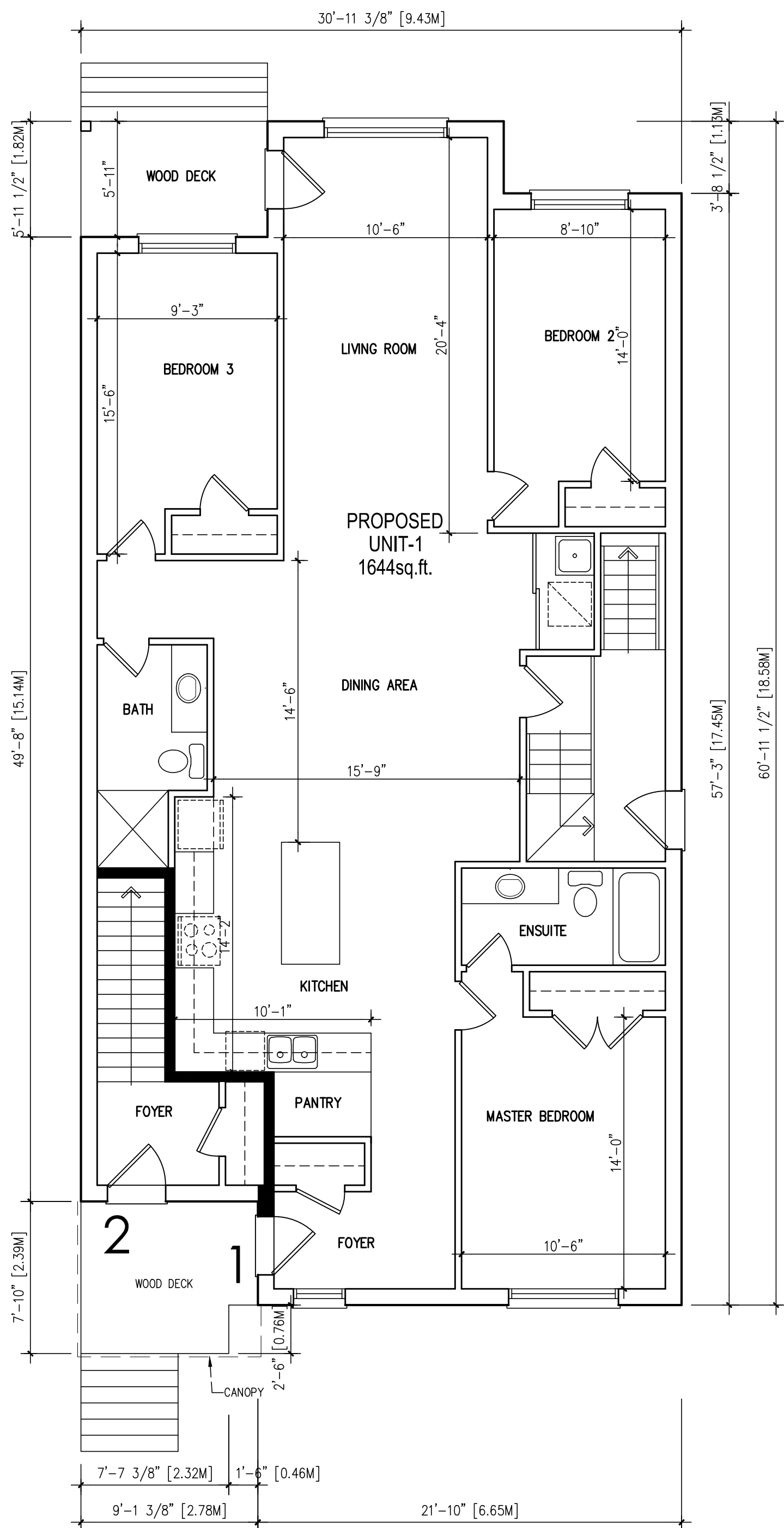
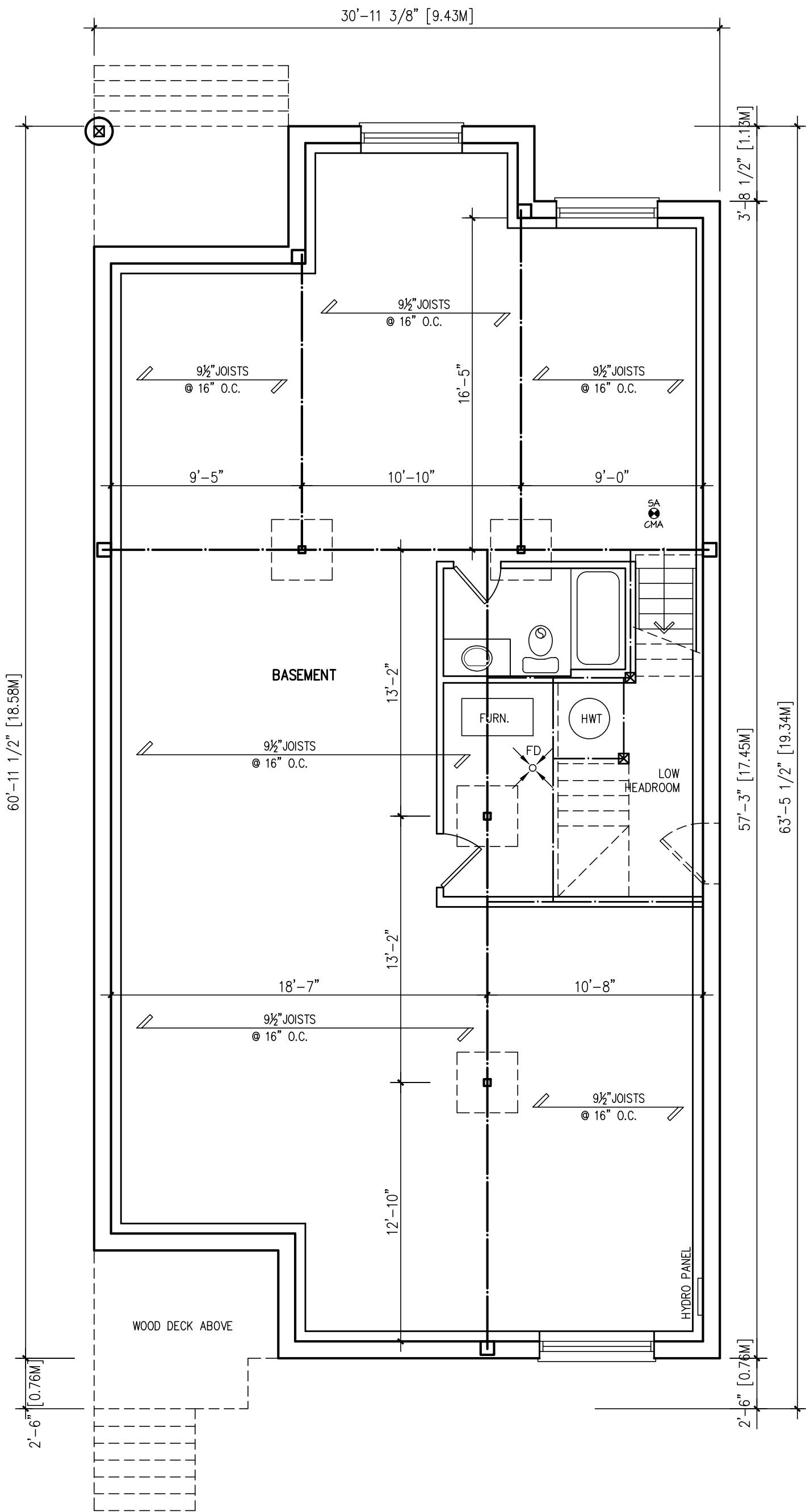
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: May 4th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



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Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the work and report any discrepancies with the Contract Documents to the architect before commencing work.

Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on architectural drawings. The locations shown on the architectural drawings govern over the Mechanical and Electrical drawings. Those items not clearly located will be located as directed by the architect.

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All work to be carried out in conformance with the Code and bylaws of the authorities having jurisdiction.

The Designer of these plans and specifications gives no warranty or representation to any party about the constructability of the represented by them, all contractors or subcontractors must satisfy themselves when bidding and at all times that they can properly construct the work represented by these plans.

notes:

2 rev. as per city comments

02-11-21

1 issued for review - 1

01-19-21

revisions:

m-d-yr

architectural team :

eduardo ortiz

planning:

structural:

electrical:

mechanical:

landscape:

site services:

owner:

family detached

hamilton, ontario

L8H 4J7

project:

graham avenue north

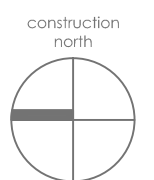
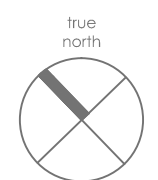
hamilton, ontario

basement &
main floor layouts

feb. 11, 2021

3/16 :1'-0"

adg



date:

scale:

project:

drawn by:

drawing number:

A301

architectureunfolded

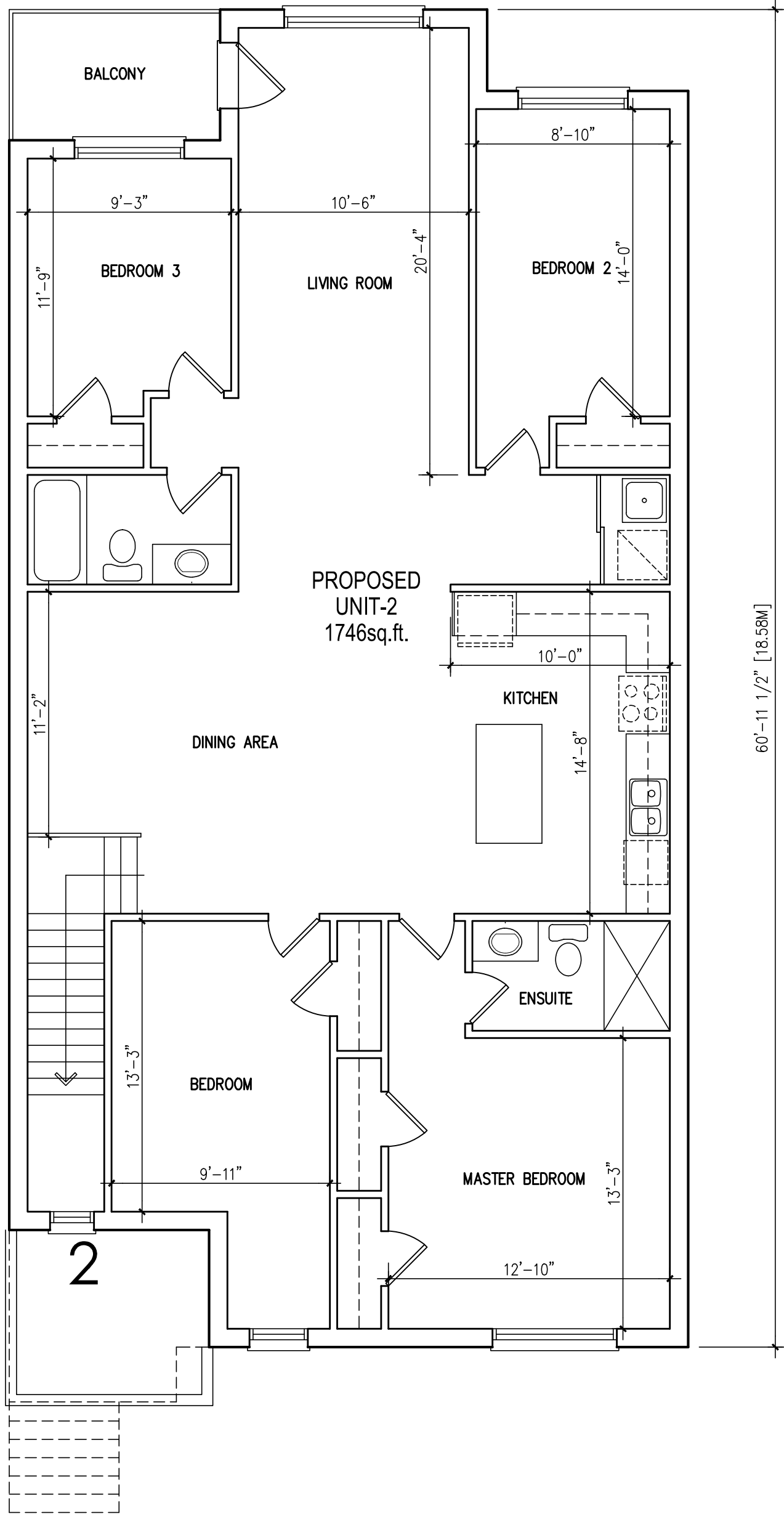
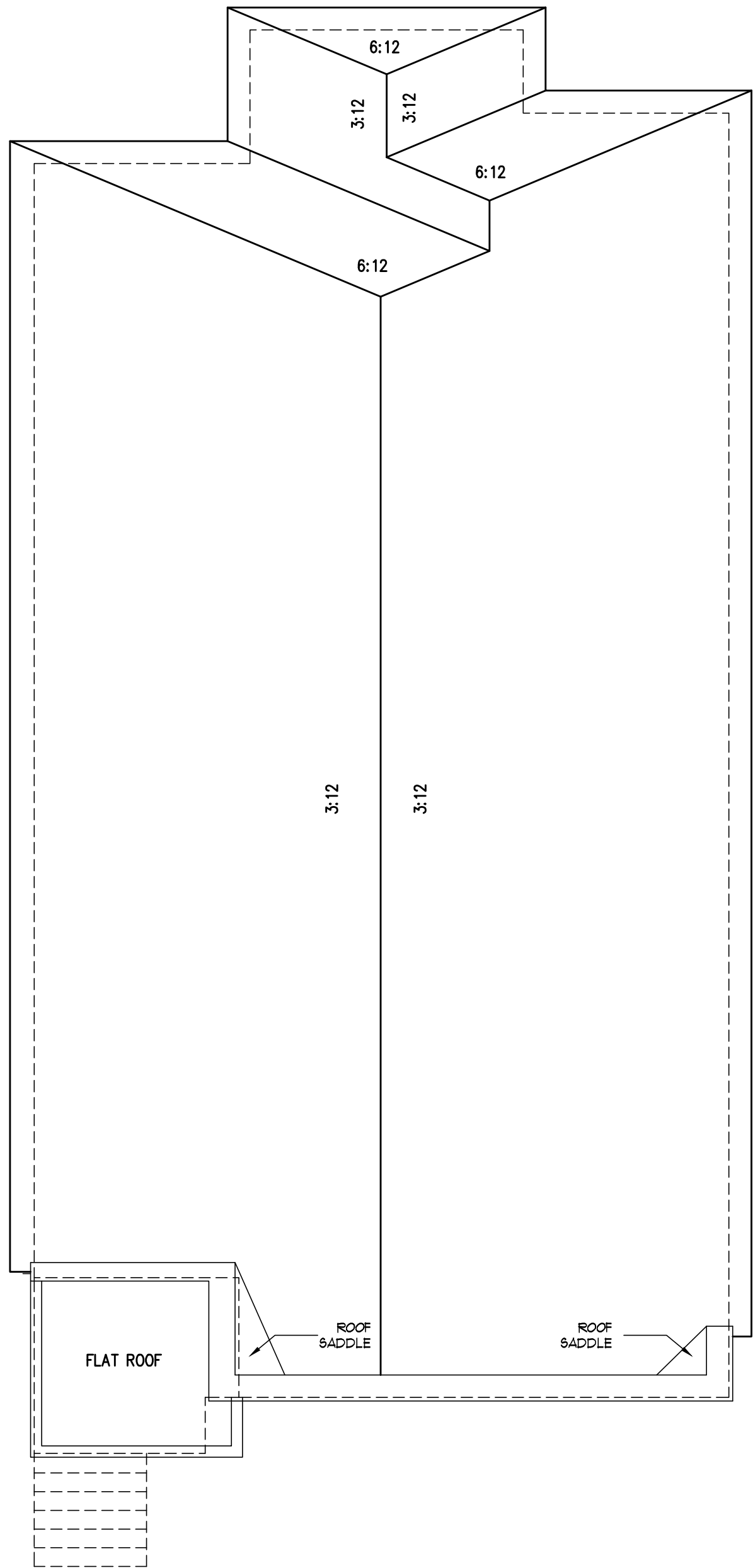
info@unfolded.ca

tel: (416) 601.5416

M&K 178

toronto, on.

368 dufferin street.



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notes:

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1 issued for review - 1	01-19-21
revisions:	m-d-yr

architectural team :

eduardo ortiz

planning:

structural:

electrical:

mechanical:

landscape:

site services:

owner:
family detached
hamilton, ontario
L8H 4J7

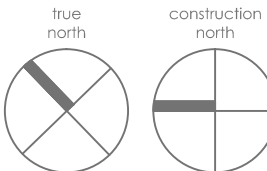
project:
graham avenue north
hamilton, ontario

second floor layout &
roof plan

feb. 11, 2021

3/16 :1'-0"

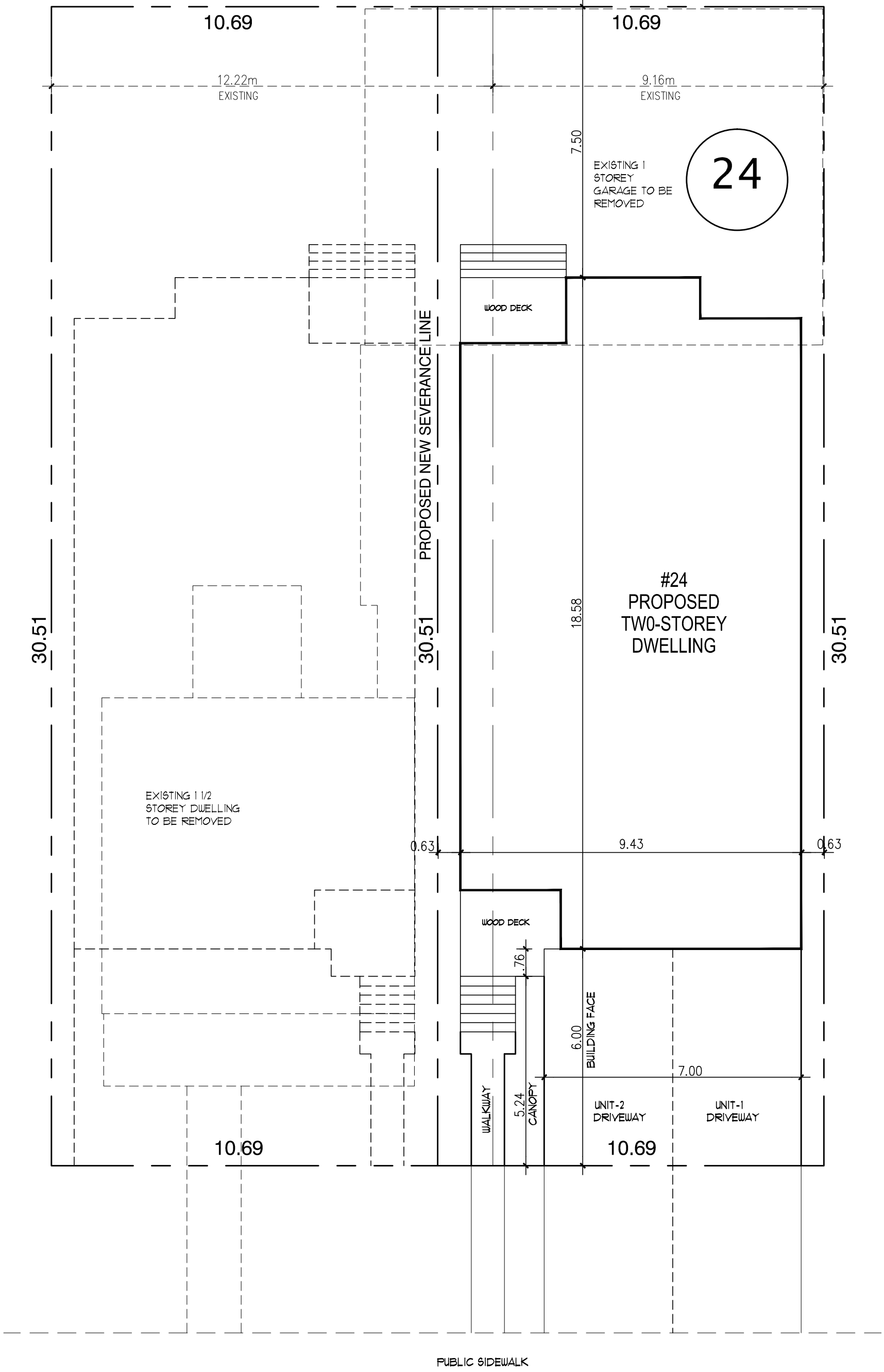
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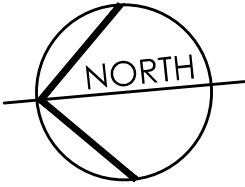
date:
scale:
project:
drawn by:

drawing number:

A302



GRAHAM AVENUE NORTH



PROPOSED SITE STATISTICS:

LOT AREA = 342.89 m2
BUILDING COVERAGE = 168.52 m2 (INCLUDING PORCH)
BUILDING COVERAGE = 162.20 m2 (EXCLUDING PORCH)

G.F.A LOT 24 UNIT-1	PROPOSED	
	sq. m.	sq. ft.
BASEMENT (EXEMPT)	162.20	1746
MAIN LEVEL	151.98	1636
TOTAL GFA	151.98	1638

G.F.A LOT 24 UNIT-2	PROPOSED	
	sq. m.	sq. ft.
MAIN LEVEL	10.21	110
UPPER LEVEL	156.44	1684
TOTAL GFA	166.65	1794

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notes:

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1 issued for review - 1
revisions: 02-11-21
01-19-21
m-d-yr

architectural team :

eduardo ortiz

planning:

structural:

electrical:

mechanical:

landscape:

site services:

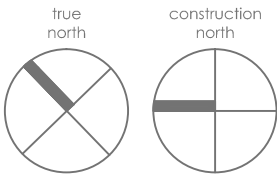
owner:
family detached
hamilton, ontario
L8H 4J7

project:
graham avenue north
hamilton, ontario

site plan

feb. 11, 2021

adg

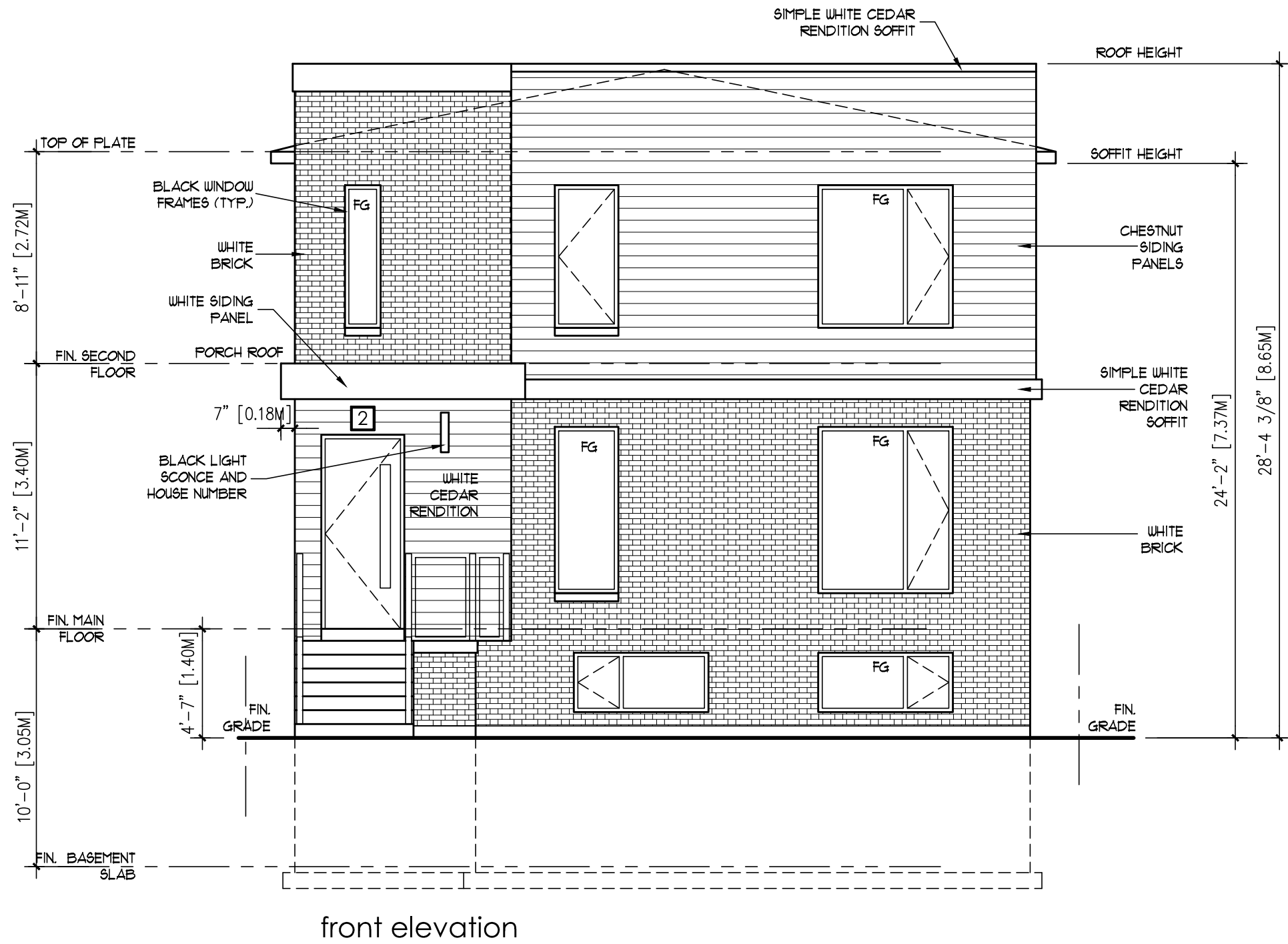


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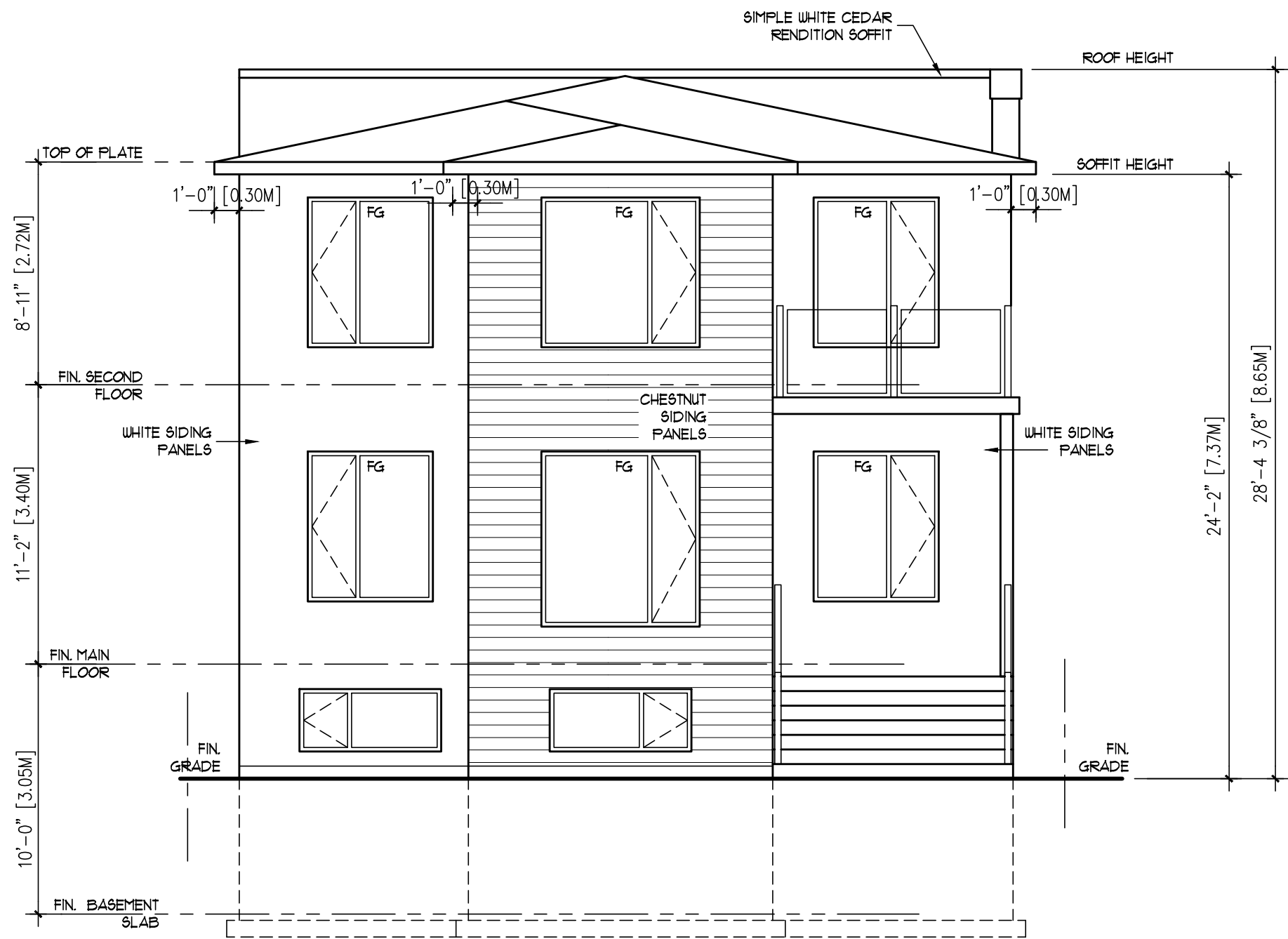
drawing number:

A101

#24



front elevation



rear elevation

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landscape:

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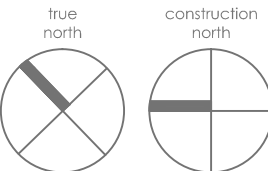
owner:
family detached
hamilton, ontario
L8H 4J7

project:
graham avenue north
hamilton, ontario

feb. 11, 2021

3/16 :1'-0"

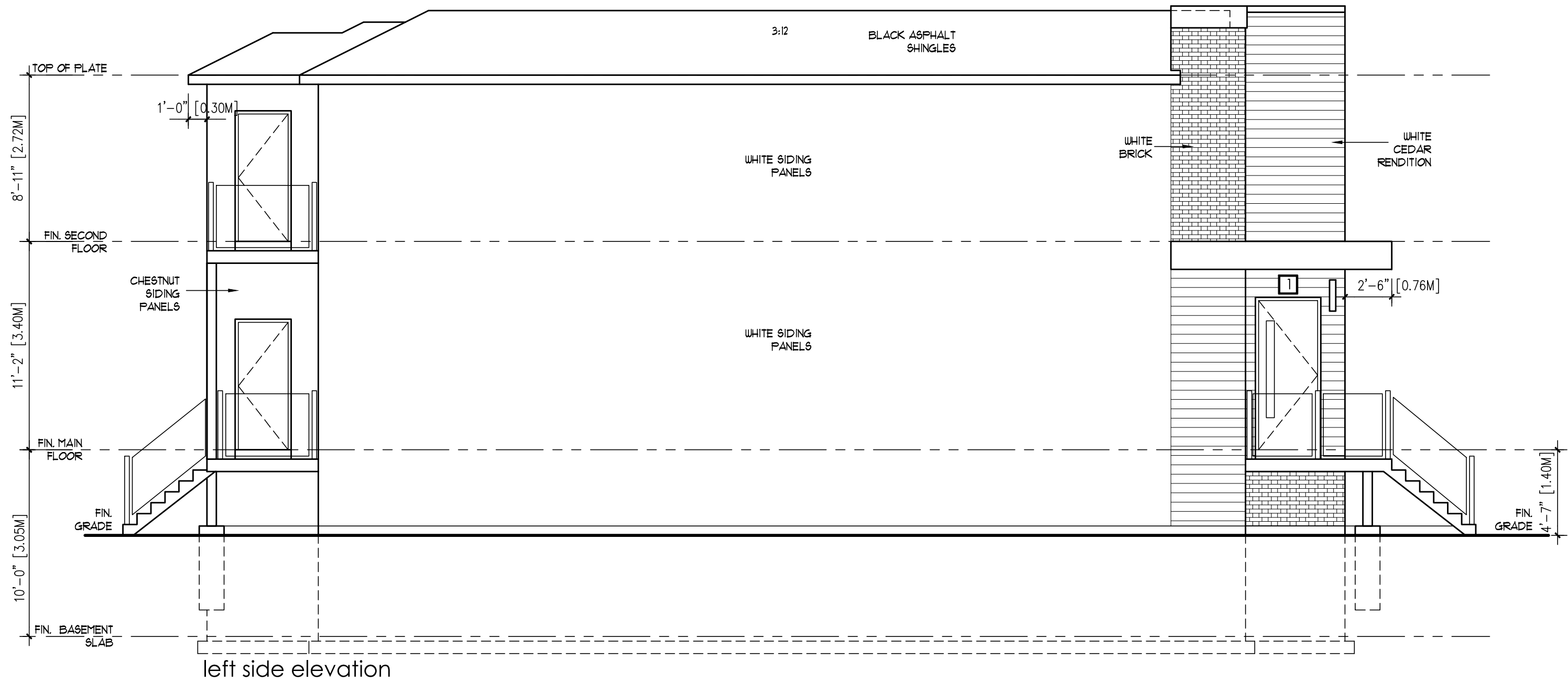
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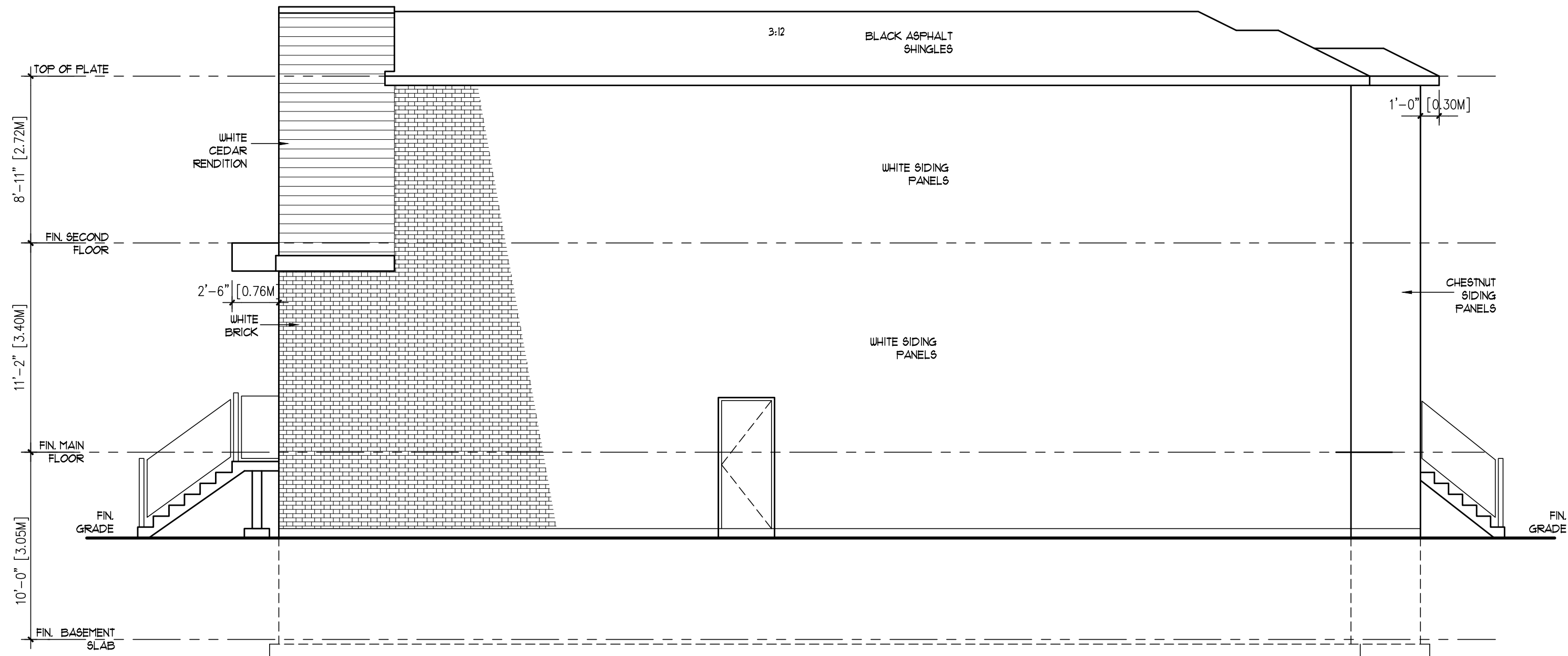
date:
scale:
project:
drawn by:

drawing number:

A401



left side elevation



right side elevation

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family detached
hamilton, ontario
L8H 4J7

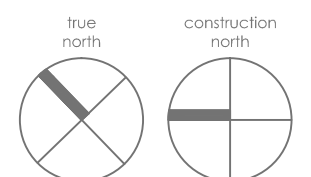
project:
graham avenue north
hamilton, ontario

side elevations

feb. 11, 2021

$\frac{3}{16}$: 1'-0"

adg



#24

date:

scale:

project:

drawn by:

drawing number:

A402

architectureunfolded

info@unfolded.ca

tel: (416) 601.5416

M&K 178

368 dufferin street, toronto, on.



Hamilton

PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT
Building Division
71 Main Street West
Hamilton, Ontario, Canada, L8P 4Y5
Phone: 905.546.2720 Fax: 905.546.2764
www.hamilton.ca

February 05, 2021

FILE: ALR
FOLDER: 21-103347-00 ALR
ATTENTION OF: Matthew Stavroff
TELEPHONE NO: (905) 546-2424
EXTENSION: 5716

EDUARDO ORTIZ
368 DUFFERIN ST
TORONTO, ON M6K 1Z8

Re: APPLICABLE LAW REVIEW
Present Zoning: 'D' DISTRICT
Address: 24 & 26 GRAHAM AVENUE NORTH, HAMILTON

An Applicable Law Review respecting zoning bylaw compliance has been completed and the following comments are provided.

COMMENTS:

1. The applicant is proposing to construct two (2) new residential buildings on two separate lots. Each building is intended to be used as a Two Family Dwelling.
2. The proposed use of a Two Family Dwelling is permitted in the current zoning designation.
3. This existing buildings are intended to be demolished in order to permit the construction of the new building. Please be advised that a demolition permit will be required in the normal manner.
4. A successful severance application to the Committee of Adjustment will be required to create two (2) individual lots each having equal frontage of 10.69m along Graham Avenue North (as shown on the submitted plans).
5. The proposed development for each lot has been reviewed and compared to the standards of the "D" zoning district as indicated in the following chart:

24 GRAHAM AVENUE NORTH:

	Required By By-Law	Provided	Conforming/ Non-Conforming
Section 10 of Hamilton Zoning By-law 6593			
Maximum Building Height Section 10(2) of	Three (3) Storeys	Two (2) Storeys	Conforms <i>Please note that if less than half of the basement level is</i>

	Required By By-Law	Provided	Conforming/ Non-Conforming
Hamilton Zoning By-law 6593			<i>situated below Grade, the basement will be considered an additional storey. It appears that more than half of the basement is below grade based on the submitted drawings. Therefore, the basement is considered a "cellar" and is not a storey.</i>
	14.0m	8.7m	Appears to Conform
Minimum Front Yard Section 10(3)(i) of Hamilton Zoning By-law 6593	6.0m	<p>Not Indicated.</p> <p>Please note that the front porch appears to have a full concrete foundation which forms part of the principal building. As such, the porch and steps are considered part of the principal building and cannot be considered a yard encroachment/ projection</p> <p>As a result, the front yard distance should be measured from the extent of the steps to the front property line.</p> <p>Based on the above, the front yard setback is less than 6.0m</p>	Non-Conforming
Front Yard Encroachment – Roofed-Over Unenclosed Porch Section 18(3)(vi)(d) of Hamilton Zoning By-law 6593	A roofed-over or screened but otherwise unenclosed one-storey porch at the first storey level, including eaves and gutters, may project into a required front yard to a distance of not more than 3.0 metres, and every such projecting porch shall be distant at least 1.5 metres from the front lot line.	The front porch is considered part of the principal building (as per row above)	Not Applicable
Front Yard Encroachment – Front Canopy Section 18(3)(vi)(d) of Hamilton Zoning By-law 6593	<p>A canopy may project into a required front yard not more than 1.5m provided that no such projection is closer to a street line than 1.5m.</p> <p><i>Therefore; 6.0m – 1.5m = a minimum 4.5m canopy setback is required.</i></p>	The distance of the canopy has not been indicated.	Unable to Determine Compliance

	Required By By-Law	Provided	Conforming/ Non-Conforming
Minimum Side Yard Section 10(3)(ii) of Hamilton Zoning By-law 6593	1.2m for buildings not over 2½ storeys or 11.0m	0.6m	Non-Conforming
	2.17m for any other buildings		
Eaves & Gutter Projection Section 18(3)(vi)(b) of Hamilton Zoning By-law 6593	Eaves and gutters may project into a required side yard not more than one- half of its width, or 1.0 metre, whichever is the lesser;	The distance of the eaves and gutter projection into the side yard has not been indicated.	Unable to Determine Compliance
Minimum Rear Yard Section 10(3)(iii) of Hamilton Zoning By-law 6593	7.5m	7.5m	Conforms
Minimum Lot Area Section 10(4) of Hamilton Zoning By-law 6593	Two Family Dwelling – 540.0m²	342.89m²	Non-Conforming
Minimum Lot Width Section 10(4) of Hamilton Zoning By-law 6593	Two Family Dwelling – 18.0m	10.69m	Non-Conforming
Parking Requirements – Section 18A			
Minimum Number of Parking Spaces Section 18A Table 1 of Hamilton Zoning By-law 6593	A minimum of two (2) parking spaces are required (one space per unit).	Two (2) spaces are provided on site.	Conforms
Minimum Manoeuvring Space Section 18A(1)(f) and Table 6 of Hamilton Zoning By-law 6593	6.0m	0.0m	Non-Conforming
Minimum Parking Space Size Section 18A(7) of Hamilton Zoning By-law 6593	2.7m x 6.0m	3.5m x 6.0m	Conforms
Section 18A(9) of Hamilton Zoning By-law 6593	Required parking space, loading space and manoeuvring space shall be provided and maintained only on the lot which the principal use, building or structure is located.	Manoeuvring space is provided off-site (road allowance).	Non-Conforming
Section 18A(14a) of Hamilton Zoning By-law 6593	Except for single family dwellings, two family dwellings and three family dwellings erected prior to December 14, 1971, no part of a required parking space for a single family dwelling, <u>two family dwelling</u> or three family dwelling in a residential district shall be located in a required front	Two (2) parking spaces are provided in the front yard. Front yard landscaping appears to be less than 50%	Non-Conforming

	Required By By-Law	Provided	Conforming/ Non-Conforming
	yard and not less than 50% of the gross area of the front yard shall be used for a landscaped area excluding concrete, asphalt, gravel, pavers or other similar materials.		
Section 18A(14g) of Hamilton Zoning By-law 6593	Except as provided for in clauses (14a),(14b) and (14h), no part of the required parking area in a residential district shall be located in a required front yard.	Parking spaces are provided in the front yard.	Non-Conforming
Section 18A(21) of Hamilton Zoning By-law 6593	All required parking spaces and manoeuvring space shall have access by means of one or more access driveways, a) located on the lot, or b) located partly on the lot in the case of a mutual driveway c) by means of a right of way	Access is provided on the lot.	Conforms
Section 18A(24) of Hamilton Zoning By-law 6593	Every parking area for a use where, a) There are <u>five or less</u> parking spaces shall have: not less than one access driveway or one mutual driveway, having a width of at least 2.8m	7.0m	Conforms
Section 18A(31) of Hamilton Zoning By-law 6593	A gravel or similar surface or other suitable paving shall be provided and maintained for every parking space and access driveway accessory to a single family dwelling, two family dwelling and to a street townhouse dwellings each having separate access driveways.	The surface material of the driveway has not been indicated.	Unable to Determine Compliance

26 GRAHAM AVENUE NORTH:

	Required By By-Law	Provided	Conforming/ Non-Conforming
Section 10 of Hamilton Zoning By-law 6593			
Maximum Building Height	Three (3) Storeys	Two (2) Storeys	Conforms <i>Please note that if less than half of the</i>

	Required By By-Law	Provided	Conforming/ Non-Conforming
Section 10(2) of Hamilton Zoning By-law 6593			<i>basement level is situated below Grade, the basement will be considered an additional storey. It appears that more than half of the basement is below grade based on the submitted drawings. Therefore, the basement is considered a "cellar" and is not a storey.</i>
	14.0m	8.7m	Conforms
Minimum Front Yard Section 10(3)(i) of Hamilton Zoning By-law 6593	6.0m	<p>Not Indicated.</p> <p>Please note that the front porch appears to have a full concrete foundation which forms part of the principal building. As such, the porch and steps are considered part of the principal building and cannot be considered a yard encroachment/ projection.</p> <p>As a result, the front yard distance should be measured from the extent of the steps to the front property line.</p> <p>Based on the above, the front yard setback is less than 6.0m.</p>	Non-Conforming
Front Yard Encroachment – Roofed-Over Unenclosed Porch Section 18(3)(vi)(d) of Hamilton Zoning By-law 6593	A roofed-over or screened but otherwise unenclosed one-storey porch at the first storey level, including eaves and gutters, may project into a required front yard to a distance of not more than 3.0 metres, and every such projecting porch shall be distant at least 1.5 metres from the front lot line.	The front porch is considered part of the principal building. (as per row above)	Not Applicable
Front Yard Encroachment – Front Canopy Section 18(3)(vi)(d) of Hamilton Zoning By-law 6593	<p>A canopy may project into a required front yard not more than 1.5m provided that no such projection is closer to a street line than 1.5m.</p> <p><i>Therefore; 6.0m – 1.5m = a minimum 4.5m</i></p>	The distance of the canopy has not been indicated.	Unable to Determine Compliance

	Required By By-Law	Provided	Conforming/ Non-Conforming
	<i>canopy setback is required.</i>		
Minimum Side Yard Section 10(3)(ii) of Hamilton Zoning By-law 6593	1.2m for buildings not over 2½ storeys or 11.0m 2.17m for any other buildings	0.6m	Non-Conforming
Eaves & Gutter Projection Section 18(3)(vi)(b) of Hamilton Zoning By-law 6593	Eaves and gutters may project into a required side yard not more than one- half of its width, or 1.0 metre, whichever is the lesser;	The distance of the eaves and gutter projection into the required side yard has not been indicated.	Unable to Determine Compliance
Minimum Rear Yard Section 10(3)(iii) of Hamilton Zoning By-law 6593	7.5m	7.5m	Conforms
Minimum Lot Area Section 10(4) of Hamilton Zoning By-law 6593	Two Family Dwelling – 540.0m ²	342.89m ²	Non-Conforming
Minimum Lot Width Section 10(4) of Hamilton Zoning By-law 6593	Two Family Dwelling – 18.0m	10.69m	Non-Conforming
Parking Requirements – Section 18A			
Minimum Number of Parking Spaces Section 18A Table 1 of Hamilton Zoning By-law 6593	A minimum of two (2) parking spaces are required (one space per unit).	Two (2) spaces are provided on site.	Conforms
Minimum Manoeuvring Space Section 18A(1)(f) and Table 6 of Hamilton Zoning By-law 6593	6.0m	0.0m	Non-Conforming
Minimum Parking Space Size Section 18A(7) of Hamilton Zoning By-law 6593	2.7m x 6.0m	3.5m x 6.0m	Conforms
Section 18A(9) of Hamilton Zoning By-law 6593	Required parking space, loading space and manoeuvring space shall be provided and maintained only on the lot which the principal use, building or structure is located.	Manoeuvring space is provided off-site (road allowance).	Non-Conforming
Section 18A(14a) of Hamilton Zoning By-law 6593	Except for single family dwellings, two family dwellings and three family dwellings erected prior to December 14, 1971, no part of a required parking space for a single family dwelling, two family dwelling or three	Two (2) parking spaces are provided in the front yard. Front yard landscaping appears to be less than	Non-Conforming

	Required By By-Law	Provided	Conforming/ Non-Conforming
	family dwelling in a residential district shall be located in a required front yard and not less than 50% of the gross area of the front yard shall be used for a landscaped area excluding concrete, asphalt, gravel, pavers or other similar materials.	50%	
Section 18A(14g) of Hamilton Zoning By-law 6593	Except as provided for in clauses (14a),(14b) and (14h), no part of the required parking area in a residential district shall be located in a required front yard.	Parking spaces are provided in the front yard.	Non-Conforming
Section 18A(21) of Hamilton Zoning By-law 6593	All required parking spaces and manoeuvring space shall have access by means of one or more access driveways, a) located on the lot, or b) located partly on the lot in the case of a mutual driveway c) by means of a right of way	Access is provided on the lot.	Conforms
Section 18A(24) of Hamilton Zoning By-law 6593	Every parking area for a use where, a) There are <u>five or less</u> parking spaces shall have: not less than one access driveway or one mutual driveway, having a width of at least 2.8m	7.0m	Conforms
Section 18A(31) of Hamilton Zoning By-law 6593	A gravel or similar surface or other suitable paving shall be provided and maintained for every parking space and access driveway accessory to a single family dwelling, two family dwelling and to a street townhouse dwellings each having separate access driveways.	The surface material of the driveway has not been indicated.	Unable to Determine Compliance

6. A building permit will be required in the normal manner to construct each two family dwelling. Be advised that Ontario Building Code regulations may require specific setback and construction types.
7. All new fences shall conform to the requirements of the Fence By-law.
8. All new signs shall conform to the requirements of the Sign By-law.
9. The designer shall ensure that the fire access route conforms to the Ontario Building Code.

Yours truly

Matt Shumell

for the Manager of Building Engineering and Zoning

**Committee of Adjustment**

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act**Application for Minor Variance or for Permission**

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS	
Registered Owners(s)	KB CIVIL CONSTRUCTORS INC.		
Applicant(s)*	KB CIVIL CONSTRUCTORS INC.		
Agent or Solicitor			Phone:
			E-mail:

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:
As per Zoning Report attached

5. Why it is not possible to comply with the provisions of the By-law?
Client desire to build affordable market housing

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):
24 Graham Avenue North, Hamilton ON

7. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☐

Other _____

- 8.1 If Industrial or Commercial, specify use _____

- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☐ Unknown ☒

- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☐ Unknown ☒

- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☐ Unknown ☒

- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☐ Unknown ☒

- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☐ Unknown ☒

- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☐ Unknown ☒

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☐ Unknown ☒

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?
property deed, survey and zoning review

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☐

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

2021.02.12

Date

Signature Property Owner

KB CIVIL CONSTRUCTORS INC

Print Name of Owner

10. Dimensions of lands affected:

Frontage	10.68
Depth	30.51
Area	342.89
Width of street	

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:
as per survey attached

Proposed
as per site plan attached

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:
as per survey attached

Proposed:
as per site plan attached

13. Date of acquisition of subject lands:
July 2020
14. Date of construction of all buildings and structures on subject lands:
unknown
15. Existing uses of the subject property:
residential
16. Existing uses of abutting properties:
residential
17. Length of time the existing uses of the subject property have continued:
unknown
18. Municipal services available: (check the appropriate space or spaces)
Water yes Connected yes
Sanitary Sewer yes Connected yes
Storm Sewers yes
19. Present Official Plan/Secondary Plan provisions applying to the land:
n/a
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
n/a
21. Has the owner previously applied for relief in respect of the subject property?
☐ Yes ☒ No
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
☐ Yes ☒ No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.