

## **NOTICE OF PUBLIC HEARING**

### **Minor Variance**

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**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
- 

**APPLICATION NO.:** HM/A-21:118

**APPLICANTS:** Owner B. Julius & S. Jansen

**SUBJECT PROPERTY:** Municipal address **185 Wentworth St. S., Hamilton**

**ZONING BY-LAW:** Zoning By-law 6593, as Amended 76-229

**ZONING:** "C" (Urban Protected Residential, etc.) district

**PROPOSAL:** To permit the conversion of the existing single family dwelling to a two family dwelling, notwithstanding that:

1. A minimum lot area of 246.92 square metres shall be provided, instead of the minimum required lot area of 270.0 square metres.
2. The external appearance of the converted dwelling shall be permitted to be altered by construction of a rear open exterior stairs/fire escape and a rear uncovered balcony at the second storey instead of the requirement that the external appearance and character of the converted dwelling shall be preserved.
3. The two (2) required parking spaces may be located in the front yard instead of the requirement that only one of the required parking spaces may be located in the front yard.
4. No onsite manoeuvring shall be provided for the two (2) required parking spaces instead of the requirement that a manoeuvring space shall be provided and maintained abutting and accessory to each required parking space on the lot and whereas the Zoning By-law only permits off-site manoeuvring for only one parking space.
5. Two parking spaces having dimensions not less than 2.12 metres wide by 6.34 metres long shall be provided, instead of the requirement that every required parking space, other than a parallel parking space, shall have dimensions not less than 2.7 metres wide and 6.0 metres long.
6. The manoeuvring spaces for both of the required parking spaces may be provided off-site instead of the requirement that required parking and manoeuvring spaces shall be provided and maintained only on the lot on which the principle use, building or structure is located.

**NOTE:**

1. A building permit is required for the conversion of the existing single family dwelling into a two family dwelling. Be advised that Ontario Building Code regulations may require specific setback and construction types.

This application will be heard by the Committee as shown below:

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<b>DATE:</b>	<b>Thursday, May 27th, 2021</b>
<b>TIME:</b>	<b>3:45 p.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b> <b>To be streamed at</b> <b><a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a></b> <b>for viewing purposes only</b>

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## **PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

## **MORE INFORMATION**

For more information on this matter, including access to drawings illustrating this request:

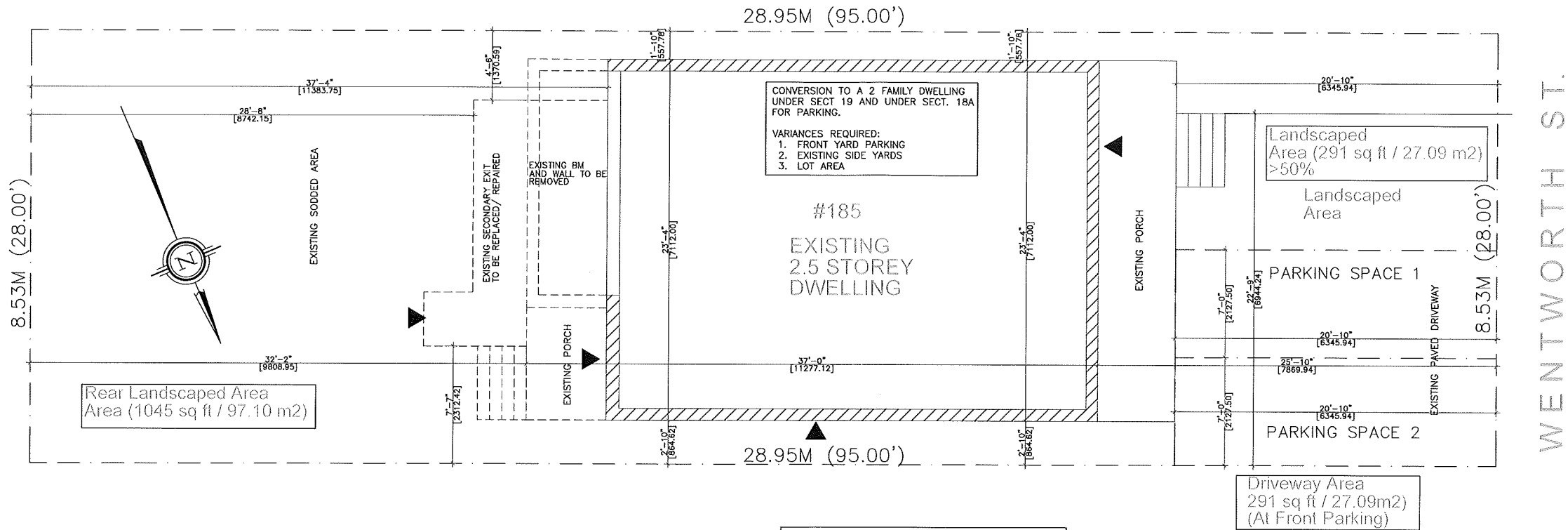
- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

DATED: May 11th, 2021.

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

***Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.***



## SITE PLAN

NOTE:  
ALL PROPOSED RAIN WATER LEADERS TO DISCHARGE ANY RAIN WATER ON PROPERTY OR EXISTING SWALES.  
NO WATER IS TO BE DRAINED ON TO ADJACENT PROPERTIES OR WALKWAYS OR DRIVEWAYS.

NOTE:  
ALL SETBACKS SHOWN ON THIS PLOT PLAN IS FOR REFERENCE ONLY AS PROVIDED BY OWNER AND FIELD MEASURED.

NOTE:  
THIS PLOT PLAN IS NOT A SURVEY! UNIQUE DESIGNS INC. DOES NOT GUARANTEE THE ACCURACY OF THIS DOCUMENT NOR DOES UNIQUE DESIGNS INC. CLAIM TO HAVE THE QUALIFICATIONS TO PRODUCE A DRAWING INTENDED FOR THE USE AS A SURVEY. THE DRAWING PRODUCED IS INTENDED TO BE USED ONLY AS A DIAGRAM TO COMPLEMENT THE PROVIDED ARCHITECTURAL DRAWINGS. SPECIFICALLY, FOR THE PURPOSES OF ORIENTATION, ZONING, LIMITING DISTANCES AND BUILDING HEIGHT AND THEIR RELATIONSHIP WITH THE INTENDED USE OF THE BUILDING. TRUE SITE SETBACKS MAY NEED TO BE PROVIDED BY A QUALIFIED LAND SURVEYOR.

## SITE STATISTICS

MUNICIPAL ADDRESS  
185 WENTWORTH ST S.  
HAMILTON, ONT.

BUILDING CLASSIFICATION

MULTIPLE RESIDENTIAL

ZONING

C-RESIDENTIAL  
SECTION 3, 18, 18A, 19

REQUIREMENTS

MIN. SIDE YARD 1.20 M (3.94')  
MIN. FRONT YARD 6.0 M (19.69')  
MIN. REAR YARD 7.5 M (24.61')  
MAX HT. 11.0 M (36.0')

EXISTING YARDS AT DWELLING

SIDE YARD (LEFT) 0.86M (2.83')  
SIDE YARD (RIGHT) 0.56M (1.83')  
FRONT YARD 6.34M (20.83')  
REAR YARD 9.80M (32.17')

LOT COVERAGE N/A

SECTION 19 CONVERSION REQUIREMENTS.  
19(1) - Req'd min unit 65m2 (699 SQFT) : Provided --- SEE PLANS  
19(1) - 270m2 min req'd lot area - EXIST 246.94m2 (2658.07 SQ FT)

CONVERSION TO A 2 FAMILY DWELLING UNDER SECT 19 AND UNDER SECT. 18A FOR PARKING.

VARIANCES REQUIRED:  
1. FRONT YARD PARKING  
2. EXISTING SIDE YARDS  
3. LOT AREA

DO NOT SCALE DRAWINGS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Div.C, Article 3.2.5.1 of the Building Code

MAURO FORTUNATO  
Name Signature 15084 BCN

REGISTRATION INFORMATION  
Required unless design is exempt under Div.C, Article 3.2.4.1 of the Building Code

UNIQUE DESIGNS INC. 31090 BCN  
Firm Name

2617399 ONT INC.

185 WENTWORTH ST.  
HAMILTON, ONT.

UNIQUE DESIGNS INC.

CONVERSION  
TO 2 UNITS

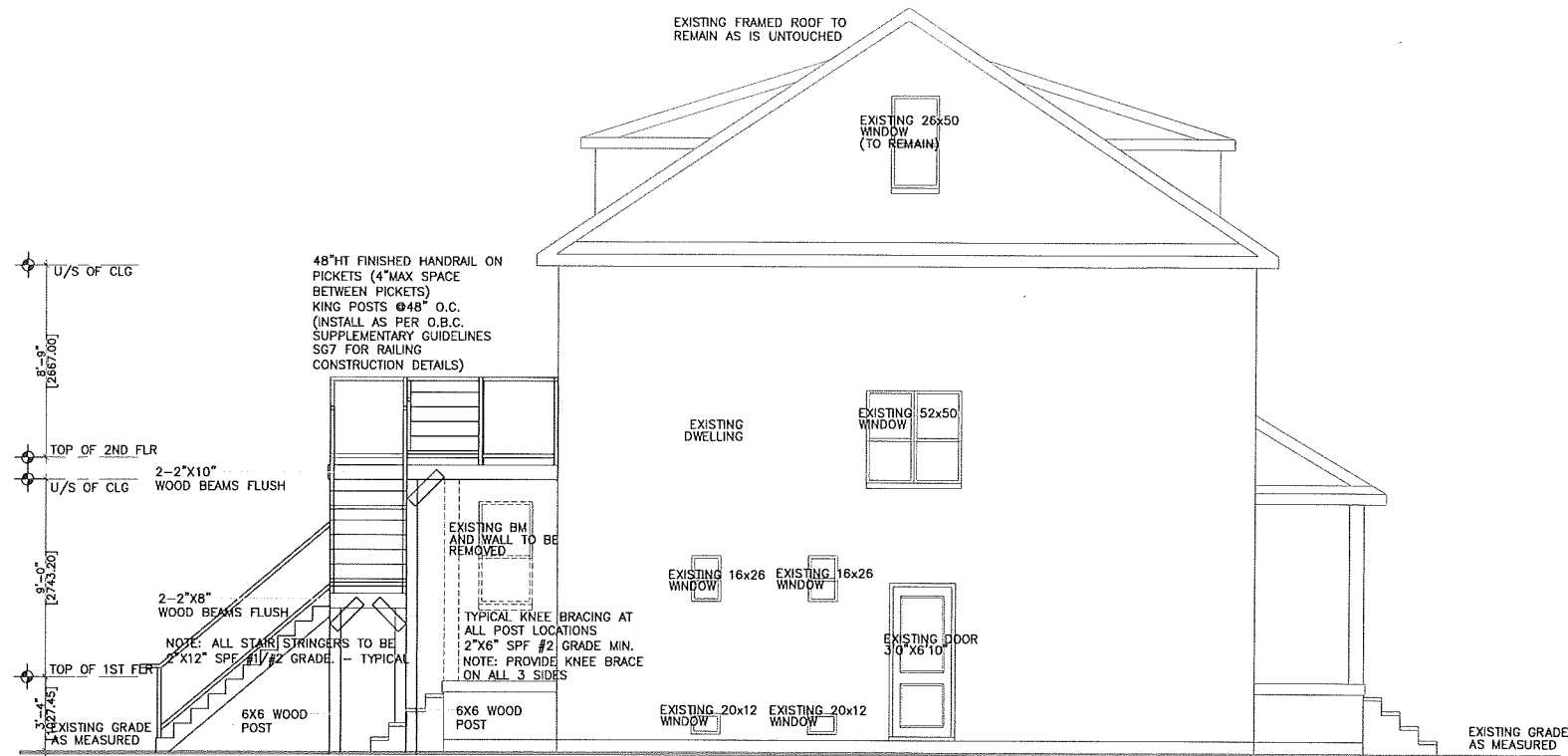
SITE PLAN

DESCRIPTION

DATE

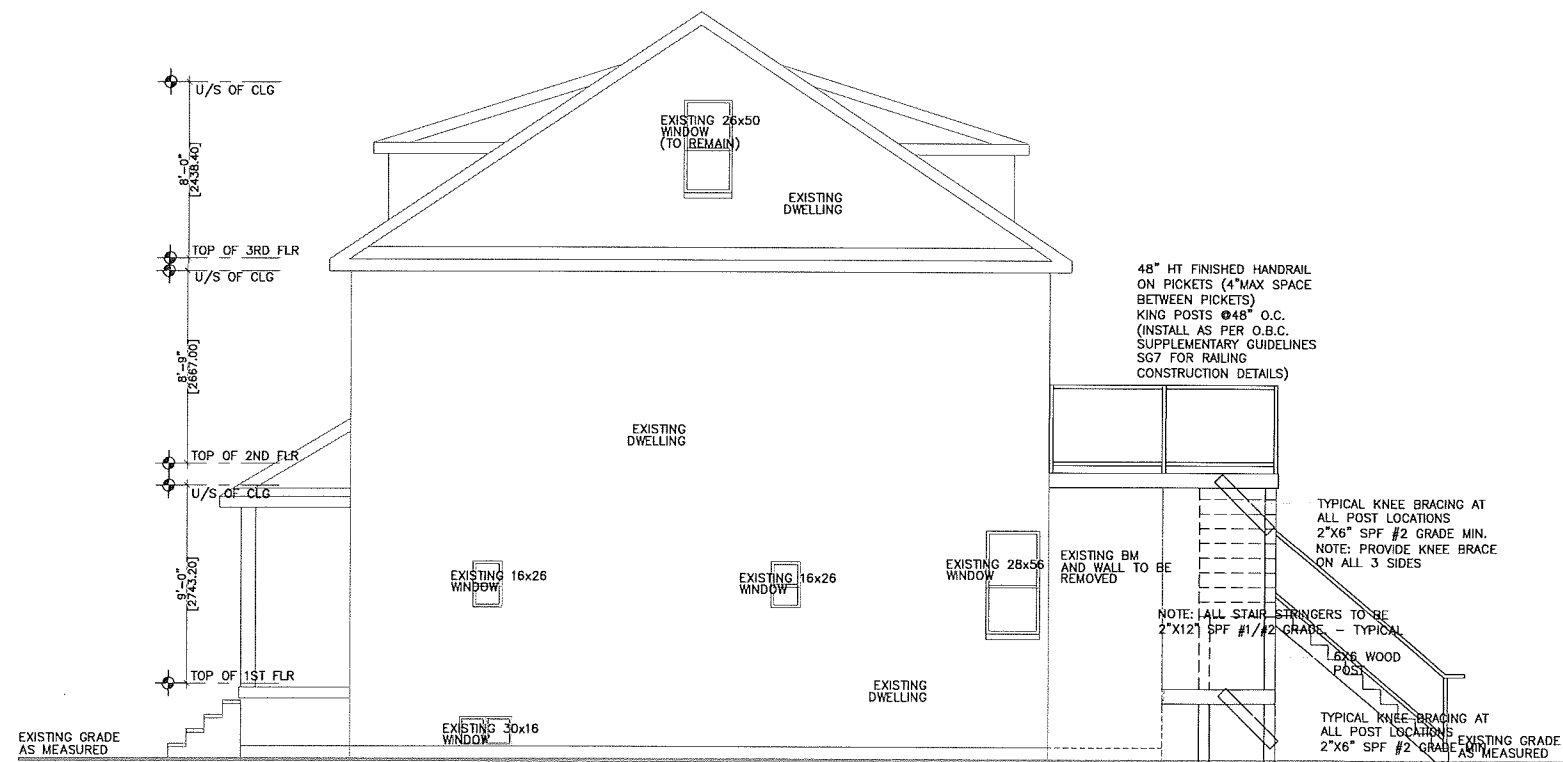
No.

THESE DRAWINGS ARE NOT TO BE  
SCALED. CONTRACTOR MUST CHECK  
ALL DIMENSIONS AND CONDITIONS  
ON THE PROJECT, AND  
MUST REPORT ANY DISCREPANCIES  
TO THE DESIGNER BEFORE PROCEEDING  
WITH THE WORK.  
THE USE OF THIS DRAWING OR PART  
THEREOF IS FORBIDDEN WITHOUT THE  
WRITTEN APPROVAL OF THE DESIGNER.



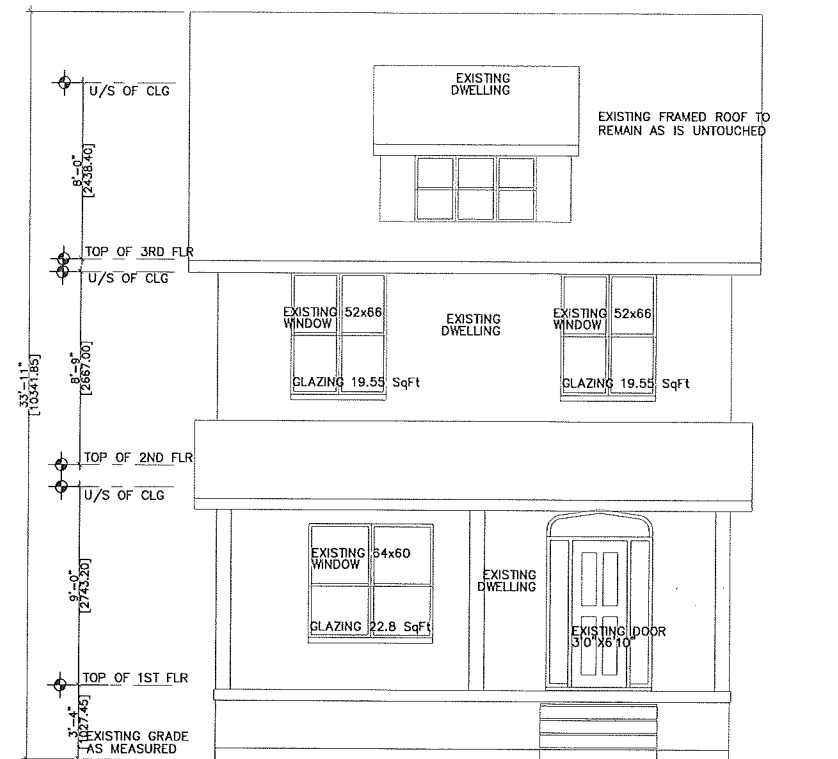
LEFT ELEVATION

O.B.C. 3.2.3.2 (1):  
Limited distance: 6'ft/1.82m  
Wall area: 1094 sq.ft. (1094x7% = 76.58sqft)  
Glazed area permitted: 76.58sqft  
Glazed area provided: 51.10sqft

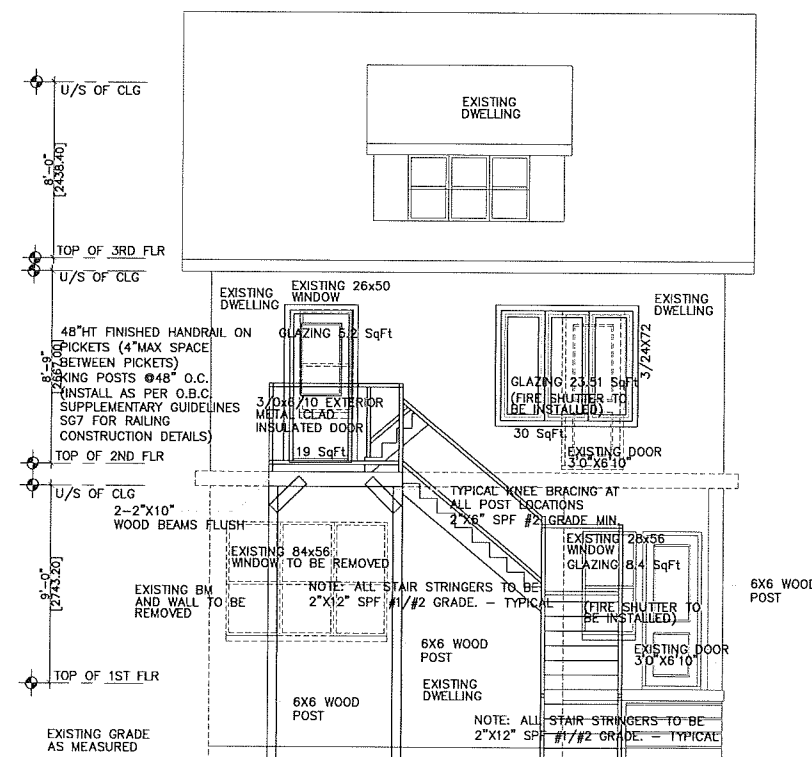


RIGHT ELEVATION

O.B.C. 3.2.3.2 (1):  
Limited distance: 0 ft 0m - EXISTING  
Wall area: 1199 sq.ft. EXISTING  
Glazed area permitted: EXISTING  
Glazed area provided: 12.5sqft (EXISTING)



FRONT ELEVATION



REAR ELEVATION

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MAURO FORTUNATO  
Name Signature 15084 BCN

REGISTRATION INFORMATION  
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UNIQUE DESIGNS INC  
Firm Name 31090 BCN

UNIQUE DESIGNS INC.

CONVERSION  
TO 2 UNITS

2617399 ONT INC.

185 WENTWORTH ST.  
HAMILTON, ONT.

Drawn By  
Date: 092620  
Job Number  
094220

Scale  
1/4"=1'-0"  
A1

THESE DRAWINGS ARE NOT TO BE  
SCALED. CONTRACTOR MUST CHECK  
DIMENSIONS ON THE PROJECT AND  
MUST REPORT ANY DISCREPANCIES  
TO THE DESIGNER BEFORE PROCEEDING  
WITH THE WORK.

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DO NOT SCALE DRAWINGS

FIRE ESCAPE LOADING:  
DL: 10 PSF  
LL: 100 PSF  
SL: 26.7 PSF  
ACCUMULATED SNOW LOAD FROM  
ROOF INCLUDED IN DESIGN.

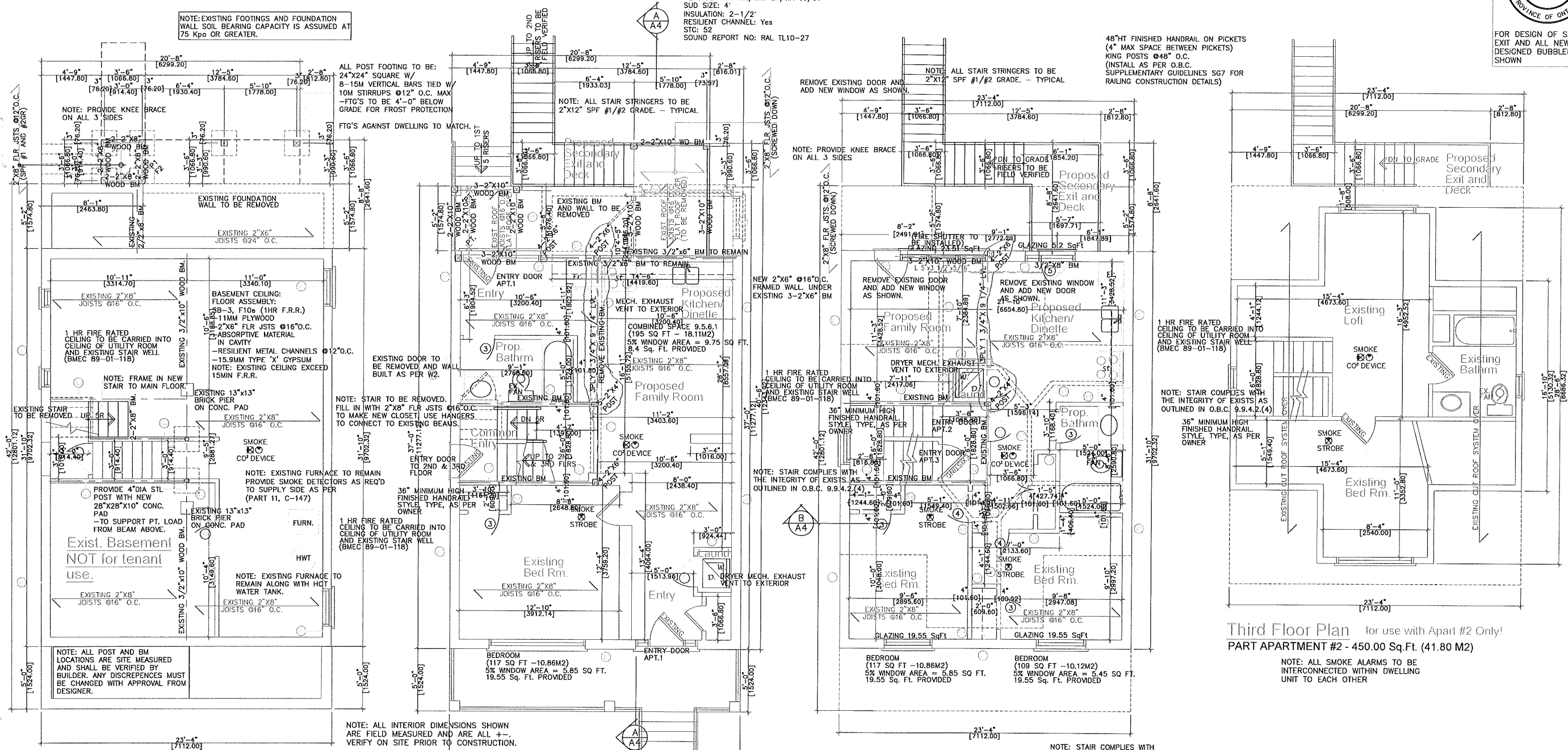
NOTE: EXISTING FOOTINGS AND FOUNDATION  
WALL SOIL BEARING CAPACITY IS ASSUMED AT  
75 Kpa OR GREATER.

## HORIZONTAL SHAFTWALL

HORIZONTAL SHAFT WALL SYSTEM AS PER :  
BMEC 89-01-118  
UL V473 - 1 hr./WHI GP/WA 60/01  
SUD SIZE: 4  
INSULATION: 2-1/2"  
RESILIENT CHANNEL: Yes  
STC: 52  
SOUND REPORT NO: RAL TL10-27



FOR DESIGN OF SECONDARY  
EXIT AND ALL NEW  
DESIGNED BUBBLED BEAMS  
SHOWN



### Existing Basement/Foundation

NOTE: OWNER TO VERIFY EXISTING MECH.  
AND ELECTRICAL PANEL MEETS OR EXCEEDS  
REQUIREMENTS OF THE O.B.C. AN  
INDEPENDENT QUALIFIED PERSON SHALL  
DETERMINE IF EXISTING MECH./ELECT.  
SERVICES MEETS THE REQUIRED INTENT OF  
THE USE TO BE PROVIDED.

NOTE: FIRE PROTECTION RATING (FPR) OF  
THE FIRE DAMPERS AT HVAC PENETRATIONS  
MUST MEET THE FPR OF THE PROTECTED  
ASSEMBLY OR, DUCT-MOUNTED SMOKE  
DETECTOR MUST BE IN THE RETURN AIR  
DROP OF THE FURNACE.

NOTE: 9.5.7.1.(1) - EXCEPT AS PROVIDED  
IN ARTICLES 9.5.7.2. AND 9.5.7.3.,  
BEDROOMS IN DWELLING UNITS SHALL HAVE  
AN AREA NOT LESS THAN 7m<sup>2</sup> WHERE  
BUILT-IN CABINETS ARE NOT PROVIDED AND  
NOT LESS THAN 6m<sup>2</sup> WHERE BUILT-IN  
CABINETS ARE PROVIDED.

NOTE: VERIFY ALL ELECTRICAL LIGHTING  
FIXTURES, OUTLET PLUGS ETC. WITH  
OWNER PRIOR TO INSTALLATION.  
NOTE: ALL WALLS OR STAIRS  
TO BE REMOVED SHOWN DASHED

NOTE: ALL SMOKE ALARMS TO BE  
INTERCONNECTED WITHIN DWELLING  
UNIT TO EACH OTHER

9.5.5. Dining Rooms or Spaces within  
Dwelling Units  
9.5.5.1. Area of Dining Rooms or  
Spaces (1) A dining space in  
combination with other space shall  
have an area of not less than 3.25  
m<sup>2</sup>. (2) Dining rooms not combined  
with other space shall have a  
minimum area of 7 m<sup>2</sup>.

9.5.6. Kitchens within Dwelling Units

9.5.6.1. Kitchen Areas (1) Kitchen  
areas within dwelling units either  
separate from or in combination with  
other spaces, shall have an area of  
not less than 4.2 m<sup>2</sup> including the  
area occupied by the base cabinets,  
except that in dwelling units containing  
sleeping accommodation for not more  
than two persons, the minimum area  
shall be 3.7 m<sup>2</sup>.

### Ground Floor Plan APT.1 APARTMENT #1 - 736.14 Sq.Ft. (68.39 M2)

#### WALL TYPE SCHEDULE

- EXISTING DBLE BRICK EXT. WALL  
OR EXIST. PARTITION WALLS
- ENTRY PARTITION - W4a  
SB-3, W4a (1HR F.R.R.) STC-51  
-2"x4" STUDS @16"O.C.  
-89MM THICK ABSORPTIVE MATERIAL  
-RESILIENT METAL CHANNELS @16"O.C.  
-1 LAYER 15.9MM TYPE 'X' GYPSUM EA. SIDE
- NEW EXTERIOR WALL  
VINYL SIDING  
BUILDING PAPER  
R-22 BATT INSUL  
2"x6" STUDS @16"O.C.  
6 MIL POLY V.B.  
1/2" DRYWALL
- NEW INTERIOR PARTITION WALL  
1/2" DRYWALL  
2"x4" WOOD STUDS @16"O.C.  
1/2" DRYWALL
- EXISTING PARTITION WALL  
WALL TO BE REMOVED
- DEMISING WALL - EW1  
SB-3, EW1 W/ EW1a (1HR F.R.R.) STC-N/A  
-38MM X152MM STUDS @16"O.C. (38MM X 89MM MIN)  
-6MIL POLY V.B.  
-89MM TH ABSORPTIVE MATERIAL (R22)  
-2 LAYER 15.9MM TYPE 'X' GYPSUM ON INSIDE  
-EXTERIOR TYPE SHEATHING  
-BUILDING PAPER  
-ALUM SIDING (NOT VINYL AS PERMITTED)

#### DOOR SCHEDULE

- EXISTING DOORS TO BE  
REPLACED. SAME SIZE  
SAME LOCATION
- 24" WOOD DOOR
- 28" WOOD DOOR
- 30" WOOD DOOR
- 36" STEEL DOOR
- 32" STEEL DOOR W/ SELF  
CLOSURE. DOOR AND FRAME  
TO HAVE A FPR OF AT LEAST  
45 MIN.

NOTE: ALL INTERIOR DIMENSIONS SHOWN  
ARE FIELD MEASURED AND ARE ALL +-.  
VERIFY ON SITE PRIOR TO CONSTRUCTION.

NOTE: ALL EXISTING ROOM SIZES, DIMENSIONS TO  
BE VERIFIED BY THE OWNER CONTRACTOR,  
BUILDER PRIOR TO AND DURING CONSTRUCTION.  
IT IS THE RESPONSIBILITY OF THE OWNER,  
CONTRACTOR, BUILDER TO FIELD VERIFY ALL  
EXISTING DIMENSIONS BEFORE ORDERING ANY  
MATERIALS.

NOTE: CONTRACTOR / BUILDER / OWNER  
TO BE CAREFUL WHEN CUTTING OUT NEW  
WINDOWS/OPENINGS. ENSURE PROPER  
SUPPORTS ARE IN PLACE DURING DEMOLITION  
PHASE.

### Second Floor Plan APT.2 APARTMENT #2 - 673.00 Sq.Ft. (62.52 M2) TOTAL: 1123 Sq Ft (104.33 M2)

#### COLUMN SCHEDULE

- COL. 1=3-2x4
- COL. 2=4-2x4
- COL. 3=2-2x6
- COL. 4=3-2x6
- COL. 5=4-2x6

#### GENERAL NOTES:

SMOKE ALARMS :	FLOOR PLAN DIMENSIONS :
NOTE ALL SMOKE ALARMS	ALL DIMENSIONS ON FLOOR PLANS
WITH-IN A SINGLE DWELLING UNIT	ARE FROM NOMINAL STUD FACE TO
SHALL BE INTERCONNECTED.	NOMINAL STUD FACE OR FACE OF
	EXTERIOR FINISH MATERIAL.

NOTE: 9.5.7.1.(1) - EXCEPT AS PROVIDED  
IN ARTICLES 9.5.7.2. AND 9.5.7.3.,  
BEDROOMS IN DWELLING UNITS SHALL HAVE  
AN AREA NOT LESS THAN 7m<sup>2</sup> WHERE  
BUILT-IN CABINETS ARE NOT PROVIDED AND  
NOT LESS THAN 6m<sup>2</sup> WHERE BUILT-IN  
CABINETS ARE PROVIDED.

NOTE: 9.5.7.4.(1) - SLEEPING ROOMS  
OTHER THAN IN DWELLING UNITS SHALL  
HAVE AN AREA NOT LESS THAN 7m<sup>2</sup> PER  
PERSON FOR SINGLE OCCUPANCY AND  
4.6m<sup>2</sup> PER PERSON FOR MULTIPLE  
OCCUPANCY.

DO NOT SCALE DRAWINGS

UNIQUE DESIGNS INC.

FLOOR PLANS,  
DETAILS, NOTES

CONVERSION  
TO 2 UNITS

2617399 ONT INC.

185 WENTWORTH ST.  
HAMILTON, ONT.

Drawn By: Scale: 1/4"=1'-0"  
Date: 092620  
Job Number: 094220

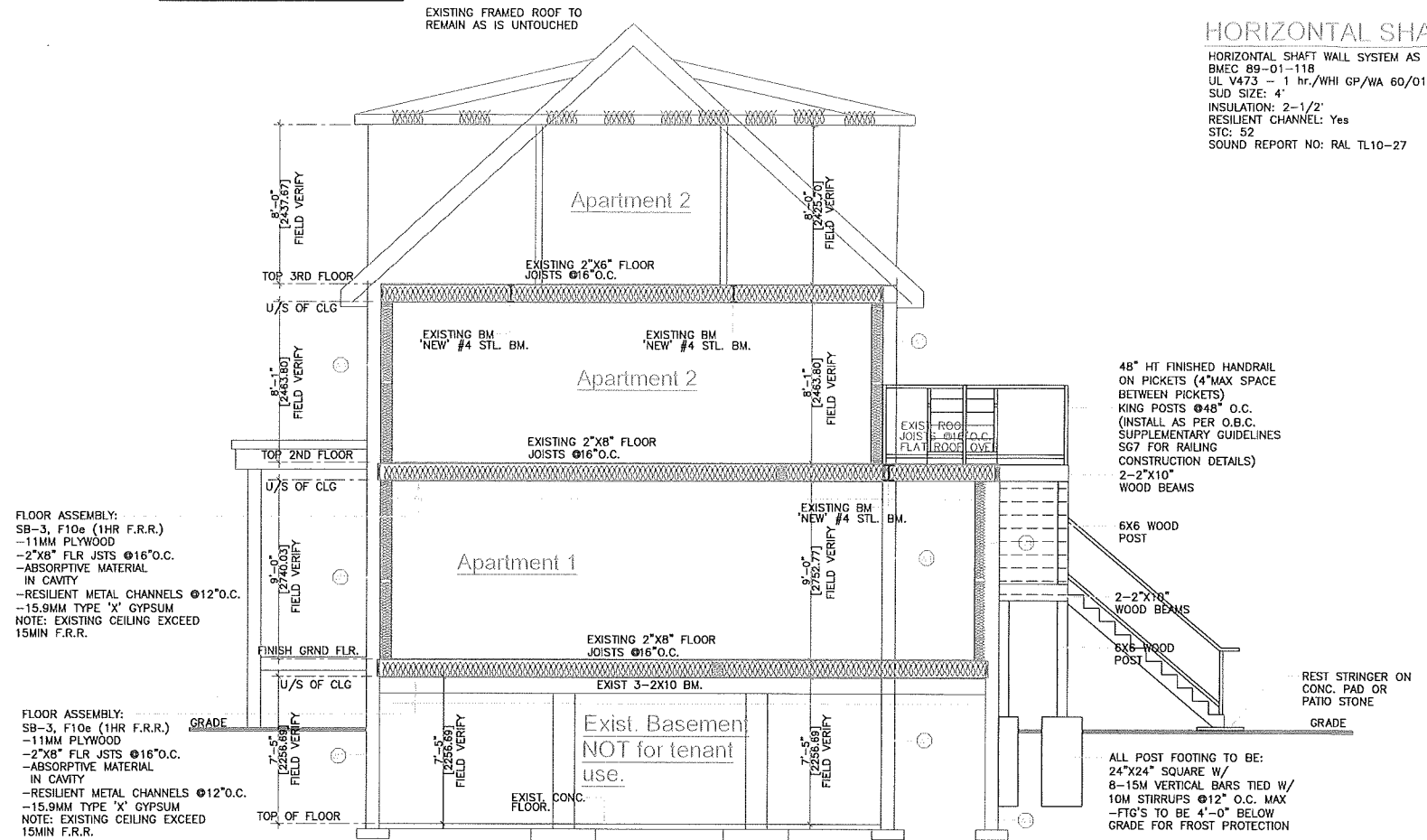
A2

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

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MAURO FORTUNATO  
Name: Signature: 15084 BCN

REGISTRATION INFORMATION  
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UNIQUE DESIGNS INC.  
Firm Name: 31090 BCN

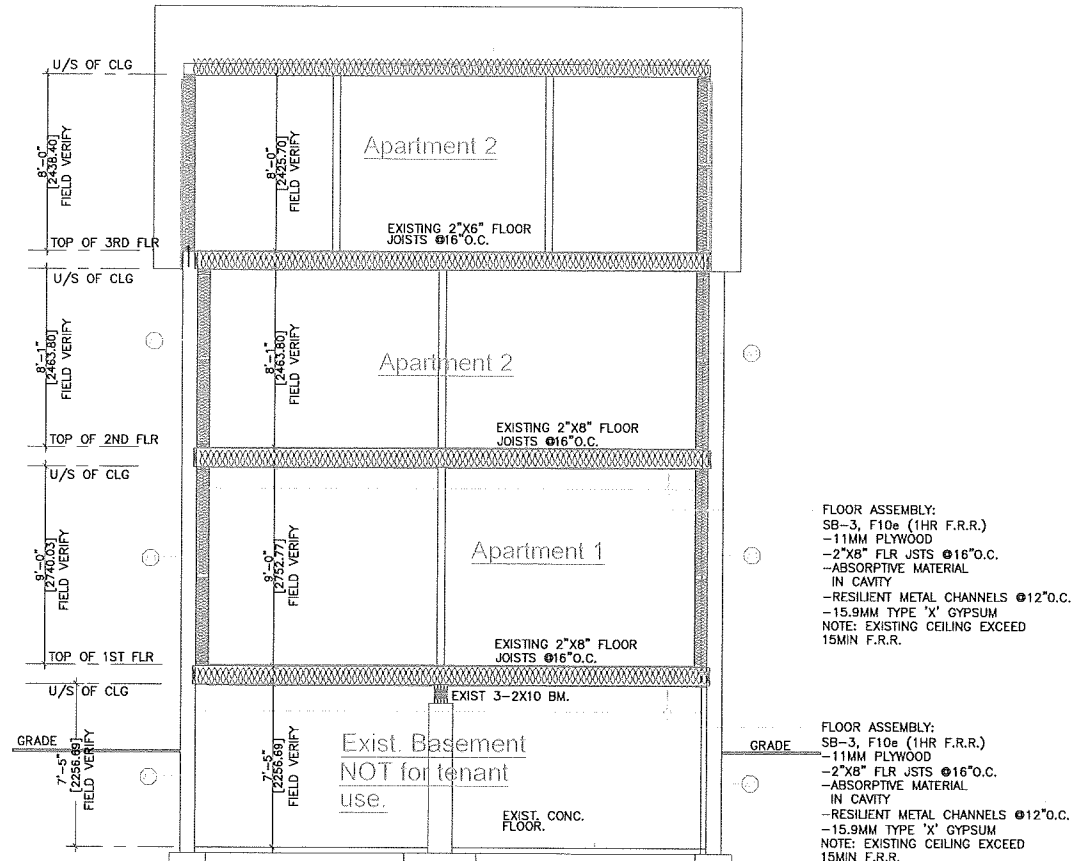
ALL OVERHANGS 12"  
UNLESS NOTED OTHERWISE



## HORIZONTAL SHAFTWALL

HORIZONTAL SHAFT WALL SYSTEM AS PER :  
BMEC 89-01-118  
UL V473 - 1 hr./WHI GP/WA 60/01  
SUD SIZE: 4'  
INSULATION: 2-1/2"  
RESILIENT CHANNEL: Yes  
STC: 52  
SOUND REPORT NO: RAL TL10-27

EXISTING FRAMED ROOF TO REMAIN AS IS UNTOUCHED



## NOTE:

Note to Truss Manufacture.

The Truss Manufacture will; (1) Design and specify all Girder Trusses and Beams that only carry roof loads. (2) Ensure that all Roof Beams and Girder Trusses have been designed around the Architectural structural design and therefore have full bearing to the footings in the basement. (3) Automatically upgrade and provide calculations for any Architecturally specified beams that will carry roof point loads. (4) Design and specify all Conventional Roof Framing over and between manufactured roof trusses systems needed to complete overall roof shape. (5) Provide the Local Municipality with Engineered documents for any of the above mentioned items if required.

## SECTION A/A2

NOTE: EXISTING FOOTINGS AND FOUNDATION WALL SOIL BEARING CAPACITY IS ASSUMED AT 150 Kpa OR GREATER.

STEEL LINTEL SCHEDULE		
CLEAR SPAN	L'INTEL S'ZL	
	BRICK	STONE
2'-6"	L 3"x3"x1/4"	L 4"x3"x1/4"
3'-11"	L 3 1/2"x3 1/2"x1/4"	L 5"x3 1/2"x5/16"
4'-11"	L 3 1/2"x3 1/2"x5/16"	L 5"x3 1/2"x5/16"
5'-11"	L 4"x3 1/2"x5/16"	L 5"x5"x5/16"
6'-11"	L 5"x3 1/2"x5/16"	L 5"x5"x5/16"
7'-10"	L 5"x3 1/2"x5/16"	L 5"x5"x5/16"
8'-10"	L 5"x3 1/2"x3/8"	L 5"x5"x3/8"
9'-10"	L 6"x4"x3/8"	L 5"x5"x1/2"

STEEL LINTELS SHOWN IN ABOVE CHART SHALL HAVE EVEN AND LEVEL BEARING AND SHALL HAVE NOT LESS THAN 6" LENGTH OF BEARING

## WALL TYPE SCHEDULE

- EXISTING DBLE BRICK EXT. WALL OR EXIST. PARTITION WALLS
- ENTRY PARTITION - W4a  
SB-3, W4a (1HR F.R.R.) STC-51  
-2"x4" STUDS @16" O.C.  
-89MM THICK ABSORPTIVE MATERIAL  
-RESILIENT METAL CHANNELS @16" O.C.  
-1 LAYER 15.9MM TYPE 'X' GYPSUM EA. SIDE
- NEW EXTERIOR WALL  
VINYL SIDING  
BUILDING PAPER  
R-22 BATT INSUL  
2"x8" STUDS @16" O.C.  
6 MIL POLY V.B.  
1/2" DRYWALL
- NEW INTERIOR PARTITION WALL  
1/2" DRYWALL  
2"x4" WOOD STUDS @16" O.C.  
1/2" DRYWALL
- EXISTING PARTITION WALL  
WALL TO BE REMOVED
- DEMISING WALL - EWI  
SB-3, EW1 W/ EW1a (1HR F.R.R.) STC-N/A  
-38MM X152MM STUDS @16" O.C. (38MM X 89MM MIN)  
-8MIL POLY V.B.  
-89MM THICK ABSORPTIVE MATERIAL (R22)  
-2 LAYER 15.9MM TYPE 'X' GYPSUM ON INSIDE  
-EXTERIOR TYPE SHEATHING  
-BUILDING PAPER  
-ALUM SIDING (NOT VINYL AS PERMITTED)

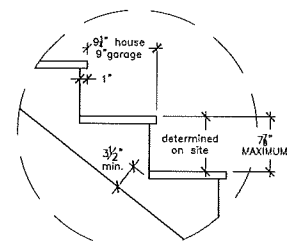
## SECTION B/A2

NOTE: EXISTING FOOTINGS AND FOUNDATION WALL SOIL BEARING CAPACITY IS ASSUMED AT 150 Kpa OR GREATER.

NEW COLUMN'S WRAPPED IN 2 LAYERS 12.7mm TYPE 'X' DRYWALL - MIN 80MIN F.R.R. AS PER O.B.C. SB-2, TABLE 2.3.4.A.

## HORIZONTAL SHAFTWALL

HORIZONTAL SHAFT WALL SYSTEM AS PER :  
BMEC 89-01-118  
UL V473 - 1 hr./WHI GP/WA 60/01  
SUD SIZE: 4'  
INSULATION: 2-1/2"  
RESILIENT CHANNEL: Yes  
STC: 52  
SOUND REPORT NO: RAL TL10-27



Stair Detail  
(typical throughout)

## STRUCTURAL NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION MUST COMPLY WITH THE LATEST ADDITION OF THE O.B.C. 2012.
- DO NOT SCALE THESE DRAWINGS.
- SUBMIT STRUCTURAL STEEL SHOP DRAWINGS FOR REVIEW BY THE DESIGNER PRIOR TO FABRICATION. MAKE FIELD MEASUREMENTS NECESSARY FOR FABRICATION AND ERECTION
- THE CONTRACTOR SHALL PROVIDE INSPECTION REPORTS PREPARED BY AN INSPECTION AND TESTING AGENCY ON THE STRUCTURAL STEEL ERECTION AND CONCRETE STRENGTH
- ALL FOOTING SHALL BEAR ON UNDISTURBED SOIL CAPABLE OF SUSTAINING A LOAD OF 4 KSF
- SPECIFIED 28 DAY CONCRETE STRENGTH IS 20 MPA. ALL CONCRETE EXPOSED TO FREEZE-THAW CYCLES IN A SATURATED CONDITION SHALL BE CLASSIFICATION C-1 TO CSA-A23.1-M90
- REINFORCING STEEL: G30.18M GRADE 400R.
- STRUCTURAL STEEL CSA G40.21M :  
HSS SECTIONS GRADE 350W CLASS H  
ANCHOR BOLTS GRADE 260W  
PIPE MATERIAL ASTM A53  
OTHER STEEL GRADE 300W  
WELDING TO CONFORM TO CSA W59 AND W47.1
- LOAD BEARING MASONRY MATERIALS:  
HOLLOW BLOCK CSA A185.1M-H/15/X/X  
SOLID BLOCK CSA A185.1M-S/15/X/X  
BELOW GRADE MORTAR CSA A179M-TYPE S  
ABOVE GRADE MORTAR CSA A179M-TYPE N  
GROUT FOR BLOCK CORES CSA A179M 1:3:2 CEMENT: SAND PEA GRAVEL BY VOLUME, 8" SLUMP  
ALL LUMBER TO BE KILN-DRIED, GRADED TO CONFORM TO CSA 0141, SPF NO.2 UNLESS NOTED
- STRUCTURAL LUMBER:
- SUPPLY JOIST HANGERS TO THE JOIST MANUFACTURER'S SPECIFICATIONS.
- PROVIDE WEB STIFFENERS WHERE TJI JOISTS CONNECTED USING HANGERS
- PROVIDE FIRE PROTECTION WHEN WELDING CLOSE TO COMBUSTIBLE MATERIALS.

## NOTES:

THESE NOTES COMPLY WITH THE REQUIREMENTS OF THE ONTARIO BUILDING CODE 2012. UNLESS SPECIFICALLY ALTERED BY MUNICIPALITY HAVING JURISDICTION. IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO CONFORM WITH THESE SECTIONS WHERE APPLICABLE AND FAMILIARIZE HIMSELF SPECIFICALLY WITH PART 9 OF THE CODE

ALL STRUCTURAL LUMBER TO BE EASTERN SPRUCE NO.2 CONSTRUCTION GRADE, UNLESS OTHERWISE NOTED. SIZES ARE DETERMINED FROM SPAN OFF TABLES OF THE BUILDING CODE 2012

ALL WINDOWS ARE DOUBLE GLAZED OR THERMOPANE

ALL WINDOW HEADS TO BE 6'-10" (OR 7'-10") ABOVE FIN. FLOOR OR TO MATCH DOOR HEAD FRAMING HEIGHTS

ALL EXTERIOR DOORS, IF WOOD TO HAVE STORM DOORS OR TO BE OF METAL INSULATED TYPE.

ALL TIMBER TO BE SUPPORTED MIN 6" ABOVE FIN. GRADE UNLESS PRESSURE TREATED AGAINST TERMITES REMOVE WOOD DEBRIS OR VEGETABLE MATTER FROM BACKFILL

IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO HAVE ALL GRADES AND SERVICES CHECKED AND VERIFIED GRADING AND SERVICES ENGINEERED

FOUNDATION WALLS TO BE CONSTRUCTED TO A MIN 6" ABOVE APPROVED GRADES AT HOUSE

PROPOSED GRADE LINE AS INDICATED ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT FINISHED GRADING CONDITIONS OF ANY PARTICULAR LOT

DO NOT SCALE DRAWINGS

UNIQUE DESIGNS INC.

SECTIONS  
NOTES, DETAILS  
CONVERSION  
TO 2 UNITS

2617399 ONT INC.

185 WENTWORTH ST.  
HAMILTON, ONT.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Div. C, Article 3.2.5.1 of the Building Code

MAURO FORTUNATO  
Name Signature 16084 BCN

REGISTRATION INFORMATION  
Required unless design is exempt under Div. C, Article 3.2.4.1 of the Building Code

UNIQUE DESIGNS INC.  
Firm Name 31090 BCN

Drawn By

Scale

1/4"=1'-0"

Date:

092620

Job Number

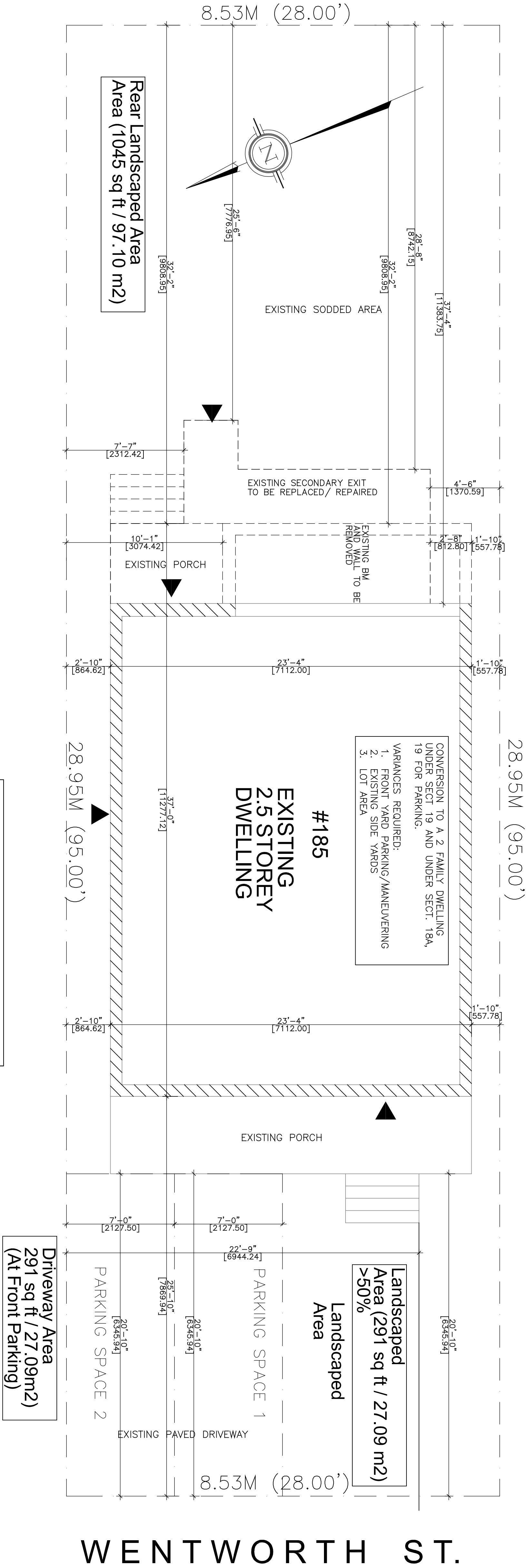
094220

A3

THESE DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK ALL DIMENSIONS AND CONDITIONS ON THE PROJECT. ANY DISCREPANCIES MUST BE REPORTED TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.

THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.





SITE PLAN

NOTE:  
ALL PROPOSED RAIN WATER LEADERS TO DISCHARGE ANY RAIN WATER ON PROPERTY OR EXISTING SWALES. CLAIM TO HAVE THE QUALITY OF THIS DOCUMENT NOT TO BE USED FOR ANY OTHER PURPOSES OR MANIPULATIONS OR BREACHES.

NOTE:  
ALL SETBACKS SHOWN ON THIS PLOT PLAN IS FOR REFERENCE ONLY AS PROVIDED BY OWNER AND FIELD MEASURED.

NOTE:  
THIS PLOT PLAN IS NOT A SURVEY. UNIQUE DESIGNS INC. DOES NOT GUARANTEE THE ACCURACY OF THIS DOCUMENT NOR DOES IT INTEND FOR THE USE AS A SURVEY. THE DRAWING PRODUCED IS INTENDED TO BE USED FOR THE PURPOSES OF OBTAINING A PERMIT AND FOR THE PURPOSES OF OBTAINING A PERMIT. THE DRAWING PRODUCED IS INTENDED TO BE USED FOR THE PURPOSES OF OBTAINING A PERMIT AND FOR THE PURPOSES OF OBTAINING A PERMIT. THE DRAWING PRODUCED IS INTENDED TO BE USED FOR THE PURPOSES OF OBTAINING A PERMIT AND FOR THE PURPOSES OF OBTAINING A PERMIT.

SITE STATISTICS
MUNICIPAL ADDRESS 185 WENTWORTH ST. S. HAMILTON, ONT.
BUILDING CLASSIFICATION MULTIPLE RESIDENTIAL
ZONING C-RESIDENTIAL SECTION 3, 18, 18A, 19 REQUIREMENTS MIN. SIDE YARD 1.20 M (3.94') MIN. FRONT YARD 6.0 M (19.69') MIN. REAR YARD 7.5 M (24.61') MAX HT. 11.0 M (36.0')
EXISTING YARDS AT DWELLING SIDE YARD (LEFT) 0.86M (2.83') SIDE YARD (RIGHT) 0.56M (1.83') FRONT YARD 6.34M (20.83') REAR YARD 9.80M (32.17')
LOT COVERAGE N/A
SECTION 18 CONVERSION REQUIREMENTS 19(1) - Req'd min unit 65m2 (699 SQFT) : Provided --- SEE PLANS 19(1) - 270m2 min req'd lot area --- EXIST 246.6m2 (2658.07 SQ FT)
CONVERSION TO A 2 FAMILY DWELLING UNDER SECT 19 AND UNDER SECT. 18A, 19 FOR PARKING. VARIANCES REQUIRED: 1. FRONT YARD PARKING/MANEUVERING 2. EXISTING SIDE YARDS 3. LOT AREA



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Qualification Information.

Registered unless design is exempt under O.R.C. Article 12.5.1 of the Building Code

NAME: MAURO FORTULIATO  
Signature: *Mauro Fortulianto*  
15084 BCIN

REGISTRATION INFORMATION  
Registered unless design is exempt under O.R.C. Article 12.5.1 of the Building Code

UNIQUE DESIGNS INC.  
Firm Name: \_\_\_\_\_  
BCIN: 31090

No.	DATE	DESCRIPTION	
1.	10.03.20	ISSUED FOR PERMIT	
2.	11.23.20	REVISED PER CITY COMMENTS	
3.	01.16.21	REVISED PER ZONING/ VARIANCE	
4.	04.07.21	REVISED PER ZONING/ VARIANCE	
5.			
6.			
7.			
8.			

2617399 ONT INC.	UNIQUE DESIGNS INC.	CONVERSION TO 2 UNITS	SITE PLAN
185 WENTWORTH ST. HAMILTON, ONT.			

Drawn By	Scale
092620	1/4"=1'-0"
Job Number	
094220	A0

THESE DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT, AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.
THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.

**Committee of Adjustment**

City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221


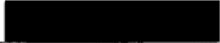

Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**APPLICATION FOR A MINOR VARIANCE**

<b>FOR OFFICE USE ONLY.</b>	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

**The Planning Act****Application for Minor Variance or for Permission**

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS	
<b>Registered Owners(s)</b>	Benjamin Julius Samantha Jansen		<b>Phone:</b> 
			<b>E-mail:</b> 
<b>Applicant(s)*</b>			<b>Phone:</b>
			<b>E-mail:</b>
<b>Agent or Solicitor</b>			<b>Phone:</b>
			<b>E-mail:</b>

**Note:** Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Benjamin Julius                      699 Haldimand Rd. 9 Hagersville, ON N0A 1H0  
Samantha Jansen



**Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled**

4. Nature and extent of relief applied for:

To create a legal duplex parking spaces to 2-2.13x6.34, existing sideyards 2'-10"  
North propert line & 1'-10" South Property line. (These are exsisting) lot area required is  
270m2 exsisting lot is 246.94m2

5. Why it is not possible to comply with the provisions of the By-law?

The property is exissting and the current dwellling has existed since 1910

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

185 Wentworth St S. Hamilton ON L8N 2Z5  
Single family home

7. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☐

Other \_\_\_\_\_

- 8.1 If Industrial or Commercial, specify use \_\_\_\_\_

- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☒ Unknown ☐

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes \_\_\_\_\_ No ☒ Unknown \_\_\_\_\_

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes \_\_\_\_\_ No ☒

**9. ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

January 29/2021

Date

Signature Property Owner

Print Name of Owner

10. Dimensions of lands affected:

Frontage

**SEE ATTACHED DRAWINGS**

Depth

Area

Width of street

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: \_

**SEE ATTACHED DRAWINGS**

Proposed

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

**SEE ATTACHED DRAWINGS**

Proposed:

13. Date of acquisition of subject lands: November 11/2016
14. Date of construction of all buildings and structures on subject lands: 1910
15. Existing uses of the subject property:  
Single family home
16. Existing uses of abutting properties:  
Single family home / 4 Plex Multi residential
17. Length of time the existing uses of the subject property have continued:
18. Municipal services available: (check the appropriate space or spaces)  
Water ✓ Connected ✓  
Sanitary Sewer ✓ Connected ✓  
Storm Sewers ✓
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
21. Has the owner previously applied for relief in respect of the subject property?  
Yes ☐ No ☒  
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?  
Yes ☐ No ☒
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.