

## **NOTICE OF PUBLIC HEARING** **Minor Variance**

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**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
- 

**APPLICATION NO.:** FL/A-20:285

**APPLICANTS:** Lucas Koket on behalf of the owner Matthew Henderson

**SUBJECT PROPERTY:** Municipal address **35 Taylor Cres., Flamborough**

**ZONING BY-LAW:** Zoning By-law 05-200, as Amended

**ZONING:** "S1" (Settlement Residential) district

**PROPOSAL:** To permit the construction of a new 15.3m x 8.0m, one (1) storey accessory building in the rear yard of the existing Single Detached Dwelling notwithstanding that:

1. An area of 122.0m<sup>2</sup> within an accessory building shall be devoted for parking whereas a maximum parking area of 97.0m<sup>2</sup> is permitted within an accessory structure.
2. A building height of 5.8m shall be provided instead of the maximum permitted accessory building height of 5.0m.
3. A height of 4.5m shall be provided to the underside of any fascia eaves, overhand or the lower ends of the roof joists, rafters or trusses whereas the by-law permits a maximum height of 3.0m.

**NOTES:**

- i. Please be advised that no accessory building shall be used for human habitation. The accessory structure appears to be intended entirely for parking purposes however floor plans have not been provided to confirm zoning compliance.

This application will be heard by the Committee as shown below:

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**DATE:** Thursday, May 27th, 2021  
**TIME:** 1:25 p.m.  
**PLACE:** Via video link or call in (see attached sheet for details)  
To be streamed at  
[www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)  
for viewing purposes only

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**PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

## **MORE INFORMATION**

For more information on this matter, including access to drawings illustrating this request:

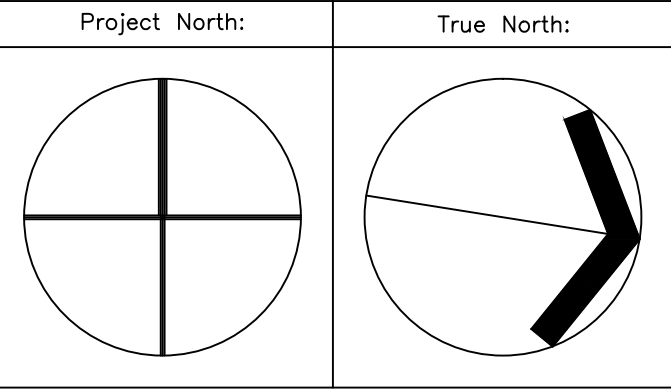
- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

DATED: May 11th, 2021.

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

***Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.***



Kon Lischke

[illegible]

No.	Date:	Issue/Revision	By:
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Note:  
ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS  
MUST BE CHECKED AND VERIFIED ON SITE AND ANY  
DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO  
CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD  
EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM  
THAT INDICATED ON THE DRAWINGS, THE DESIGNER MUST BE  
NOTIFIED IMMEDIATELY.

FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.

UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.

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USE LATEST REVISED DRAWINGS. DO NOT SCALE DRAWINGS.

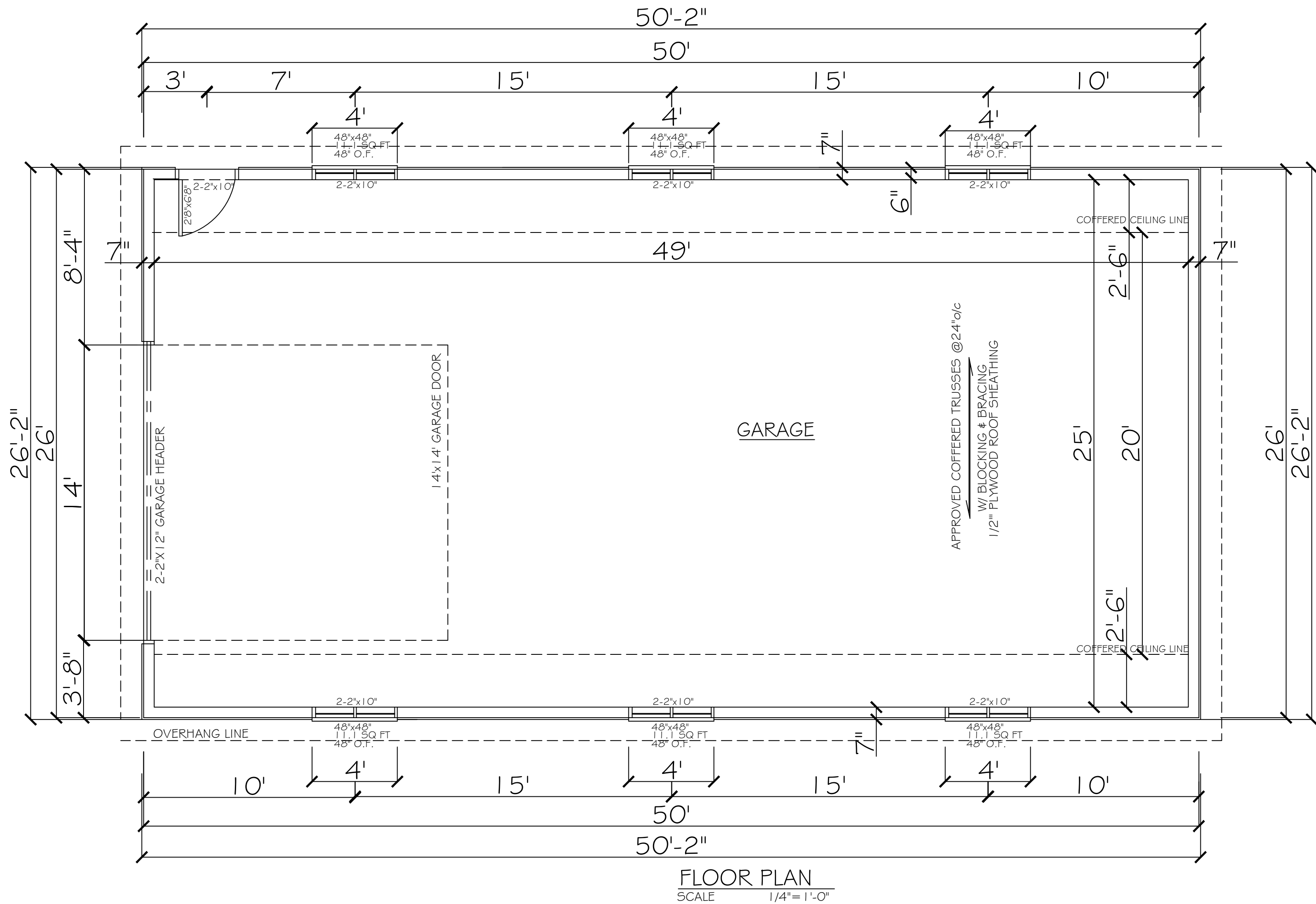
111 Valmont Street, Ancaster, Ontario, Canada L9G 4Z8  
Tel: 905.820.8535

35 TAYLOR CRESCENT  
GREENSVILLE ONTARIO

Design By: RJC	Drawn By: RJC	Approved By: RJC
Scale: 1/8"=1'-0"	Date: SEPT 2020	Project No.: 20042

# A8

Drawing Series



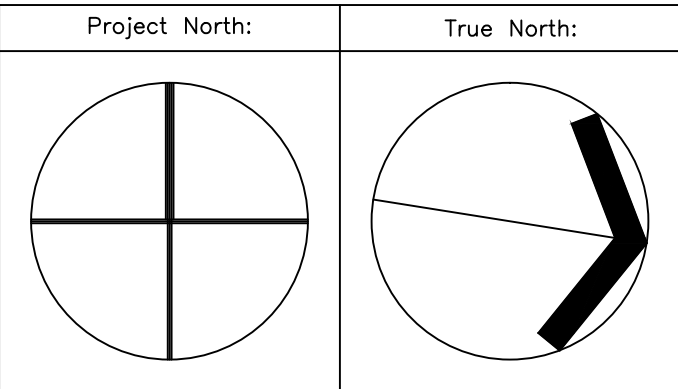
FLOOR PLAN  
SCALE 1/4" = 1'-0"

NOTE:  
ALL BUILDING MATERIALS AND CONSTRUCTION METHODS TO COMPLY WITH CURRENT OBC  
VERIFY ALL DIMENSIONS BEFORE AND DURING CONSTRUCTION TO CONFIRM ACCURACY  
VERIFY ALL DIMENSIONS OF SPECIALTY ITEMS BEFORE ORDERING TO CONFIRM ACCURACY

NOTE:  
TRUSS DESIGNS AND LAYOUT PROVIDED BY TRUSS MANUFACTURER

NOTE:  
DUE TO THE POSSIBLE VARIANTS ON THE SITE IT IS IMPORTANT FOR  
THE CONTRACTOR AND TRUSS MANUFACTURER VERIFY  
ALL DIMENSIONS, BEARING AND ROOF PITCHES OF TRUSSES  
ON SITE AND ON ALL PAGES OF ARCHITECTURAL DRAWINGS TO  
ASSURE ACCURACY AND SOFFIT ALIGNMENT

NOTE:  
FINAL GRADING WILL DEPEND ON SIGHT AND SOIL CONDITIONS  
FINAL DEPTH OF FOUNDATION WILL DEPEND ON SIGHT AND SOIL CONDITIONS



THE UNDERSIGNED HAS REVIEWED AND TAKES  
RESPONSIBILITY FOR THIS DESIGN AND HAS THE  
QUALIFICATIONS AND MEETS THE REQUIREMENTS  
AS SET OUT IN THE ONTARIO BUILDING CODE  
2.17.4.1.(2)(a) TO BE AN "OTHER DESIGNER"  
QUALIFICATION INFORMATION  
RON CRICKMORE BCIN: 41922

*Ron Crickmore*

No.	Date:	Issue/Revision	By:
Drawing Issues/Revisions:			

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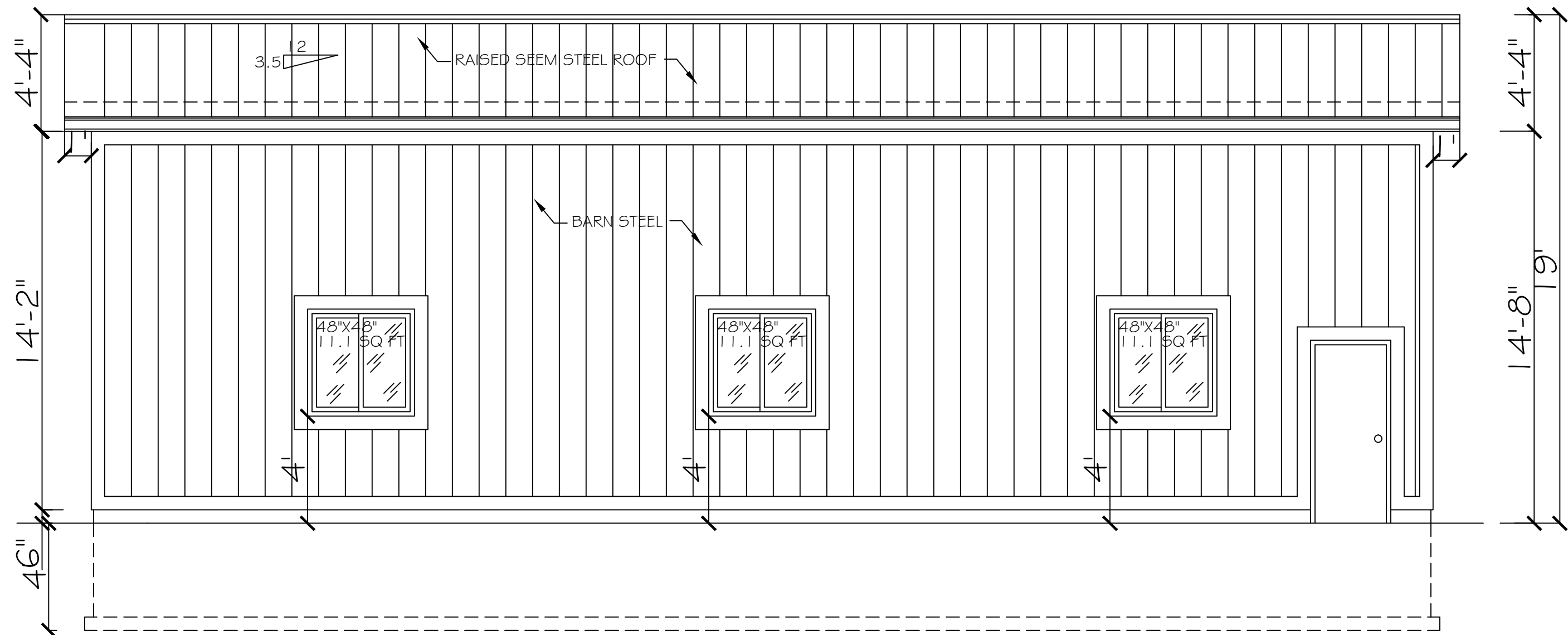
CRICKMORE DESIGN  
111 Valhurst Street, Ajax, Ontario, Canada L9C 4D8  
Tel: 905-879-8535

Project:  
**MATT HENDERSON  
PROPOSED GARAGE**  
**35 TAYLOR CRESCENT**  
**GREENSVILLE ONTARIO**

Sheet Title:  
**PROPOSED GARAGE  
GARAGE FLOOR PLAN**

Design By: RJC	Drawn By: RJC	Approved By: RJC
Scale: 1/4" = 1'-0"	Date: SEPT 2020	Project No.: 20042

Drawing No:  
**A2**  
Drawing Series:



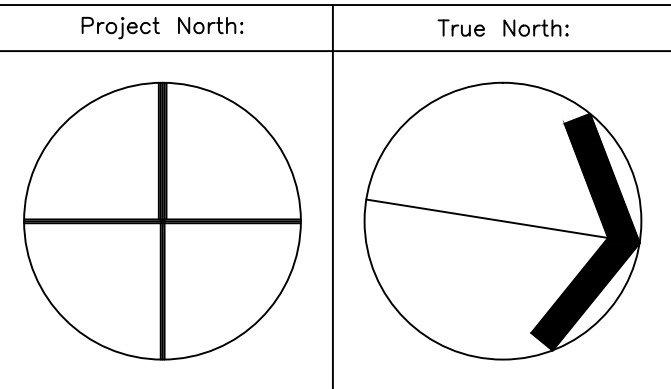
LEFT ELEVATION  
SCALE 1/4"=1'-0"

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QUALIFICATION INFORMATION  
RON CRICKMORE BCIN: 41922

*Ron Crickmore*

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**CRICKMORE DESIGN**

111 Valhalla Street, Ajax, Ontario, Canada L1C 4Z8  
Tel: 905.879.8255

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**MATT HENDERSON  
PROPOSED GARAGE**  
**35 TAYLOR CRESCENT**  
**GREENSVILLE ONTARIO**

Sheet Title:  
**PROPOSED GARAGE  
LEFT ELEVATION**

Design By: RJC	Drawn By: RJC	Approved By: RJC
Scale: 1/4"=1'-0"	Date: SEPT 2020	Project No.: 20042

Drawing No:

**A5**

Drawing Series:



**Hamilton**

Planning and Economic Development Department  
Planning Division

**Committee of Adjustment**

City Hall  
5<sup>th</sup> floor 71 Main Street West  
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221  
Fax (905) 546-4202

**PLEASE FILL OUT THE FOLLOWING PAGES AND  
RETURN TO THE CITY OF HAMILTON PLANNING  
DEPARTMENT.**

**FOR OFFICE USE ONLY.**

APPLICATION NO. \_\_\_\_\_ DATE APPLICATION RECEIVED \_\_\_\_\_  
PAID \_\_\_\_\_ DATE APPLICATION DEEMED COMPLETE \_\_\_\_\_  
SECRETARY'S  
SIGNATURE \_\_\_\_\_

**CITY OF HAMILTON  
COMMITTEE OF ADJUSTMENT  
HAMILTON, ONTARIO**

***The Planning Act***

**Application for Minor Variance or for Permission**

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner MATTHEW HENDERSON Telephone No. [REDACTED]  
FAX NO. \_\_\_\_\_ E-mail address. [REDACTED]
2. Address [REDACTED]  
\_\_\_\_\_  
Postal Code [REDACTED]
3. Name of Agent LUCAS A. KOKOT Telephone No. [REDACTED]  
FAX NO. [REDACTED] E-mail address. [REDACTED]
4. Address [REDACTED]  
\_\_\_\_\_  
Postal Code [REDACTED]

**Note:** Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:  
Canadon Imperial Bank of Commerce  
199 Bay St, B-2 Securities Level Postal Code M5L 1A2  
Toronto, ON  
\_\_\_\_\_  
Postal Code \_\_\_\_\_

6. Nature and extent of relief applied for:  
a building height of 18'6" is the  
minor variance I am looking to obtain
7. Why it is not possible to comply with the provisions of the By-law?  
a building height of 18'6" would allow  
the storage of a 5<sup>th</sup> wheel R.V. trailer or  
motorhome I would like to purchase.
8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):  
LOT 20 Registered Plan 1014  
35 Taylor Cres.
9. PREVIOUS USE OF PROPERTY
- Residential X Industrial \_\_\_\_\_ Commercial \_\_\_\_\_
- Agricultural \_\_\_\_\_ Vacant \_\_\_\_\_
- Other \_\_\_\_\_
- 9.1 If Industrial or Commercial, specify use  
 \_\_\_\_\_
- 9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?  
 Yes \_\_\_\_\_ No \_\_\_\_\_ Unknown X
- 9.3 Has a gas station been located on the subject land or adjacent lands at any time?  
 Yes \_\_\_\_\_ No X Unknown \_\_\_\_\_
- 9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?  
 Yes \_\_\_\_\_ No X Unknown \_\_\_\_\_
- 9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?  
 Yes \_\_\_\_\_ No X Unknown \_\_\_\_\_
- 9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?  
 Yes \_\_\_\_\_ No X Unknown \_\_\_\_\_
- 9.7 Have the lands or adjacent lands ever been used as a weapon firing range?  
 Yes \_\_\_\_\_ No X Unknown \_\_\_\_\_
- 9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?  
 Yes \_\_\_\_\_ No X Unknown \_\_\_\_\_



9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes \_\_\_\_\_ No X Unknown \_\_\_\_\_

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes \_\_\_\_\_ No X Unknown \_\_\_\_\_

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Local history as shared from neighbors

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes \_\_\_\_\_ No \_\_\_\_\_

#### ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

DEC 13/20

Date

Signature Property Owner

MATTHEW HENDERSON  
Print Name of Owner

10. Dimensions of lands affected:

Frontage 24 M. (79')  
Depth 61 M (200')  
Area 1464 M<sup>2</sup> (15,800 SQFT)  
Width of street ~~20 M~~ 20'

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: Single Story 9m x 10m. 90M<sup>2</sup>  
29.5' x 33' 973 sqft.

Proposed: 60' x 26' 1560 sqft.  
Single Story Garage Storage.

12. Location of all buildings and structures on or proposed for the subject lands: (Specify distance from side, rear and front lot lines)

Existing: FRONT - 9.7 M. Rear 41 m.  
SIDE - 4.7 M Side 10.7 m.



Proposed: FRONT <sup>81'7"</sup>~~35'3"~~ Rear 58'7"  
SIDE 15' SIDE 38'  
"SEE ATTACHED SITE PLAN."

13. Date of acquisition of subject lands:

Dec 15 2011.

14. Date of construction of all buildings and structures on subject lands:

MID 50's

15. Existing uses of the subject property: Residential.

16. Existing uses of abutting properties: Residential.

17. Length of time the existing uses of the subject property have continued:

60 years.

18. Municipal services available: (check the appropriate space or spaces)

Water \_\_\_\_\_ Connected \_\_\_\_\_

Sanitary Sewer \_\_\_\_\_ Connected \_\_\_\_\_

Storm Sewers \_\_\_\_\_

19. Present Official Plan/Secondary Plan provisions applying to the land:

Residential. SETTLEMENT.

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

~~Accessary Building (Garage) #96-92-2~~  
S1 Settlement Residential. 15-173 05-200

21. Has the owner previously applied for relief in respect of the subject property?

Yes

No

If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

**NOTE:** It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps