

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: AN/A-21:176

APPLICANTS: Agent Graham Day
Owners A. & S. Hall

SUBJECT PROPERTY: Municipal address **189 Fiddlers Green Rd., Ancaster**

ZONING BY-LAW: Zoning By-law 87-57, as Amended 18-105

ZONING: "ER" (Existing Residential) district

PROPOSAL: To permit the construction of a new single family dwelling and a one (1) storey accessory building in the rear yard, notwithstanding that;

1. An accessory building shall be permitted to be located in the required minimum northerly interior side yard, instead of the requirement that an accessory building shall not be located in any required minimum side yard.
2. An accessory building, in excess of 12 square metres ground floor area, shall be permitted to be located in the required minimum rear yard, and 1.52 metres from the rear lot line, instead of the requirement that an accessory building, in excess of 12 square metres ground floor area, shall not be located in any required minimum rear yard, and shall not be less than 7.5 metres from the rear lot line.
3. An eave or gutter for an accessory building shall be permitted to extend 0.94 metres into the required minimum northerly interior side yard, and 25.36 metres into the required minimum rear yard, instead of the requirement that in no case shall any eave or gutter for an accessory building extend more than 0.3 metres into a required minimum setback area.

NOTE:

1. The proposed development is subject to the issuance of a building permit in the normal manner. Be advised that Ontario Building Code regulations may require specific setbacks and construction types.

This application will be heard by the Committee as shown below:

DATE: Thursday, June 17th, 2021
TIME: 1:15 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

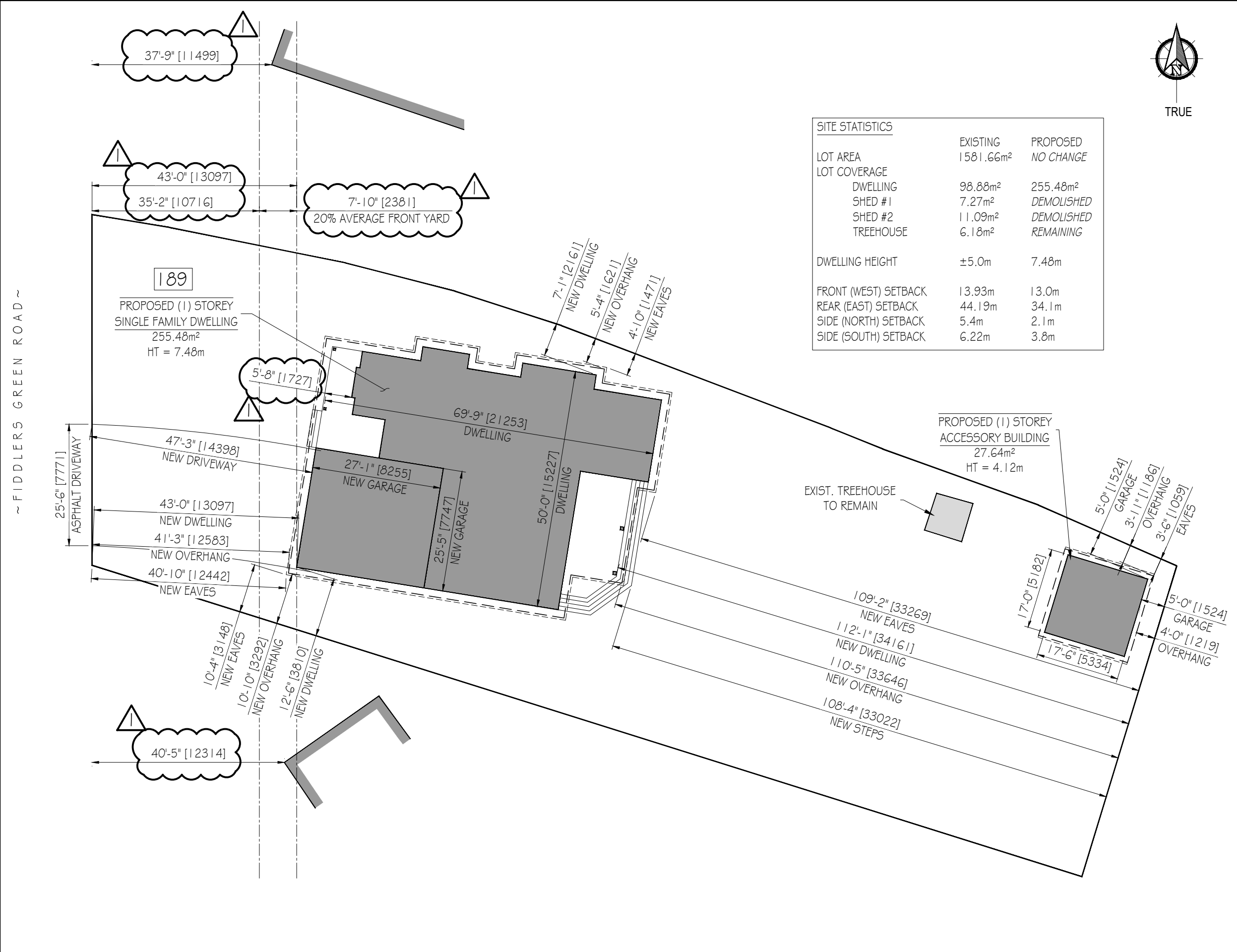
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

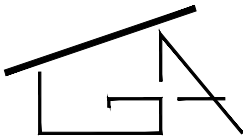
DATED: June 1st, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



SITE STATISTICS		
LOT AREA	EXISTING 1581.66m ²	PROPOSED NO CHANGE
LOT COVERAGE		
DWELLING	98.88m ²	255.48m ²
SHED #1	7.27m ²	DEMOLISHED
SHED #2	11.09m ²	DEMOLISHED
TREEHOUSE	6.18m ²	REMAINING
DWELLING HEIGHT	±5.0m	7.48m
FRONT (WEST) SETBACK	13.93m	13.0m
REAR (EAST) SETBACK	44.19m	34.1m
SIDE (NORTH) SETBACK	5.4m	2.1m
SIDE (SOUTH) SETBACK	6.22m	3.8m



ARCHITECTURAL
DESIGNER
GRAHAMALEXANDER.CA
INFO@GRAHAMALEXANDER.CA
1 905 864 5305

THIS DRAWING IS NOT
TO BE USED AS PART OF A
BUILDING PERMIT
APPLICATION

THIS DRAWING IS FOR
DISCUSSION PURPOSES
ONLY

REV.	DESCRIPTION	DATE
0	FOR MINOR VARIANCE APPLICATION	MAR. 29/21
1	REVISED AS PER COMMENTS	MAY 18/21

client
HOMEOWNER

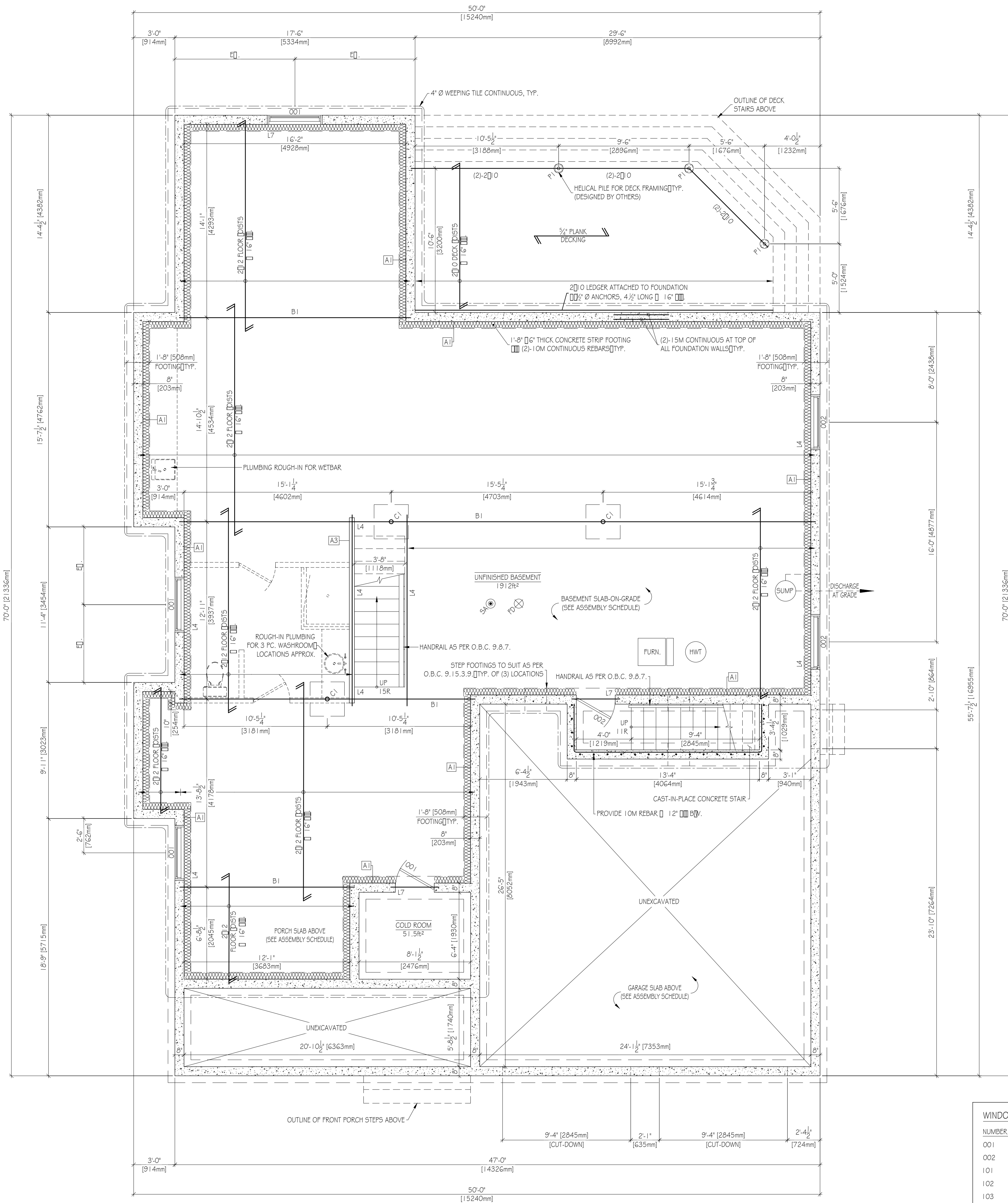
project
189 FIDDLERS GREEN ROAD
ANCASTER, ONTARIO
PROJECT No. 21-001

title
PROPOSED SITE PLAN

drawn G.D.	checked -
date MARCH 2021	scale 1" = 20'-0"
revision number 1	drawing number SP0.01

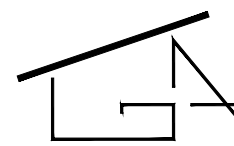
ASSEMBLIES SCHEDULE

[A1]	FOUNDATION WALL
6" POLY VAPOUR BARRIER	
MIN. R20 CONTINUOUS BATT INSULATION	
8" CAST-IN-PLACE CONCRETE FOUNDATION WALLS	
APPROVED DAMPROOFING DRAINAGE LAYER	
[A2]	EXTERIOR SIDING WALL
SIDING	
BUILDING PAPER	
1" (R-5 XPS) LAP TAPE ALL SEAMS	
1/2" PLYWOOD SHEATHING	
2" WOOD STUDS @ 16" (U.N.O.)	
R22 BATT INSULATION	
6" POLY VAPOUR BARRIER	
1/2" GYPSUM BOARD	
[A3]	INTERIOR PARTITION WALL
2" WOOD STUDS @ 16" (U.N.O.)	
1/2" GYPSUM BOARD	
[A4]	GARAGE PARTITION WALL
1/2" GYPSUM BOARD	
2" WOOD STUDS @ 16"	
R22 BATT INSULATION	
6" POLY VAPOUR BARRIER (HEATED SIDE)	
1/2" GYPSUM BOARD	
[A5]	BASEMENT SLAB
MIN. 4" CONCRETE SLAB-ON-GRADE (25MP)	
2" (R-10 XPS)	
6" COARSE CLEAR STONE FILL 'A'	
[A6]	GARAGE SLAB
MIN. 5" CONCRETE SLAB-ON-GRADE (25MP)	
6" WMM	
6" COARSE CLEAR STONE FILL 'A'	
[A7]	PORCH SLAB
MIN. 5" CONCRETE SLAB-ON-GRADE (25MP)	
1 OM REBARS @ 8"	
24" BENT 1 OM DOWELS @ 24" PERIMETER	
PROVIDE MINIMUM 3" EDGE BEARING FOR SLAB	
6" COARSE CLEAR STONE FILL 'A' (WHERE UNEXCAVATED)	
[A8]	FLOOR ASSEMBLY
3/4" PLYWOOD SHEATHING	
DISTS AS NOTED ON PLANS	
X-BRIDGING @ 18" POINTS	
[A9]	ROOF ASSEMBLY
ASPHALT SHINGLES	
UNDERLAYMENT (ICE WATER SHIELD)	
1/2" PLYWOOD SHEATHING	
PRE-ENGINEERED TRUSSES BY OTHERS	
MIN. R60 BLOWN-IN INSULATION	
6" POLY VAPOUR BARRIER	
1/2" GYPSUM BOARD	
[A10]	PORCH DECK ROOF ASSEMBLY
ASPHALT SHINGLES	
UNDERLAYMENT (ICE WATER SHIELD)	
1/2" PLYWOOD SHEATHING	
PRE-ENGINEERED TRUSSES BY OTHERS	
1-3/4" PLANKING FINISH	



TRUE

CONSTRUCTION



ARCHITECTURAL
DESIGNER
GRAHAM ALEXANDER
INFO@GRAHAMALEXANDER.CA
1 905 864 5305

THIS DRAWING IS NOT
TO BE USED AS PART OF A
BUILDING PERMIT
APPLICATION

THIS DRAWING IS FOR
DISCUSSION PURPOSES
ONLY

DRAWING LIST

A0	KEY PLAN	SCOPE OF WORK
A1	GENERAL	CONSTRUCTION NOTES
A2	ELEVATIONS	
A3	ELEVATIONS	
A4	BASEMENT FLOOR PLAN	
A5	MAIN FLOOR PLAN	
A6	SECTION	DETAILS AND SCHEDULES

LEGEND

SA	SMOKE ALARM	SEE CONST. NOTES
CO	CARBON MONOXIDE ALARM	
EF	EXHAUST FAN	
FD	FLOOR DRAIN	
DO	DOOR	ASSOCIATED SCHEDULE NUMBER
WO	WINDOW	ASSOCIATED SCHEDULE NUMBER

INTEL BEAM SCHEDULE T.B.D.

L1	(2) - 2"	6" S-P-F
L2	(2) - 2"	8" S-P-F
L3	(2) - 2"	10" S-P-F
L4	(2) - 2"	12" S-P-F
L5	(3) - 2"	8" S-P-F
L6	(3) - 2"	10" S-P-F
L7	(3) - 2"	12" S-P-F
L8	3"	2 OC 1/2" @ 1/2" LVL
B1	W8x11	STEEL BEAM

COLUMN LEGEND T.B.D.

NEW SUITABLE ADJUSTABLE STEEL COLUMN ON
NEW 2'-0" @ 2'-0" @ 9" THICK CONCRETE FOOTING
6-1 OM REBARS @ 12"

HELICAL PIER TO BE DESIGNED BY OTHERS

NEW 6" POST SUITABLE SADDLE
BEARING ON FOUNDATION BELOW

PROVIDE NEW MINIMUM 3/4" SOLID LEVEL
BEARING FOR NEW BEAM @ INTEL

TYPICAL NOTES

STAIRS (AS PER O.B.C. 9.8)

• RISE - MIN. 4 1/2" MAX. 7 1/2"

• RUN - MIN. 8 1/2" MAX. 14"

HANDRAILS (AS PER O.B.C. 9.8.7)

• MIN. 2'-10" HIGH MAX. 3'-2" HIGH

• OPENINGS BETWEEN PICKETS TO BE LESS THAN 4"

GUARDS (AS PER O.B.C. 9.8.8)

• MIN. 2'-11" HIGH U.N.O.

• OPENINGS BETWEEN PICKETS TO BE LESS THAN 4"

REV.	DESCRIPTION	DATE
0	FOR MINOR VARIANCE APPLICATION	MAR. 29/21

client

HOME OWNER

project

189 FIDDLERS GREEN ROAD
ANCASTER, ONTARIO
PROJECT No. 21-001

title

BASEMENT FLOOR PLAN

drawn	G.D.	checked	-
date	MARCH 2021	scale	1" = 1'-0"
revision number	0	drawing number	A1.01

DOOR SCHEDULE

NUMBER	SIZE	HARDWARE	NOTES
001	34" @ 0	PASSAGE SET	EXTERIOR GRADE
002	34" @ 0	PRIVACY SET	EXTERIOR GRADE GAS SEAL SELF-CLOSING DEVICE
100	36" @ 4	PRIVACY SET	FRONT DOOR 12" @ 4 SIDELIGHT
101	(2) - 30" @ 4	PRIVACY SET	EXTERIOR GRADE
102	32" @ 0	PRIVACY SET	EXTERIOR GRADE
103	108" @ 6	N/A	GARAGE DOOR ARCHED FRAME SEE ELEVATION
104	32" @ 0	PRIVACY SET	EXTERIOR GRADE GAS SEAL SELF-CLOSING DEVICE
105	30" @ 0	DUMMY SET	
106	32" @ 0	PASSAGE SET	
107	(2) - 30" @ 0	DUMMY SET	
108	30" @ 0	PRIVACY SET	
109	30" @ 0	PRIVACY SET	POCKET DOOR
110	30" @ 0	PRIVACY SET	
111	24" @ 0	DUMMY SET	
112	32" @ 0	PASSAGE SET	
113	(2) - 30" @ 0	DUMMY SET	
114	18" @ 0	DUMMY SET	
115	32" @ 0	PRIVACY SET	
116	30" @ 0	PASSAGE SET	
117	32" @ 0	PASSAGE SET	
118	30" @ 0	PRIVACY SET	
119	(2) - 20" @ 0	DUMMY SET	
120	32" @ 0	PASSAGE SET	

WINDOW SCHEDULE

NUMBER	COUNT	SIZE	TYPE	FRAME	GLAZING	NOTES
001	3	48" @ 0	AWNING	ALUMINUM	DOUBLE	EGRESS WINDOW
002	2	48" @ 0	AWNING	ALUMINUM	DOUBLE	
101	1	60" @ 8	CASEMENT	ALUMINUM	DOUBLE	SEE ELEVATION FOR OPERATION
102	1	30" @ 2	AWNING	ALUMINUM	DOUBLE	
103	8	30" @ 0	CASEMENT	ALUMINUM	DOUBLE	SEE ELEVATIONS FOR OPERATION ORIENTATION
104	1	72" @ 8	AWNING	ALUMINUM	DOUBLE	SILL TO BE 6'-6" ABOVE FLOOR
105	1	48" @ 0	FIXED	ALUMINUM	DOUBLE	
106	1	72" @ 0	CASEMENT	ALUMINUM	DOUBLE	SEE ELEVATION FOR OPERATION

ASSEMBLIES SCHEDULE

[A1]	FOUNDATION WALL
6" POLY VAPOUR BARRIER	
MIN. R20 CONTINUOUS BATT INSULATION	
8" CAST-IN-PLACE CONCRETE FOUNDATION WALLS	
APPROVED DAMPROOFING DRAINAGE LAYER	
[A2]	EXTERIOR SIDING WALL
SIDING	
BUILDING PAPER	
1" (R-5 XPS) LAP TAPE ALL SEAMS	
1/2" PLYWOOD SHEATHING	
2" WOOD STUDS @ 16" O.C.	
R22 BATT INSULATION	
6" POLY VAPOUR BARRIER	
1/2" GYPSUM BOARD	
[A3]	INTERIOR PARTITION WALL
2" WOOD STUDS @ 16" O.C. (U.N.O.)	
1/2" GYPSUM BOARD	
[A4]	GARAGE PARTITION WALL
1/2" GYPSUM BOARD	
2" WOOD STUDS @ 16" O.C.	
R22 BATT INSULATION	
6" POLY VAPOUR BARRIER (HEATED SIDE)	
1/2" GYPSUM BOARD	
[A5]	BASEMENT SLAB
MIN. 4" CONCRETE SLAB-ON-GRADE (25MP)	
2" (R-10 XPS)	
6" COARSE CLEAR STONE FILL 'A'	
[A6]	GARAGE SLAB
MIN. 5" CONCRETE SLAB-ON-GRADE (25MP)	
6" WWM	
6" COARSE CLEAR STONE FILL 'A'	
[A7]	PORCH SLAB
MIN. 5" CONCRETE SLAB-ON-GRADE (25MP)	
10M REBARS @ 8" O.C.	
24" BENT-UP DOWELS @ 24" O.C. PERIMETER	
PROVIDE MINIMUM 3" EDGE BEARING FOR SLAB	
6" COARSE CLEAR STONE FILL 'A' (WHERE UNEXCAVATED)	
[A8]	FLOOR ASSEMBLY
1/2" PLYWOOD SHEATHING	
DETAILS AS NOTED ON PLANS	
X-BRIDGING @ 18" POINTS	
[A9]	ROOF ASSEMBLY
ASPHALT SHINGLES	
UNDERLAYMENT (ICE WATER SHIELD)	
1/2" PLYWOOD SHEATHING	
PRE-ENGINEERED TRUSSES BY OTHERS	
MIN. R60 BLOWN-IN INSULATION	
6" POLY VAPOUR BARRIER	
1/2" GYPSUM BOARD	
[A10]	PORCH DECK ROOF ASSEMBLY
ASPHALT SHINGLES	
UNDERLAYMENT (ICE WATER SHIELD)	
1/2" PLYWOOD SHEATHING	
PRE-ENGINEERED TRUSSES BY OTHERS	
1-3/4" PLANKING FINISH	

ADDITIONAL NOTES

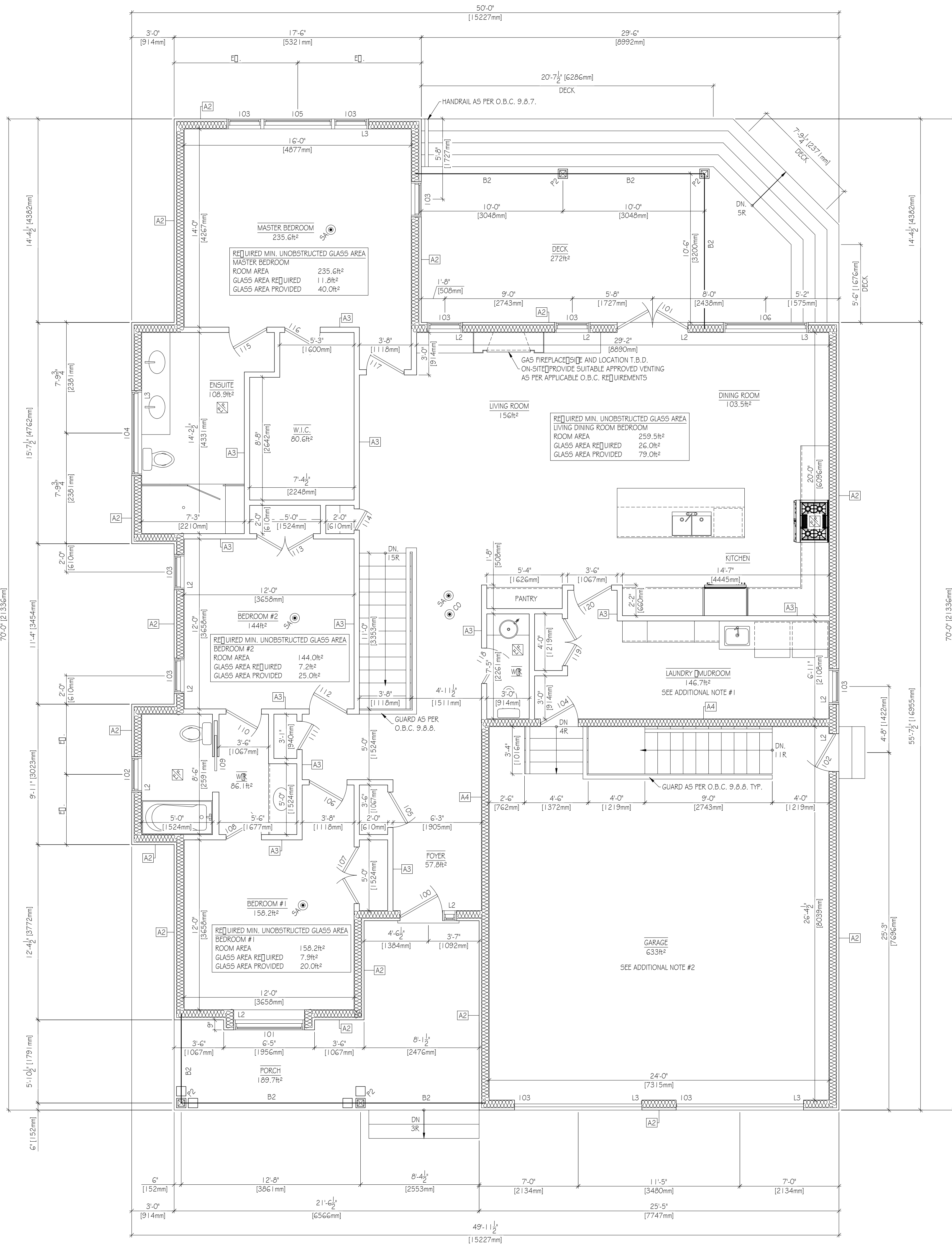
- PROVIDE MINIMUM 4" CLEAN UNOBSTRUCTED FRICTIONLESS DUCT FOR DRYERS. FLEXIBLE TRANSITION HOSE BETWEEN DRYER WALL OUTLET TO BE EITHER FOIL OR ALUMINUM TYPE FLEXIBLE DUCT. DO NOT USE PLASTIC OR VINYL. CONCEALED DUCTING TO BE RIGID METAL (GALVANIZED OR ALUMINUM) DUCT. DUCT JOINTS TO BE INSTALLED SO THAT THE WALE END OF THE DUCT POINTS IN THE DIRECTION OF AIRFLOW. JOINTS TO BE SECURED WITH METAL TAPE (NOT DUCT TAPE). DO NOT USE RIVETS OR SCREWS IN THE JOINTS OR ANYWHERE ELSE IN THE DUCT. LENGTH OF CONCEALED RIGID METAL DUCTING SHALL NOT EXCEED 35 FEET. DEDUCT 5 FEET FROM THE ALLOWABLE LENGTH FOR EVERY 90 DEGREE ELBOW AND TWO AND A HALF FEET FOR EVERY 45 DEGREE FITTING. THESE LENGTHS MAY VARY PER LOCAL CODES AND DRYER MANUFACTURERS RECOMMENDATIONS. DRYER VENTING SHALL BE INDEPENDENT OF ANY OTHER SYSTEMS (CHIMNEYS OR EXHAUST VENTS). TERMINATION OF DRYER VENTING MUST BE TO THE EXTERIOR WITH A PROPER HOOD OR ROOF CAP EQUIPPED WITH A BACKDRAFT DAMPER. SMALL ORIFICE METAL SCREENING SHOULD NOT BE PART OF THE HOOD OR ROOF CAP. THE HOOD OPENING SHOULD POINT DOWN AND HAVE 12" OF CLEARANCE BETWEEN THE BOTTOM OF THE HOOD AND THE GROUND OR OTHER OBSTRUCTION.

- ELECTRIC VEHICLE CHARGING OBC 9.34.4.1.

WHERE A HOUSE IS SERVED BY A GARAGE (CARPORT OR DRIVEWAY) THE FOLLOWING SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF ELECTRIC VEHICLE SUPPLY EQUIPMENT THAT CONFORMS TO SECTION 86 OF THE ELECTRICAL SAFETY CODE

- A MINIMUM 200 AMP PANEL BOARD
- A CONDUIT THAT IS NOT LESS THAN 27 MM TRADE SIZE AND IS EQUIPPED WITH A MEANS TO ALLOW CABLES TO BE PULLED INTO THE CONDUIT AND
- A SQUARE 4-1/2 IN. TRADE SIZE ELECTRICAL OUTLET BOX.

THE ELECTRICAL OUTLET BOX DESCRIBED IN CLAUSE (C) SHALL BE INSTALLED IN THE GARAGE OR CARPORT OR ADJACENT TO THE DRIVEWAY.



THIS DRAWING IS NOT
TO BE USED AS PART OF A
BUILDING PERMIT
APPLICATION

THIS DRAWING IS FOR
DISCUSSION PURPOSES
ONLY

DRAWING LIST

A0	KEY PLAN	SCOPE OF WORK
A1	GENERAL	CONSTRUCTION NOTES
A2	ELEVATIONS	
A3	BASEMENT FLOOR PLAN	
A4	MAIN FLOOR PLAN	
A5	ROOF PLANS	
A6	SECTION	DETAILS AND SCHEDULES

LEGEND

SA	SMOKE ALARM	SEE CONST. NOTES
CO	CARBON MONOXIDE ALARM	
EF	EXHAUST FAN	
FD	FLOOR DRAIN	
DO	DOOR	ASSOCIATED SCHEDULE NUMBER
WI	WINDOW	ASSOCIATED SCHEDULE NUMBER

INTEL BEAM SCHEDULE T.B.D.

L1	(2) - 2" 6" S-P-F
L2	(2) - 2" 8" S-P-F
L3	(2) - 2" 10" S-P-F
L4	(2) - 2" 12" S-P-F
L5	(3) - 2" 6" S-P-F
L6	(3) - 2" 8" S-P-F
L7	(3) - 2" 10" S-P-F
L8	(3) - 2" 12" S-P-F
B1	W-8x11 STEEL BEAM

COLUMN LEGEND T.B.D.

NEW SUITABLE ADJUSTABLE STEEL COLUMN ON NEW 2'-0" 2'-0" 3" THICK CONCRETE FOOTING 6-10M REBARS

HELICAL PIER TO BE DESIGNED BY OTHERS

NEW 6" POST SUITABLE SADDLE BEARING ON FOUNDATION BELOW

PROVIDE NEW MINIMUM 3/4" SOLID LEVEL BEARING FOR NEW BEAM

TYPICAL NOTES

STAIRS (AS PER O.B.C. 9.8)

RISE - MIN. 4" MAX. 7"

RUN - MIN. 8" MAX. 14"

HANDRAILS (AS PER O.B.C. 9.8.7)

MIN. 2'-10" HIGH MAX. 3'-2" HIGH

OPENINGS BETWEEN PICKETS TO BE LESS THAN 4"

GUARDS (AS PER O.B.C. 9.8.8)

MIN. 2'-11" HIGH U.N.O.

OPENINGS BETWEEN PICKETS TO BE LESS THAN 4"

REV.	DESCRIPTION	DATE
0	FOR MINOR VARIANCE APPLICATION	MAR. 29/21

client HOME OWNER

project 189 FIDDLERS GREEN ROAD
ANCASTER, ONTARIO
PROJECT No. 21-001

title MAIN FLOOR PLAN

drawn	G.D.	checked	-
date	MARCH 2021	scale	1/4" = 1'-0"
revision number	0	drawing number	A1.02

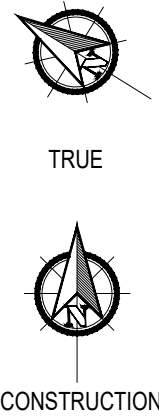
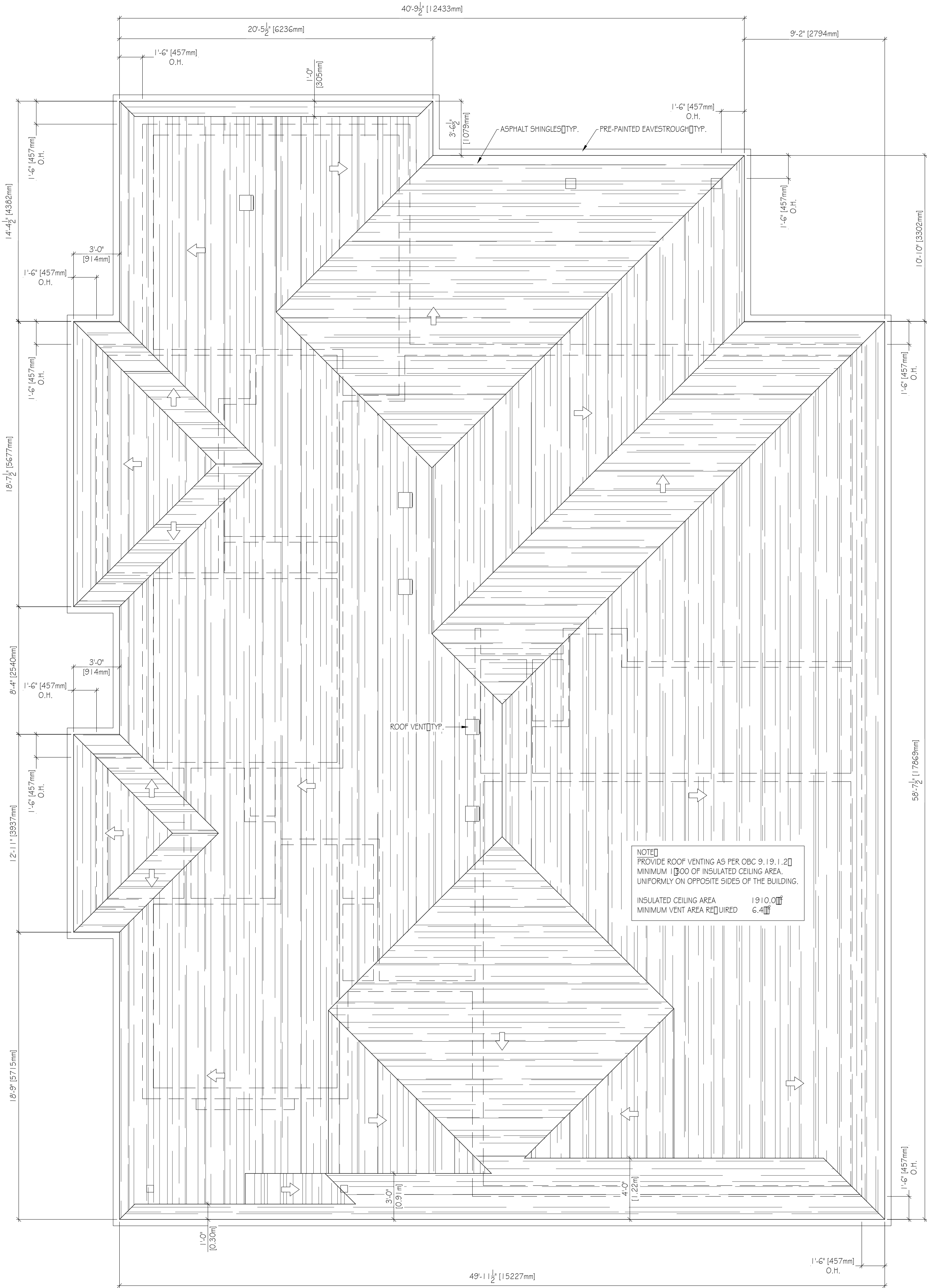
DOOR SCHEDULE

NUMBER	SIZE	HARDWARE	NOTES
001	34"	PASSAGE SET	EXTERIOR GRADE
002	34"	PRIVACY SET	EXTERIOR GRADE GAS SEAL SELF-CLOSING DEVICE
100	36"	PRIVACY SET	FRONT DOOR 12" 34" SIDELIGHT
101	(2) - 30"	PRIVACY SET	EXTERIOR GRADE
102	32"	PRIVACY SET	EXTERIOR GRADE
103	108"	ARCHED FRAME	SEE ELEVATION
104	32"	PRIVACY SET	EXTERIOR GRADE GAS SEAL SELF-CLOSING DEVICE
105	30"	DUMMY SET	
106	32"	PASSAGE SET	
107	(2) - 30"	DUMMY SET	
108	30"	PRIVACY SET	
109	30"	PRIVACY SET	POCKET DOOR
110	30"	PRIVACY SET	
111	24"	DUMMY SET	
112	32"	PASSAGE SET	
113	(2) - 30"	DUMMY SET	
114	18"	DUMMY SET	
115	32"	PRIVACY SET	
116	30"	PASSAGE SET	
117	32"	PASSAGE SET	
118	30"	PRIVACY SET	
119	(2) - 20"	DUMMY SET	
120	32"	PASSAGE SET	

WINDOW SCHEDULE

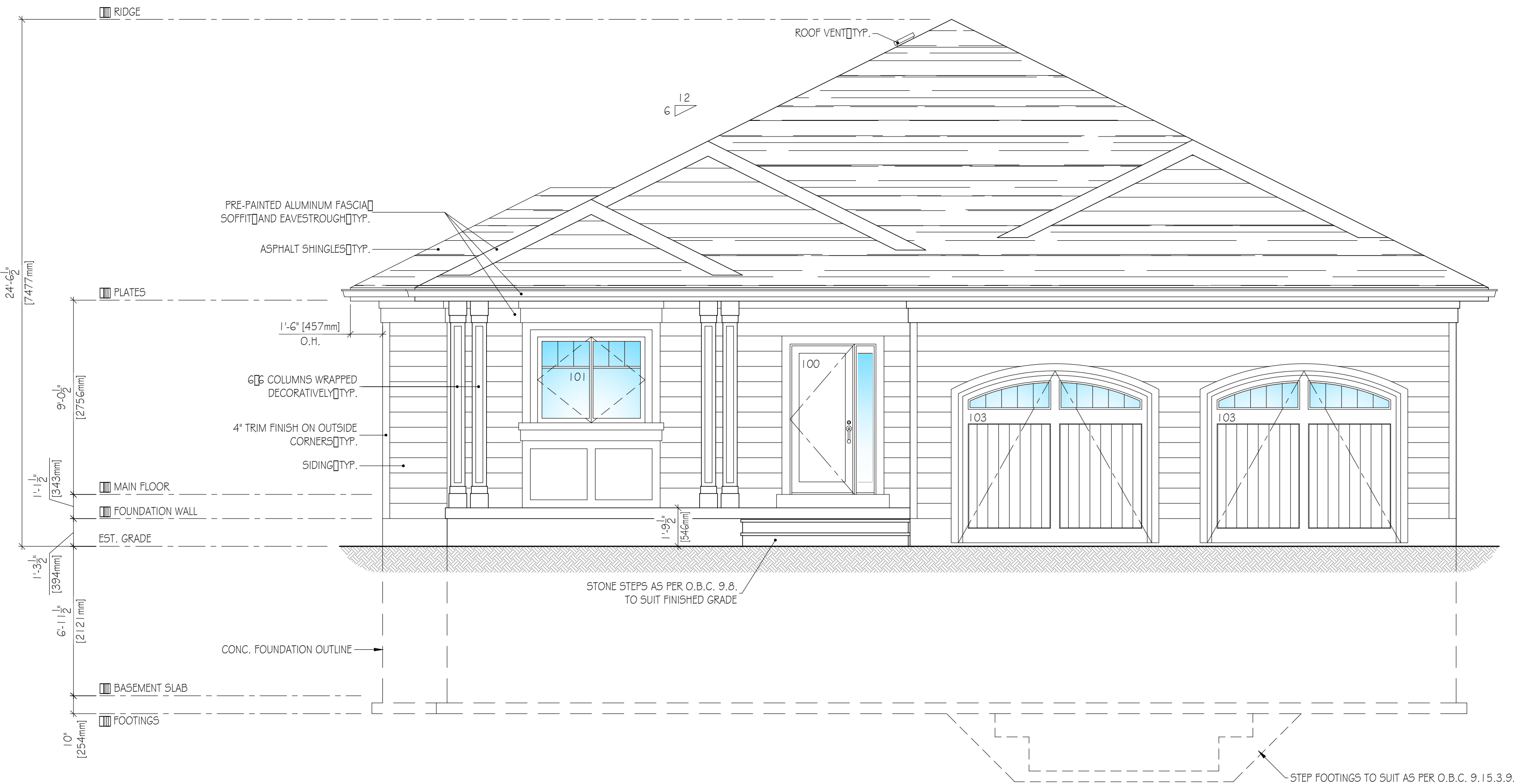
NUMBER	COUNT	SIZE	TYPE	FRAME	GLAZING	NOTES
001	3	48"	AWNING	ALUMINUM	DOUBLE	EGRESS WINDOW
002	2	48"	AWNING	ALUMINUM	DOUBLE	
101	1	60"	CASEMENT	ALUMINUM	DOUBLE	SEE ELEVATION FOR OPERATION
102	1	30"	AWNING	ALUMINUM	DOUBLE	
103	8	30"	CASEMENT	ALUMINUM	DOUBLE	SEE ELEVATIONS FOR OPERATION ORIENTATION
104	1	72"	AWNING	ALUMINUM	DOUBLE	SILL TO BE 6'-6" ABOVE FLOOR
105	1	48"	FIXED	ALUMINUM	DOUBLE	
106	1	72"	CASEMENT	ALUMINUM	DOUBLE	SEE ELEVATION FOR OPERATION

ASSEMBLIES SCHEDULE	
[A1] —	FOUNDATION WALL
6" POLY VAPOUR BARRIER	
MIN. R20 CONTINUOUS BATT INSULATION	
8" CAST-IN-PLACE CONCRETE FOUNDATION WALLS	
APPROVED DAMPPROOFING DRAINAGE LAYER	
[A2] —	EXTERIOR SIDING WALL
SIDING	
BUILDING PAPER	
1" (R-5 XPS) D LAP D TAPE ALL SEAMS	
1/2" PLYWOOD SHEATHING	
2"x4" WOOD STUDS @ 16" O.C.	
R22 BATT INSULATION	
6" POLY VAPOUR BARRIER	
1/2" GYPSUM BOARD	
[A3] —	INTERIOR PARTITION WALL
2"x4" WOOD STUDS @ 16" O.C. (U.N.O.)	
1/2" GYPSUM BOARD	
[A4] —	GARAGE PARTITION WALL
1/2" GYPSUM BOARD	
2"x4" WOOD STUDS @ 16" O.C.	
R22 BATT INSULATION	
6" POLY VAPOUR BARRIER (HEATED SIDE)	
1/2" GYPSUM BOARD	
[A5] —	BASEMENT SLAB
MIN. 4" CONCRETE SLAB-ON-GRADE (25MP)	
2" (R-10 XPS)	
6" COARSE CLEAR STONE FILL 'A'	
[A6] —	GARAGE SLAB
MIN. 5" CONCRETE SLAB-ON-GRADE (25MP)	
6" 6" WWM	
6" COARSE CLEAR STONE FILL 'A'	
[A7] —	PORCH SLAB
MIN. 5" CONCRETE SLAB-ON-GRADE (25MP)	
1 OM REBARS @ 8" O.C.	
24" BENT I OM DOWELS @ 24" O.C. PERIMETER	
PROVIDE MINIMUM 3" EDGE BEARING FOR SLAB	
6" COARSE CLEAR STONE FILL 'A' (WHERE UNEXCAVATED)	
[A8] —	FLOOR ASSEMBLY
3/4" PLYWOOD SHEATHING	
DIST. AS NOTED ON PLANS	
X-BRIDGING @ 18" POINTS	
[A9] —	ROOF ASSEMBLY
ASPHALT SHINGLES	
UNDERLAYMENT (ICE WATER SHIELD)	
1/2" PLYWOOD SHEATHING	
PRE-ENGINEERED TRUSSES BY OTHERS	
MIN. R60 BLOWN-IN INSULATION	
6" POLY VAPOUR BARRIER	
1/2" GYPSUM BOARD	
[A10] —	PORCH DECK ROOF ASSEMBLY
ASPHALT SHINGLES	
UNDERLAYMENT (ICE WATER SHIELD)	
1/2" PLYWOOD SHEATHING	
PRE-ENGINEERED TRUSSES BY OTHERS	
1-3/4" PLANKING FINISH	



<

SPATIAL SEPARATION (OBC 9.10.15.)	53.0m²
AREA OF EXPOSING BUILDING FACE	NA
PORTION OF EXPOSING BUILDING FACE	NA
LIMITING DISTANCE	XXm
AREA OF GLAZED OPENINGS	4.0m²
PROPOSED % OF EXPOSING BUILDING FACE	7.5%
MAX. ALLOWED % OF EXPOSING BUILDING FACE	XX%
REQUIRED FIRE RESISTANCE RATING	NA



DOOR SCHEDULE			
NUMBER	SIZE	HARDWARE	NOTES
001	34x80	PASSAGE SET	EXTERIOR GRADE
002	34x80	PRIVACY SET	EXTERIOR GRADE GAS SEAL SELF-CLOSING DEVICE
100	36x84	PRIVACY SET	FRONT DOOR 12x34 SIDELIGHT
101	(2)-30x34	PRIVACY SET	EXTERIOR GRADE
102	32x80	PRIVACY SET	EXTERIOR GRADE
103	108x86	NA	GARAGE DOOR ARCHED FRAME SEE ELEVATION
104	32x80	PRIVACY SET	EXTERIOR GRADE GAS SEAL SELF-CLOSING DEVICE
105	30x80	DUMMY SET	
106	32x80	PASSAGE SET	
107	(2)-30x80	DUMMY SET	
108	30x80	PRIVACY SET	
109	30x80	PRIVACY SET	POCKET DOOR
110	30x80	PRIVACY SET	
111	24x80	DUMMY SET	
112	32x80	PASSAGE SET	
113	(2)-30x80	DUMMY SET	
114	18x80	DUMMY SET	
115	32x80	PRIVACY SET	
116	30x80	PASSAGE SET	
117	32x80	PASSAGE SET	
118	30x80	PRIVACY SET	
119	(2)-20x80	DUMMY SET	
120	32x80	PASSAGE SET	

WINDOW SCHEDULE					
NUMBER	COUNT	SIZE	TYPE	FRAME	GLAZING
001	3	48x80	AWNING	ALUMINUM	DOUBLE
002	2	48x80	AWNING	ALUMINUM	DOUBLE
101	1	60x48	CASEMENT	ALUMINUM	DOUBLE
102	1	30x42	AWNING	ALUMINUM	DOUBLE
103	8	30x80	CASEMENT	ALUMINUM	DOUBLE
104	1	72x18	AWNING	ALUMINUM	DOUBLE
105	1	48x80	FIXED	ALUMINUM	DOUBLE
106	1	72x80	CASEMENT	ALUMINUM	DOUBLE



THIS DRAWING IS NOT
TO BE USED AS PART OF A
BUILDING PERMIT
APPLICATION

THIS DRAWING IS FOR
DISCUSSION PURPOSES
ONLY

DRAWING LIST

A0	KEY PLAN SCOPE OF WORK
A1	GENERAL CONSTRUCTION NOTES SITE PLAN
A2	ELEVATIONS
A3	ELEVATIONS
A4	BASEMENT FLOOR PLAN
A5	MAIN FLOOR PLAN
A6	SECTION DETAILS AND SCHEDULES

LEGEND

SA	SMOKE ALARM SEE CONST. NOTES
CO	CARBON MONOXIDE ALARM
EF	EXHAUST FAN
FD	FLOOR DRAIN
DO	DOOR ASSOCIATED SCHEDULE NUMBER
WO	WINDOW ASSOCIATED SCHEDULE NUMBER

INTEL BEAM SCHEDULE T.B.D.

L1	(2) - 2" x 6" S-P-F
L2	(2) - 2" x 8" S-P-F
L3	(2) - 2" x 10" S-P-F
L4	(2) - 2" x 12" S-P-F
L5	(3) - 2" x 6" S-P-F
L6	(3) - 2" x 8" S-P-F
L7	(3) - 2" x 10" S-P-F
L8	3" x 2" x 1/2" LVL
B1	W8x21 STEEL BEAM

COLUMN LEGEND T.B.D.

C	NEW SUITABLE ADJUSTABLE STEEL COLUMN ON NEW 2'-0" x 2'-0" x 9" THICK CONCRETE FOOTING 8-10M REBARS
H	HELICAL PIER TO BE DESIGNED BY OTHERS
P	NEW 6x6 POST SUITABLE SADDLE BEARING ON FOUNDATION BELOW
S	PROVIDE NEW MINIMUM 3/8" SOLID LEVEL BEARING FOR NEW BEAM INTEL

TYPICAL NOTES

STAIRS (AS PER O.B.C. 9.8)

- RISE - MIN. 4 1/2" MAX. 7 1/2"
- RUN - MIN. 8 1/2" MAX. 14"

HANDRAILS (AS PER O.B.C. 9.8.7)

- MIN. 2'-10" HIGH MAX. 3'-2" HIGH
- OPENINGS BETWEEN PICKETS TO BE LESS THAN 4"

GUARDS (AS PER O.B.C. 9.8.8)

- MIN. 2'-11" HIGH U.N.O.
- OPENINGS BETWEEN PICKETS TO BE LESS THAN 4"

REV.	DESCRIPTION	DATE
0	FOR MINOR VARIANCE APPLICATION	MAR. 29/21

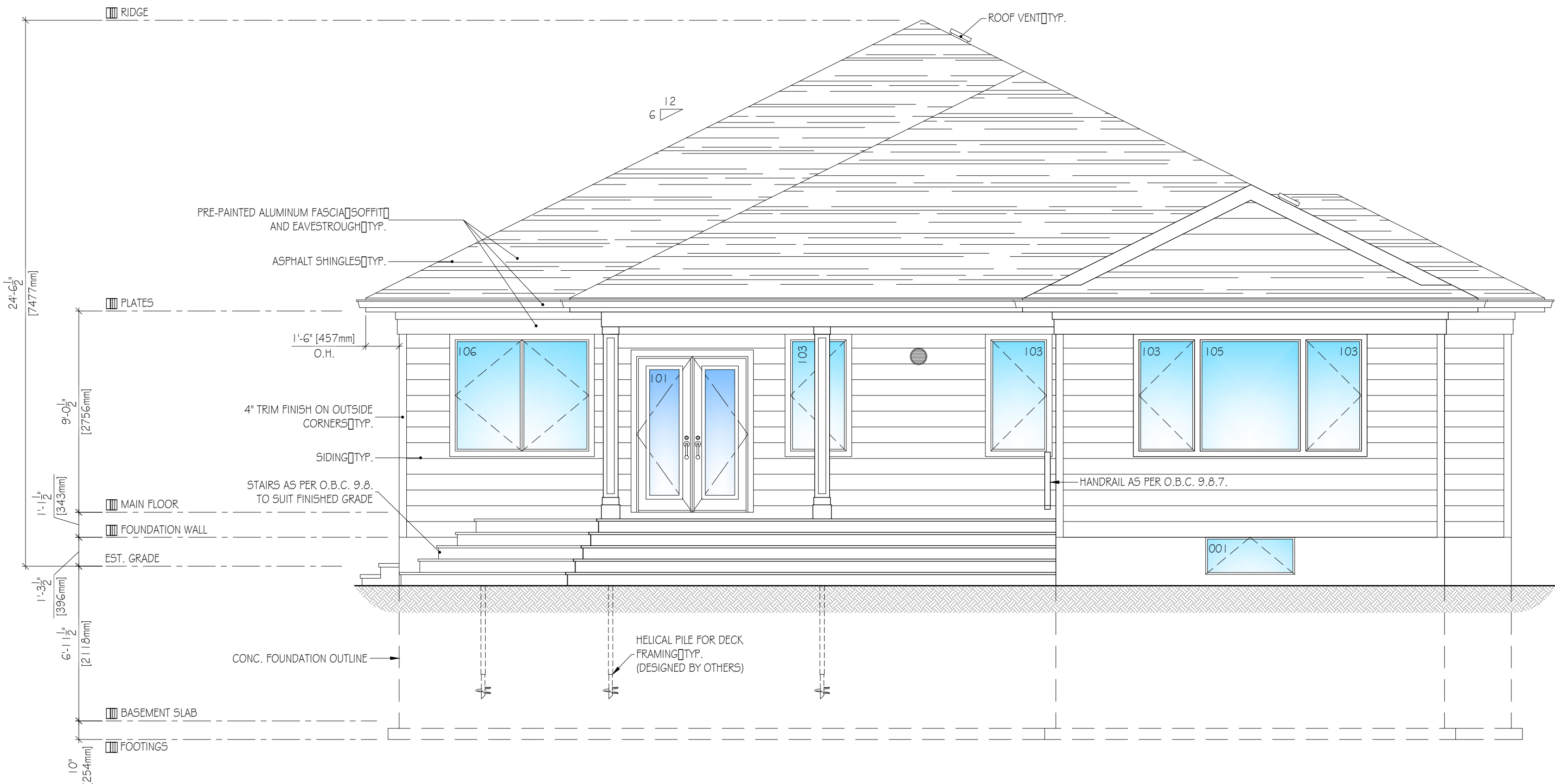
client	HOME OWNER
--------	------------

project	189 FIDDLERS GREEN ROAD ANCASTER, ONTARIO PROJECT No. 21-001
---------	--

title	FRONT WEST ELEVATION
-------	----------------------

drawn	G.D.	checked	-
date	MARCH 2021	scale	1/4" = 1'-0"
revision number	0	drawing number	A2.01

SPATIAL SEPARATION (CBC 9.10.15.)		
AREA OF EXPOSING BUILDING FACE	57.1m ²	
PORTION OF EXPOSING BUILDING FACE	N/A	
LIMITING DISTANCE	X.Xm	
AREA OF GLAZED OPENINGS	12.1m ²	
PROPOSED % OF EXPOSING BUILDING FACE	21.2%	
MAX. ALLOWED % OF EXPOSING BUILDING FACE	XX%	
REQUIRED FIRE RESISTANCE RATING	N/A	



DOOR SCHEDULE			
NUMBER	SIZE	HARDWARE	NOTES
001	34"x80"	PASSAGE SET	EXTERIOR GRADE
002	34"x80"	PRIVACY SET	EXTERIOR GRADE GAS SEAL SELF-CLOSING DEVICE
100	36"x48"	PRIVACY SET	FRONT DOOR 1/2"x4" SIDELIGHT
101	(2)-30"x48"	PRIVACY SET	EXTERIOR GRADE
102	32"x80"	PRIVACY SET	EXTERIOR GRADE
103	108"x66"	N/A	GARAGE DOOR ARCHED FRAME SEE ELEVATION
104	32"x80"	PRIVACY SET	EXTERIOR GRADE GAS SEAL SELF-CLOSING DEVICE
105	30"x80"	DUMMY SET	
106	32"x80"	PASSAGE SET	
107	(2)-30"x80"	DUMMY SET	
108	30"x80"	PRIVACY SET	
109	30"x80"	PRIVACY SET	POCKET DOOR
110	30"x80"	PRIVACY SET	
111	24"x80"	DUMMY SET	
112	32"x80"	PASSAGE SET	
113	(2)-30"x80"	DUMMY SET	
114	18"x80"	DUMMY SET	
115	32"x80"	PRIVACY SET	
116	30"x80"	PASSAGE SET	
117	32"x80"	PASSAGE SET	
118	30"x80"	PRIVACY SET	
119	(2)-20"x80"	DUMMY SET	
120	32"x80"	PASSAGE SET	

WINDOW SCHEDULE					
NUMBER	COUNT	SIZE	TYPE	FRAME	GLAZING
001	3	48"x80"	AWNING	ALUMINUM	DOUBLE
002	2	48"x80"	AWNING	ALUMINUM	DOUBLE
101	1	60"x48"	CASEMENT	ALUMINUM	DOUBLE
102	1	30"x42"	AWNING	ALUMINUM	DOUBLE
103	8	30"x80"	CASEMENT	ALUMINUM	DOUBLE
104	1	72"x48"	AWNING	ALUMINUM	DOUBLE
105	1	48"x80"	FIXED	ALUMINUM	DOUBLE
106	1	72"x80"	CASEMENT	ALUMINUM	DOUBLE



THIS DRAWING IS NOT
TO BE USED AS PART OF A
BUILDING PERMIT
APPLICATION

THIS DRAWING IS FOR
DISCUSSION PURPOSES
ONLY

DRAWING LIST

A0	KEY PLAN	SCOPE OF WORK
A1	GENERAL	CONSTRUCTION NOTES
A2	ELEVATIONS	SITE PLAN
A3	ELEVATIONS	
A4	BASEMENT FLOOR PLAN	
A5	MAIN FLOOR PLAN	
A6	ROOF PLANS	
A6	SECTION	DETAILS AND SCHEDULES

LEGEND

SA	SMOKE ALARM	SEE CONST. NOTES
CO	CARBON MONOXIDE ALARM	
EF	EXHAUST FAN	
FD	FLOOR DRAIN	
DOOR	DOOR	ASSOCIATED SCHEDULE NUMBER
WINDOW	WINDOW	ASSOCIATED SCHEDULE NUMBER

INTEL BEAM SCHEDULE T.B.D.

L1	(2) - 2" x 6" S-P-F
L2	(2) - 2" x 8" S-P-F
L3	(2) - 2" x 10" S-P-F
L4	(2) - 2" x 12" S-P-F
L5	(3) - 2" x 6" S-P-F
L6	(3) - 2" x 10" S-P-F
L7	(3) - 2" x 12" S-P-F
L8	3" x 2" x 1/2" LVL
B1	W2 x 1 STEEL BEAM

COLUMN LEGEND T.B.D.

C1	NEW SUITABLE ADJUSTABLE STEEL COLUMN ON NEW 2'-0" x 2'-0" x 9" THICK CONCRETE FOOTING 8-10M REBARS
----	--

HELICAL PIER TO BE DESIGNED BY OTHERS

NEW 6"x6" POST SUITABLE SADDLE BEARING ON FOUNDATION BELOW

PROVIDE NEW MINIMUM 3/4" SOLID LEVEL BEARING FOR NEW BEAM INTEL

TYPICAL NOTES

STAIRS (AS PER O.B.C. 9.8)

RISE - MIN. 4 1/2" MAX. 7 1/2"

RUN - MIN. 8 1/2" MAX. 14"

HANDRAILS (AS PER O.B.C. 9.8.7)

MIN. 2'-10" HIGH MAX. 3'-2" HIGH

OPENINGS BETWEEN PICKETS TO BE LESS THAN 4"

GUARDS (AS PER O.B.C. 9.8.8)

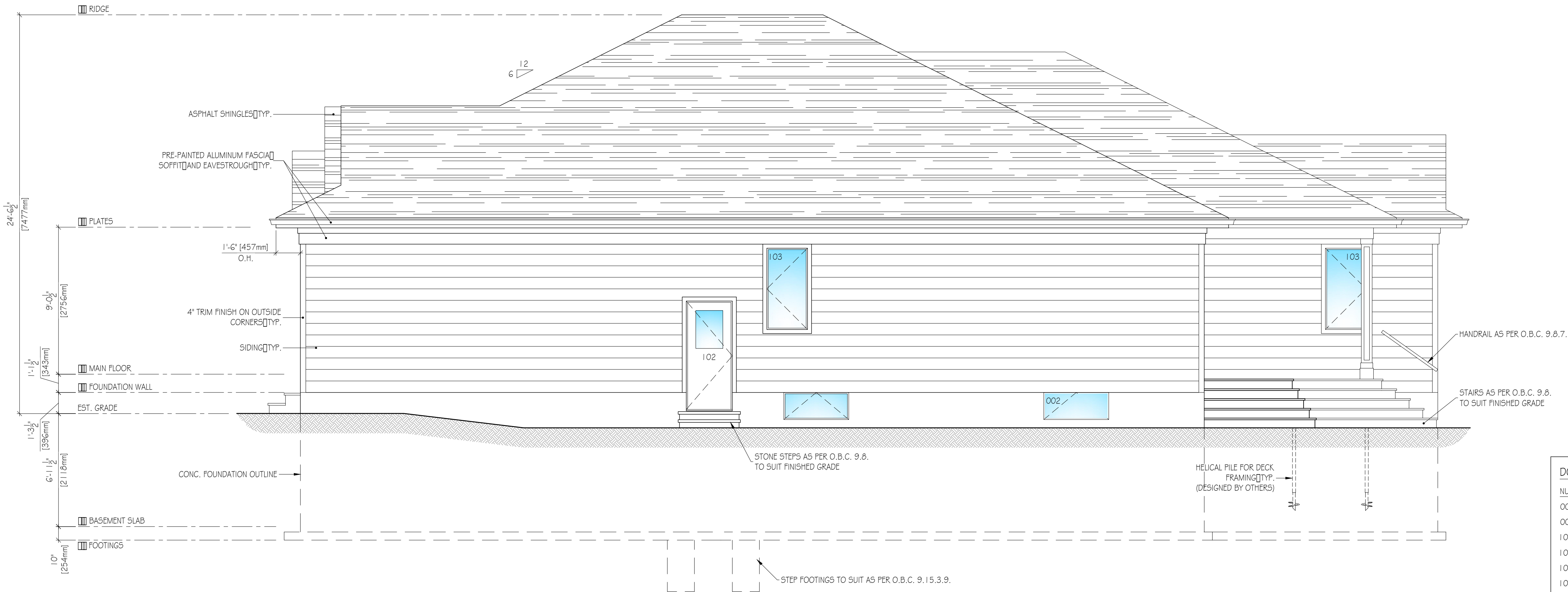
MIN. 2'-11" HIGH U.N.O.

OPENINGS BETWEEN PICKETS TO BE LESS THAN 4"

REV.	DESCRIPTION	DATE
0	FOR MINOR VARIANCE APPLICATION	MAR. 29/21

client	
HOME OWNER	
project	
189 FIDDLERS GREEN ROAD ANCASTER, ONTARIO PROJECT No. 21-001	
title	
REAR EAST ELEVATION	
drawn	checked
G.D.	-
date	scale
MARCH 2021	1" = 1'-0"
revision number	drawing number
0	A2.0

SPATIAL SEPARATION (OBC 9.10.15.)	
AREA OF EXPOSING BUILDING FACE	79.2m ²
PORTION OF EXPOSING BUILDING FACE	NA
LIMITING DISTANCE	X.Xm
AREA OF GLAZED OPENINGS	3.9m ²
PROPOSED % OF EXPOSING BUILDING FACE	4.9%
MAX. ALLOWED % OF EXPOSING BUILDING FACE	XX%
REQUIRED FIRE RESISTANCE RATING	NA



DOOR SCHEDULE			
NUMBER	SIZE	HARDWARE	NOTES
001	34x80	PASSAGE SET	EXTERIOR GRADE
002	34x80	PRIVACY SET	EXTERIOR GRADE GAS SEAL SELF-CLOSING DEVICE
100	36x84	PRIVACY SET	FRONT DOOR 1 1/2x4 SIDELIGHT
101	(2)-30x84	PRIVACY SET	EXTERIOR GRADE
102	32x80	PRIVACY SET	EXTERIOR GRADE
103	108x86	NA	GARAGE DOOR ARCHED FRAME SEE ELEVATION
104	32x80	PRIVACY SET	EXTERIOR GRADE GAS SEAL SELF-CLOSING DEVICE
105	30x80	DUMMY SET	
106	32x80	PASSAGE SET	
107	(2)-30x80	DUMMY SET	
108	30x80	PRIVACY SET	
109	30x80	PRIVACY SET	POCKET DOOR
110	30x80	PRIVACY SET	
111	24x80	DUMMY SET	
112	32x80	PASSAGE SET	
113	(2)-30x80	DUMMY SET	
114	18x80	DUMMY SET	
115	32x80	PRIVACY SET	
116	30x80	PASSAGE SET	
117	32x80	PASSAGE SET	
118	30x80	PRIVACY SET	
119	(2)-20x80	DUMMY SET	
120	32x80	PASSAGE SET	

WINDOW SCHEDULE						
NUMBER	COUNT	SIZE	TYPE	FRAME	GLAZING	NOTES
001	3	48x80	AWNING	ALUMINUM	DOUBLE	EGRESS WINDOW
002	2	48x80	AWNING	ALUMINUM	DOUBLE	
101	1	60x86	CASEMENT	ALUMINUM	DOUBLE	SEE ELEVATION FOR OPERATION
102	1	30x82	AWNING	ALUMINUM	DOUBLE	
103	8	30x80	CASEMENT	ALUMINUM	DOUBLE	SEE ELEVATIONS FOR OPERATION ORIENTATION
104	1	72x88	AWNING	ALUMINUM	DOUBLE	SILL TO BE 6'-6" ABOVE FLOOR
105	1	48x80	FIXED	ALUMINUM	DOUBLE	
106	1	72x80	CASEMENT	ALUMINUM	DOUBLE	SEE ELEVATION FOR OPERATION



THIS DRAWING IS NOT
TO BE USED AS PART OF A
BUILDING PERMIT
APPLICATION

THIS DRAWING IS FOR
DISCUSSION PURPOSES
ONLY

DRAWING LIST

A0	KEY PLAN	SCOPE OF WORK
A1	GENERAL CONSTRUCTION NOTES	SITE PLAN
A2	ELEVATIONS	
A3	BASEMENT FLOOR PLAN	
A4	MAIN FLOOR PLAN	
A5	ROOF PLANS	
A6	SECTION DETAILS AND SCHEDULES	

LEGEND

2x6	SMOKE ALARM	SEE CONST. NOTES
CO	CARBON MONOXIDE ALARM	
EF	EXHAUST FAN	
FD	FLOOR DRAIN	
DOOR	DOOR	ASSOCIATED SCHEDULE NUMBER
WINDOW	WINDOW	ASSOCIATED SCHEDULE NUMBER

INTEL BEAM SCHEDULE T.B.D.

L1	(2) - 2" x 6" S-P-F
L2	(2) - 2" x 8" S-P-F
L3	(2) - 2" x 10" S-P-F
L4	(2) - 2" x 12" S-P-F
L5	(3) - 2" x 8" S-P-F
L6	(3) - 2" x 10" S-P-F
L7	(3) - 2" x 12" S-P-F
L8	3x12 OC 1/2" x 1/2" LVL
B1	W8x1 STEEL BEAM

COLUMN LEGEND T.B.D.

C1	NEW SUITABLE ADJUSTABLE STEEL COLUMN ON NEW 2'-0" x 2'-0" x 9" THICK CONCRETE FOOTING 8-10M REBARS EQV.
C2	HELICAL PIER TO BE DESIGNED BY OTHERS
C3	NEW 6x6 POST SUITABLE SADDLE BEARING ON FOUNDATION BELOW
C4	PROVIDE NEW MINIMUM 3/8" SOLID LEVEL BEARING FOR NEW BEAM INTEL

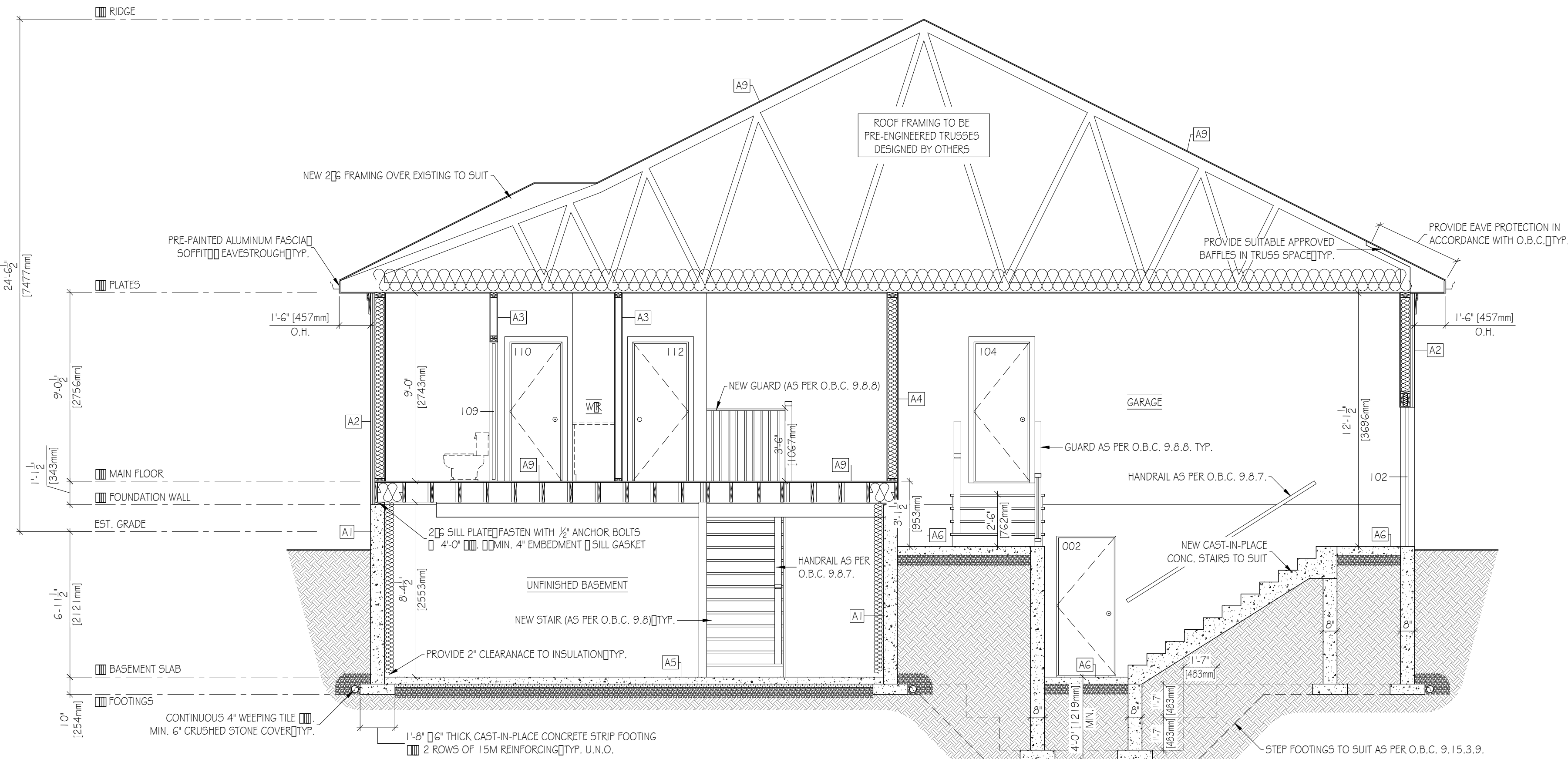
TYPICAL NOTES

STAIRS (AS PER O.B.C. 9.8)
• RISE - MIN. 4 1/2" MAX. 7 1/2"
• RUN - MIN. 8 1/2" MAX. 14"
HANDRAILS (AS PER O.B.C. 9.8.7)
• MIN. 2'-10" HIGH MAX. 3'-2" HIGH
• OPENINGS BETWEEN PICKETS TO BE LESS THAN 4"
GUARDS (AS PER O.B.C. 9.8.8)
• MIN. 2'-11" HIGH U.N.O.
• OPENINGS BETWEEN PICKETS TO BE LESS THAN 4"

REV.	DESCRIPTION	DATE
0	FOR MINOR VARIANCE APPLICATION	MAR. 29/21

client	HOME OWNER	
project	189 FIDDLERS GREEN ROAD ANCASTER, ONTARIO PROJECT No. 21-001	
title	SIDE (SOUTH) ELEVATION	
drawn	G.D.	checked -
date	MARCH 2021	scale 1" = 1'-0"
revision number	0	drawing number A2.0

ASSEMBLIES SCHEDULE	
[A1] —	FOUNDATION WALL
6" POLY VAPOUR BARRIER	
MIN. R20 CONTINUOUS BATT INSULATION	
8" CAST-IN-PLACE CONCRETE FOUNDATION WALLS	
APPROVED DAMPROOFING DRAINAGE LAYER	
[A2] —	EXTERIOR SIDING WALL
SIDING	
BUILDING PAPER	
1" (R-5 XPS D) (LAP D TAPE ALL SEAMS)	
1/2" PLYWOOD SHEATHING	
2"x6" WOOD STUDS @ 16" O.C.	
R22 BATT INSULATION	
6" POLY VAPOUR BARRIER	
1/2" GYPSUM BOARD	
[A3] —	INTERIOR PARTITION WALL
2"x6" WOOD STUDS @ 16" O.C. (U.N.O.)	
1/2" GYPSUM BOARD	
[A4] —	GARAGE PARTITION WALL
1/2" GYPSUM BOARD	
2"x6" WOOD STUDS @ 16" O.C.	
R22 BATT INSULATION	
6" POLY VAPOUR BARRIER (HEATED SIDE)	
1/2" GYPSUM BOARD	
[A5] —	BASEMENT SLAB
MIN. 4" CONCRETE SLAB-ON-GRADE (25MP)	
2" (R-10 XPS)	
6" COARSE CLEAR STONE FILL 'A'	
[A6] —	GARAGE SLAB
MIN. 5" CONCRETE SLAB-ON-GRADE (25MP)	
6" WWM	
6" COARSE CLEAR STONE FILL 'A'	
[A7] —	PORCH SLAB
MIN. 5" CONCRETE SLAB-ON-GRADE (25MP)	
10M REBARS @ 8" O.C.	
24" BENT 10M DOWELS @ 24" O.C. PERIMETER	
PROVIDE MINIMUM 3" EDGE BEARING FOR SLAB	
6" COARSE CLEAR STONE FILL 'A' (WHERE UNEXCAVATED)	
[A8] —	FLOOR ASSEMBLY
3/4" PLYWOOD SHEATHING	
DIST. AS NOTED ON PLANS	
X-BRIDGING @ 18" POINTS	
[A9] —	ROOF ASSEMBLY
ASPHALT SHINGLES	
UNDERLAYMENT (ICE WATER SHIELD)	
1/2" PLYWOOD SHEATHING	
PRE-ENGINEERED TRUSSES BY OTHERS	
MIN. R60 BLOWN-IN INSULATION	
6" POLY VAPOUR BARRIER	
1/2" GYPSUM BOARD	
[A10] —	PORCH DECK ROOF ASSEMBLY
ASPHALT SHINGLES	
UNDERLAYMENT (ICE WATER SHIELD)	
1/2" PLYWOOD SHEATHING	
PRE-ENGINEERED TRUSSES BY OTHERS	
1-1/2" PLANKING FINISH	



DOOR SCHEDULE			
NUMBER	SIZE	HARDWARE	NOTES
001	34"x80"	PASSAGE SET	EXTERIOR GRADE
002	34"x80"	PRIVACY SET	EXTERIOR GRADE GAS SEAL SELF-CLOSING DEVICE
100	36"x84"	PRIVACY SET	FRONT DOOR 12"x4" SIDELIGHT
101	(2)-30"x84"	PRIVACY SET	EXTERIOR GRADE
102	32"x80"	PRIVACY SET	EXTERIOR GRADE
103	108"x66"	N/A	GARAGE DOOR ARCHED FRAME SEE ELEVATION
104	32"x80"	PRIVACY SET	EXTERIOR GRADE GAS SEAL SELF-CLOSING DEVICE
105	30"x80"	DUMMY SET	
106	32"x80"	PASSAGE SET	
107	(2)-30"x80"	DUMMY SET	
108	30"x80"	PRIVACY SET	
109	30"x80"	PRIVACY SET	POCKET DOOR
110	30"x80"	PRIVACY SET	
111	24"x80"	DUMMY SET	
112	32"x80"	PASSAGE SET	
113	(2)-30"x80"	DUMMY SET	
114	18"x80"	DUMMY SET	
115	32"x80"	PRIVACY SET	
116	30"x80"	PASSAGE SET	
117	32"x80"	PASSAGE SET	
118	30"x80"	PRIVACY SET	
119	(2)-20"x80"	DUMMY SET	
120	32"x80"	PASSAGE SET	

WINDOW SCHEDULE						
NUMBER	COUNT	SIZE	TYPE	FRAME	GLAZING	NOTES
001	3	48"x80"	AWNING	ALUMINUM	DOUBLE	EGRESS WINDOW
002	2	48"x80"	AWNING	ALUMINUM	DOUBLE	
101	1	60"x48"	CASEMENT	ALUMINUM	DOUBLE	SEE ELEVATION FOR OPERATION
102	1	30"x42"	AWNING	ALUMINUM	DOUBLE	
103	8	30"x80"	CASEMENT	ALUMINUM	DOUBLE	SEE ELEVATIONS FOR OPERATION ORIENTATION
104	1	72"x8"	AWNING	ALUMINUM	DOUBLE	SILL TO BE 6'-6" ABOVE FLOOR
105	1	48"x80"	FIXED	ALUMINUM	DOUBLE	
106	1	72"x80"	CASEMENT	ALUMINUM	DOUBLE	SEE ELEVATION FOR OPERATION



THIS DRAWING IS NOT
TO BE USED AS PART OF A
BUILDING PERMIT
APPLICATION

THIS DRAWING IS FOR
DISCUSSION PURPOSES
ONLY

DRAWING LIST	
A0	KEY PLAN SCOPE OF WORK
	GENERAL CONSTRUCTION NOTES SITE PLAN
A1	ELEVATIONS
A2	ELEVATIONS
A3	BASEMENT FLOOR PLAN
A4	MAIN FLOOR PLAN
A5	ROOF PLANS
A6	SECTION DETAILS AND SCHEDULES
LEGEND	
SMOKE ALARM	SEE CONST. NOTES
CARBON MONOXIDE ALARM	
EXHAUST FAN	
FLOOR DRAIN	
DOOR	ASSOCIATED SCHEDULE NUMBER
WINDOW	ASSOCIATED SCHEDULE NUMBER

INTEL BEAM SCHEDULE T.B.D.	
L1	(2) - 2" x 6" S-P-F
L2	(2) - 2" x 8" S-P-F
L3	(2) - 2" x 10" S-P-F
L4	(2) - 2" x 12" S-P-F
L5	(3) - 2" x 6" S-P-F
L6	(3) - 2" x 10" S-P-F
L7	(3) - 2" x 12" S-P-F
L8	3" x 2" x 1/2" LVL
B1	W8 x 1 STEEL BEAM
COLUMN LEGEND T.B.D.	
NEW SUITABLE ADJUSTABLE STEEL COLUMN ON	
NEW 2'-0" x 2'-0" x 9" THICK CONCRETE FOOTING	
8-10M REBARS	
HELICAL PIER TO BE DESIGNED BY OTHERS	
NEW 6" POST SUITABLE SADDLE	
BEARING ON FOUNDATION BELOW	
PROVIDE NEW MINIMUM 3/4" SOLID LEVEL	
BEARING FOR NEW BEAM INTEL	
TYPICAL NOTES	
STAIRS (AS PER O.B.C. 9.8.9)	
RISE - MIN. 4" MAX. 7"	
RUN - MIN. 8" MAX. 14"	
HANDRAILS (AS PER O.B.C. 9.8.7)	
MIN. 2'-10" HIGH MAX. 3'-2" HIGH	
OPENINGS BETWEEN PICKETS TO BE LESS THAN 4"	
GUARDS (AS PER O.B.C. 9.8.8)	
MIN. 2'-11" HIGH U.N.O.	
OPENINGS BETWEEN PICKETS TO BE LESS THAN 4"	

REV.	DESCRIPTION	DATE
0	FOR MINOR VARIANCE APPLICATION	MAR. 29/21

client	
HOME OWNER	
project	
189 FIDDLERS GREEN ROAD ANCASTER, ONTARIO PROJECT No. 21-001	
title	
CROSS SECTION	
drawn	G.D.
checked	-
date	MARCH 2021
scale	1" = 1'-0"
revision number	0
drawing number	A-01

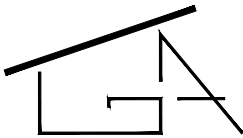
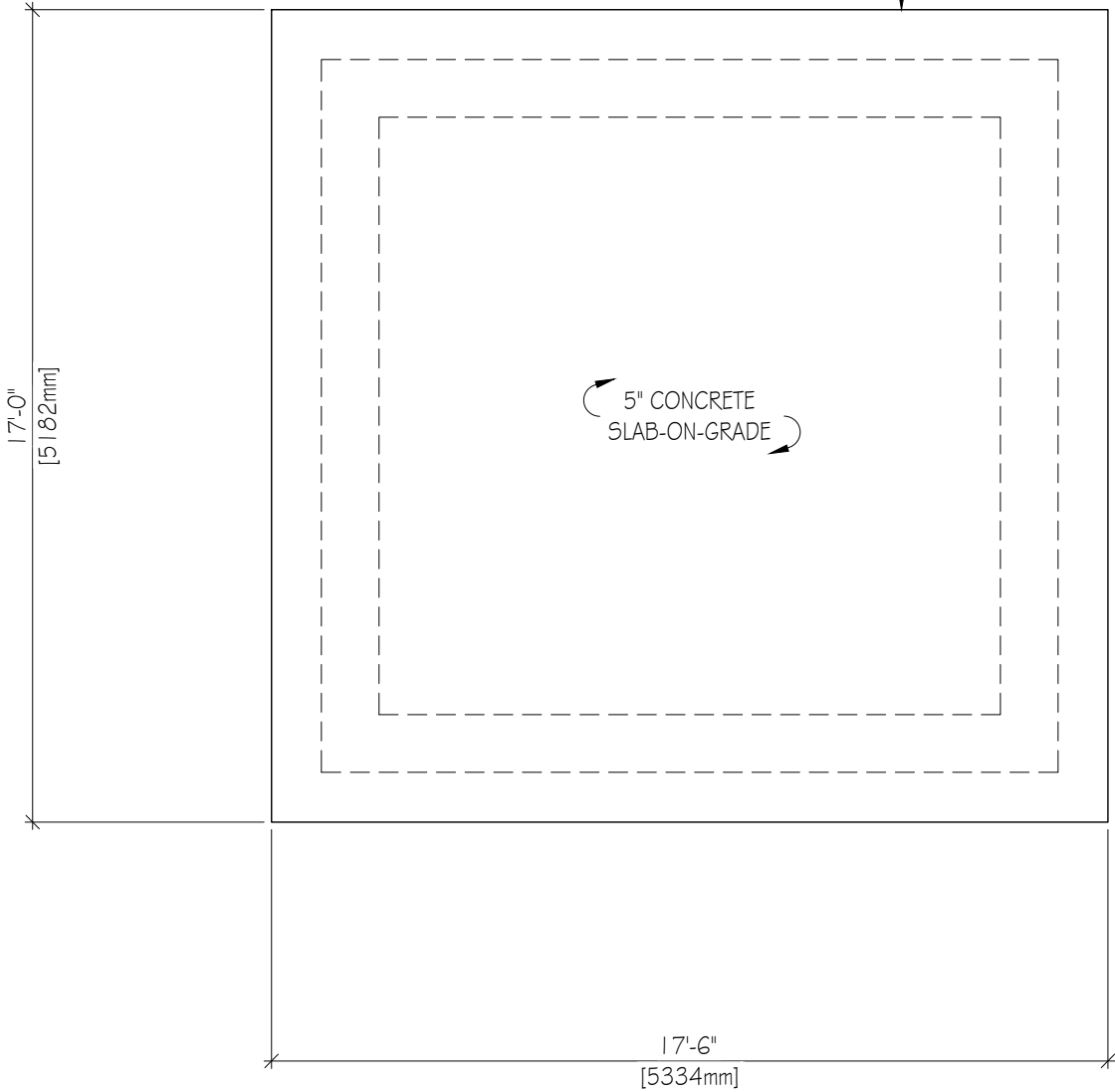


TRUE



CONSTRUCTION

EDGE OF CAST-IN-PLACE CONCRETE
SLAB THICKENED EDGE



**ARCHITECTURAL
DESIGNER**
GRAHAMALEXANDER.CA
INFO@GRAHAMALEXANDER.CA
1 905 864 5305

**THIS DRAWING IS NOT
TO BE USED AS PART OF A
BUILDING PERMIT
APPLICATION**

**THIS DRAWING IS FOR
DISCUSSION PURPOSES
ONLY**

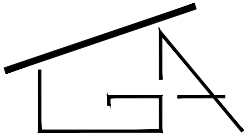
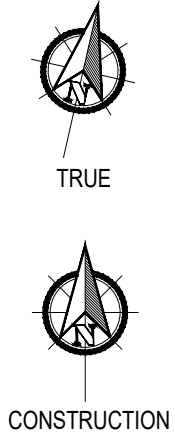
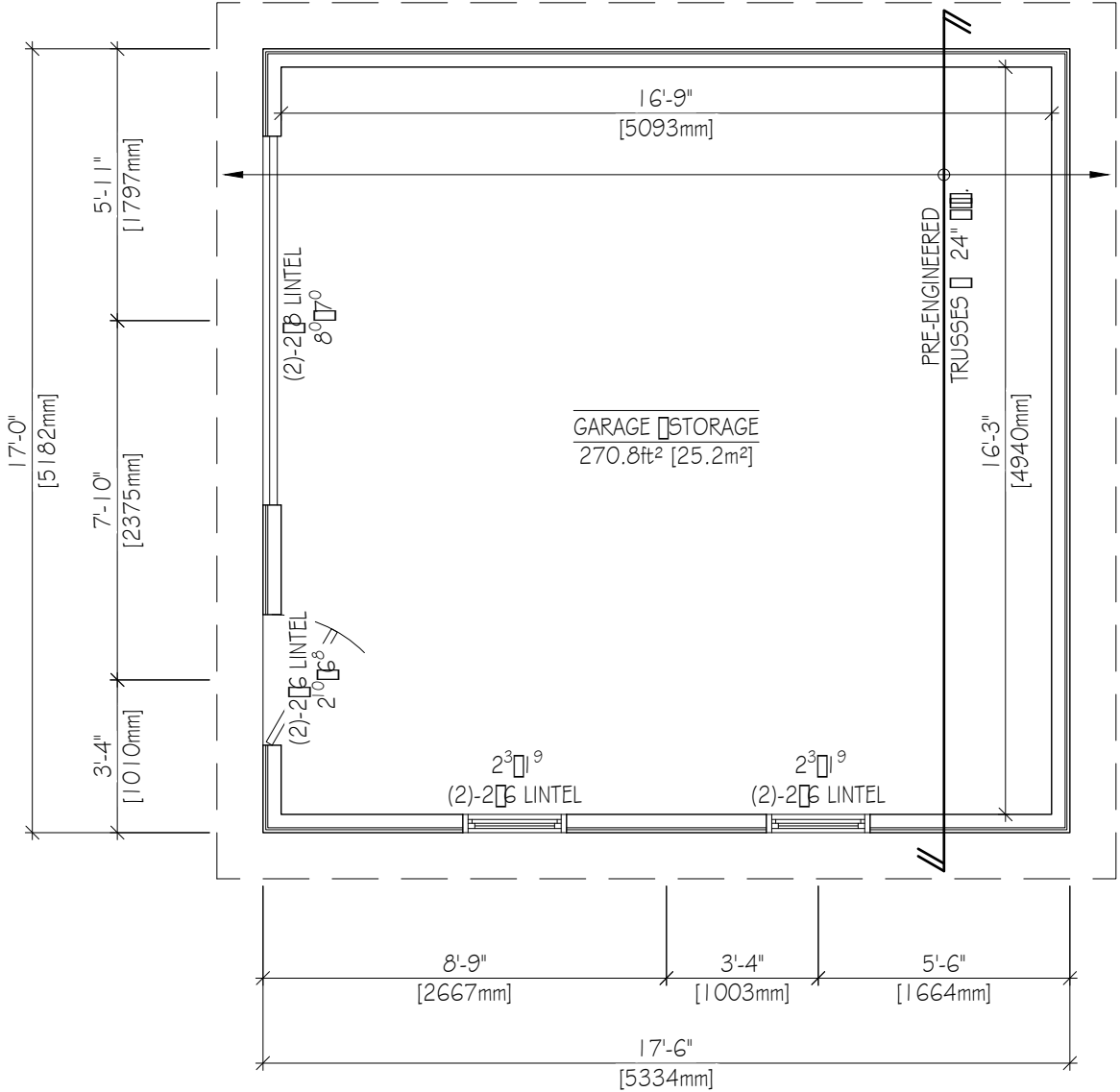
REV.	DESCRIPTION	DATE
0	FOR MINOR VARIANCE APPLICATION	MAR. 29/21

client	HOMEOWNER
--------	-----------

project	189 FIDDLERS GREEN ROAD ANCASTER, ONTARIO PROJECT No. 21-001
---------	--

title	GARAGE FOUNDATION PLAN
-------	------------------------

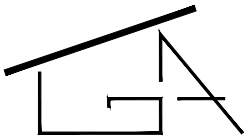
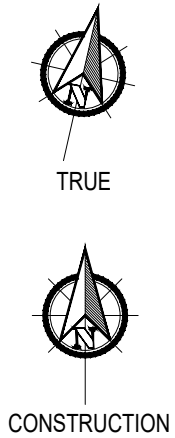
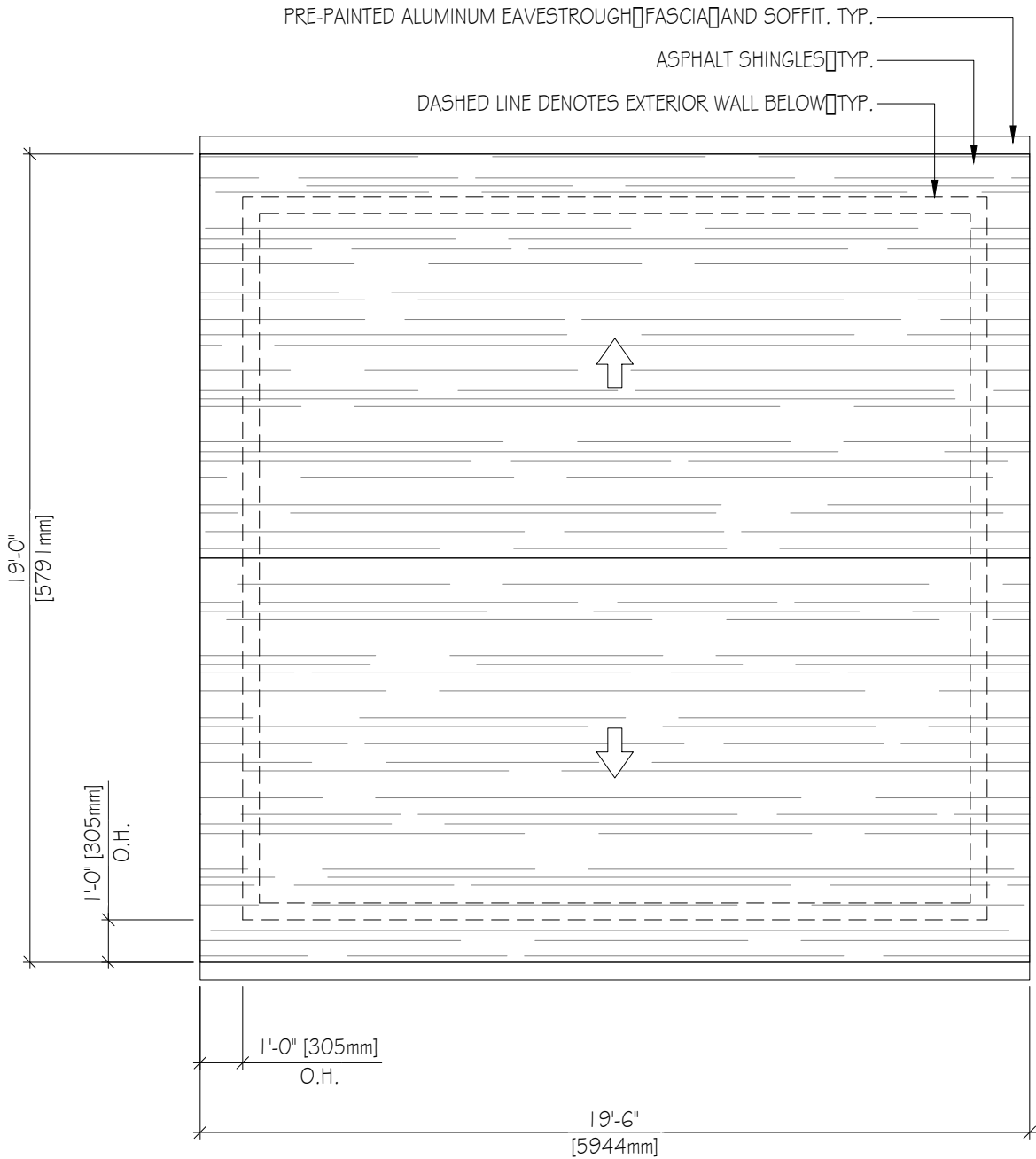
drawn	G.D.	checked	-
date	MARCH 2021	scale	1/4" = 1'-0"
revision number	0	drawing number	A1.01



THIS DRAWING IS NOT
TO BE USED AS PART OF A
BUILDING PERMIT
APPLICATION

THIS DRAWING IS FOR
DISCUSSION PURPOSES
ONLY

REV.	DESCRIPTION	DATE
0	FOR MINOR VARIANCE APPLICATION	MAR. 29/21
client	HOMEOWNER	
project	189 FIDDLERS GREEN ROAD ANCASTER, ONTARIO PROJECT No. 21-001	
title	GARAGE FLOOR PLAN	
drawn	G.D.	checked -
date	MARCH 2021	scale 1/4" = 1'-0"
revision number	0	drawing number A1.02



**ARCHITECTURAL
DESIGNER**
GRAHAMALEXANDER.CA
INFO@GRAHAMALEXANDER.CA
1 905 864 5305

**THIS DRAWING IS NOT
TO BE USED AS PART OF A
BUILDING PERMIT
APPLICATION**

**THIS DRAWING IS FOR
DISCUSSION PURPOSES
ONLY**

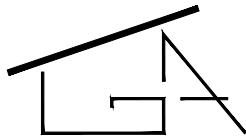
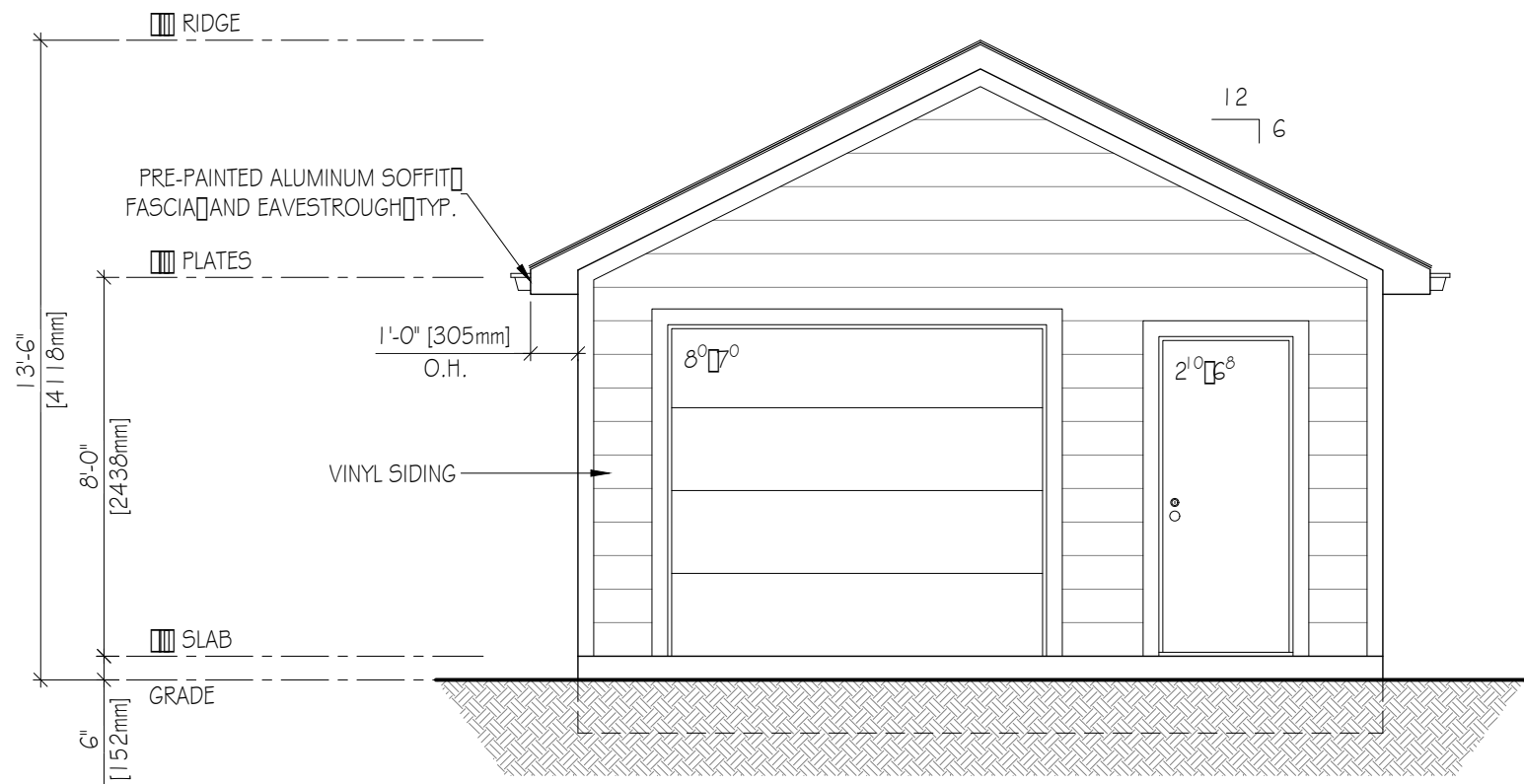
REV.	DESCRIPTION	DATE
0	FOR MINOR VARIANCE APPLICATION	MAR. 29/21

client	HOMEOWNER
--------	-----------

project	189 FIDDLERS GREEN ROAD ANCASTER, ONTARIO PROJECT No. 21-001
---------	--

title	GARAGE ROOF PLAN
-------	------------------

drawn	G.D.	checked	-
date	MARCH 2021	scale	1/4" = 1'-0"
revision number	0	drawing number	A1.0

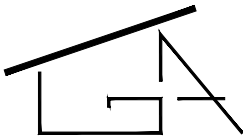
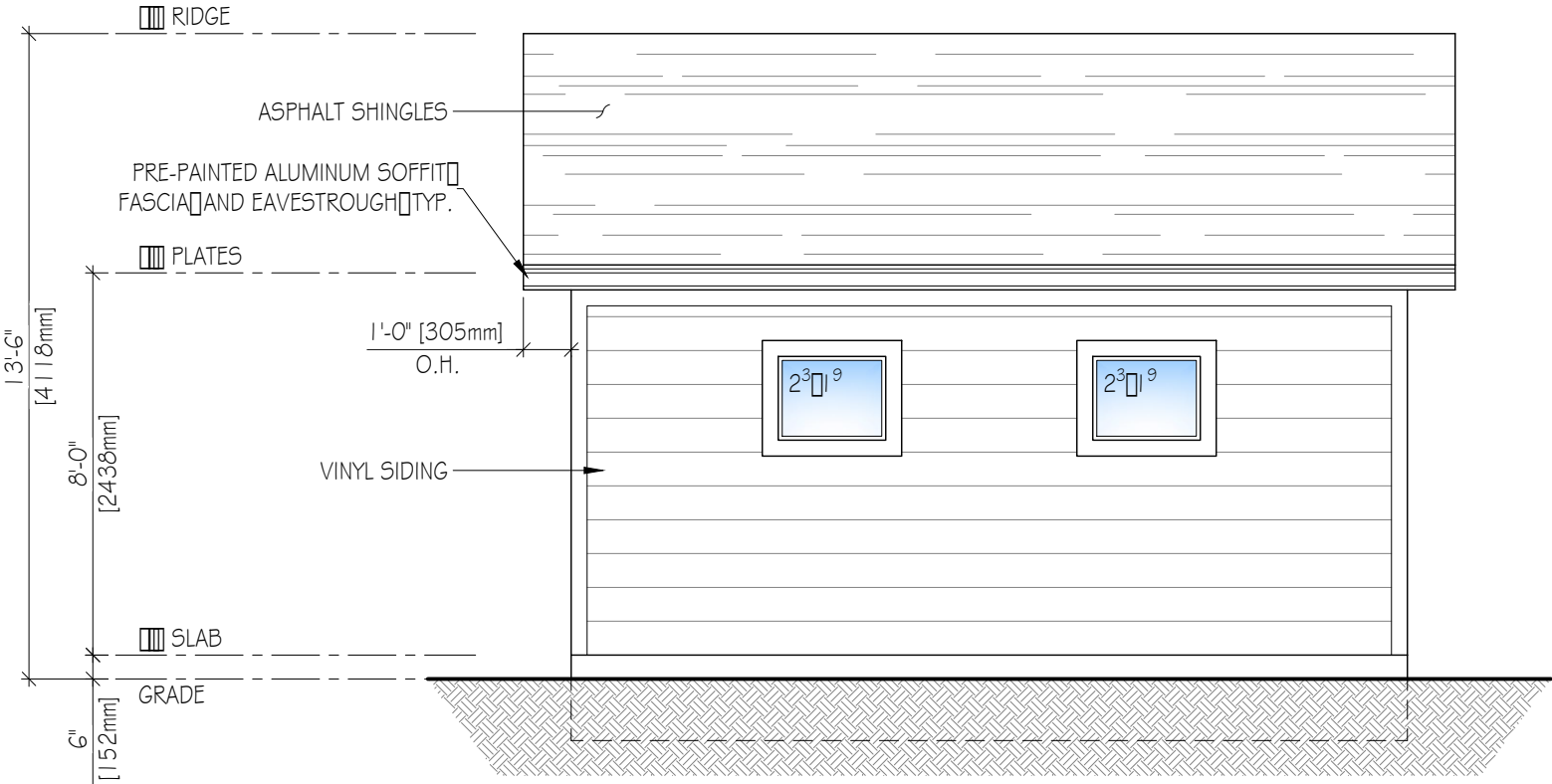


ARCHITECTURAL
DESIGNER
GRAHAMALEXANDER.CA
INFO@GRAHAMALEXANDER.CA
1 905 864 5305

THIS DRAWING IS NOT
TO BE USED AS PART OF A
BUILDING PERMIT
APPLICATION

THIS DRAWING IS FOR
DISCUSSION PURPOSES
ONLY

REV.	DESCRIPTION	DATE
0	FOR MINOR VARIANCE APPLICATION	MAR. 29/21
client		
HOMEOWNER		
project		
189 FIDDLERS GREEN ROAD ANCASTER, ONTARIO		
PROJECT No. 21-001		
title		
GARAGE FRONT WEST ELEVATION		
drawn	G.D.	checked -
date	MARCH 2021	scale 1/4" = 1'-0"
revision number	0	drawing number A2.01



ARCHITECTURAL
DESIGNER
GRAHAMALEXANDER.CA
INFO@GRAHAMALEXANDER.CA
1 905 864 5305

THIS DRAWING IS NOT
TO BE USED AS PART OF A
BUILDING PERMIT
APPLICATION

THIS DRAWING IS FOR
DISCUSSION PURPOSES
ONLY

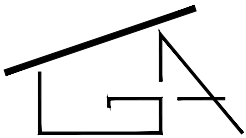
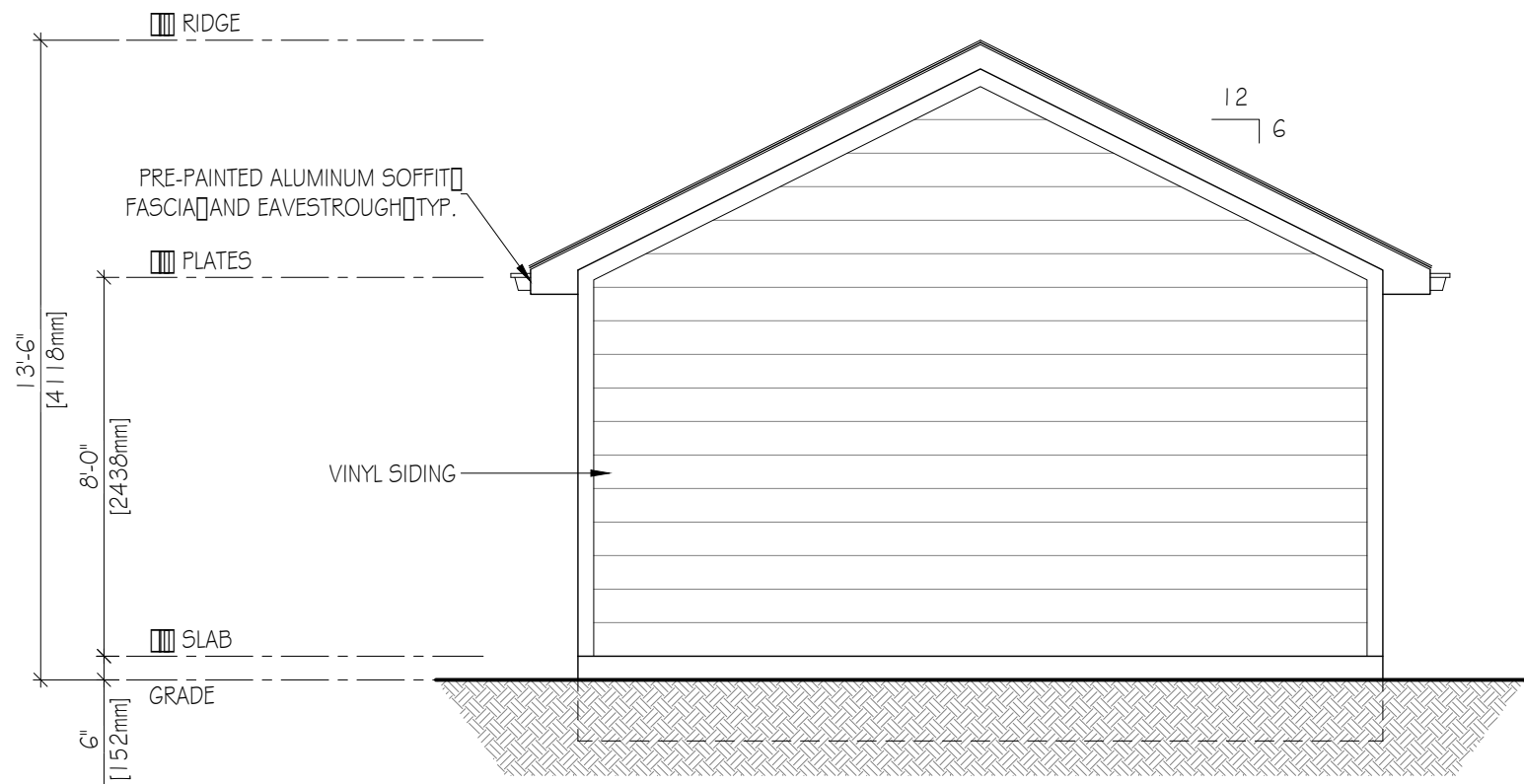
REV.	DESCRIPTION	DATE
0	FOR MINOR VARIANCE APPLICATION	MAR. 29/21

client	HOMEOWNER
--------	-----------

project	189 FIDDLERS GREEN ROAD ANCASTER, ONTARIO PROJECT No. 21-001
---------	--

title	GARAGE SIDE SOUTH ELEVATION
-------	-----------------------------

drawn	G.D.	checked	-
date	MARCH 2021	scale	1/4" = 1'-0"
revision number	0	drawing number	A2.02



ARCHITECTURAL
DESIGNER
GRAHAMALEXANDER.CA
INFO@GRAHAMALEXANDER.CA
1 905 864 5305

THIS DRAWING IS NOT
TO BE USED AS PART OF A
BUILDING PERMIT
APPLICATION

THIS DRAWING IS FOR
DISCUSSION PURPOSES
ONLY

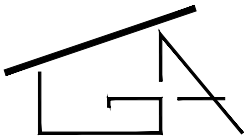
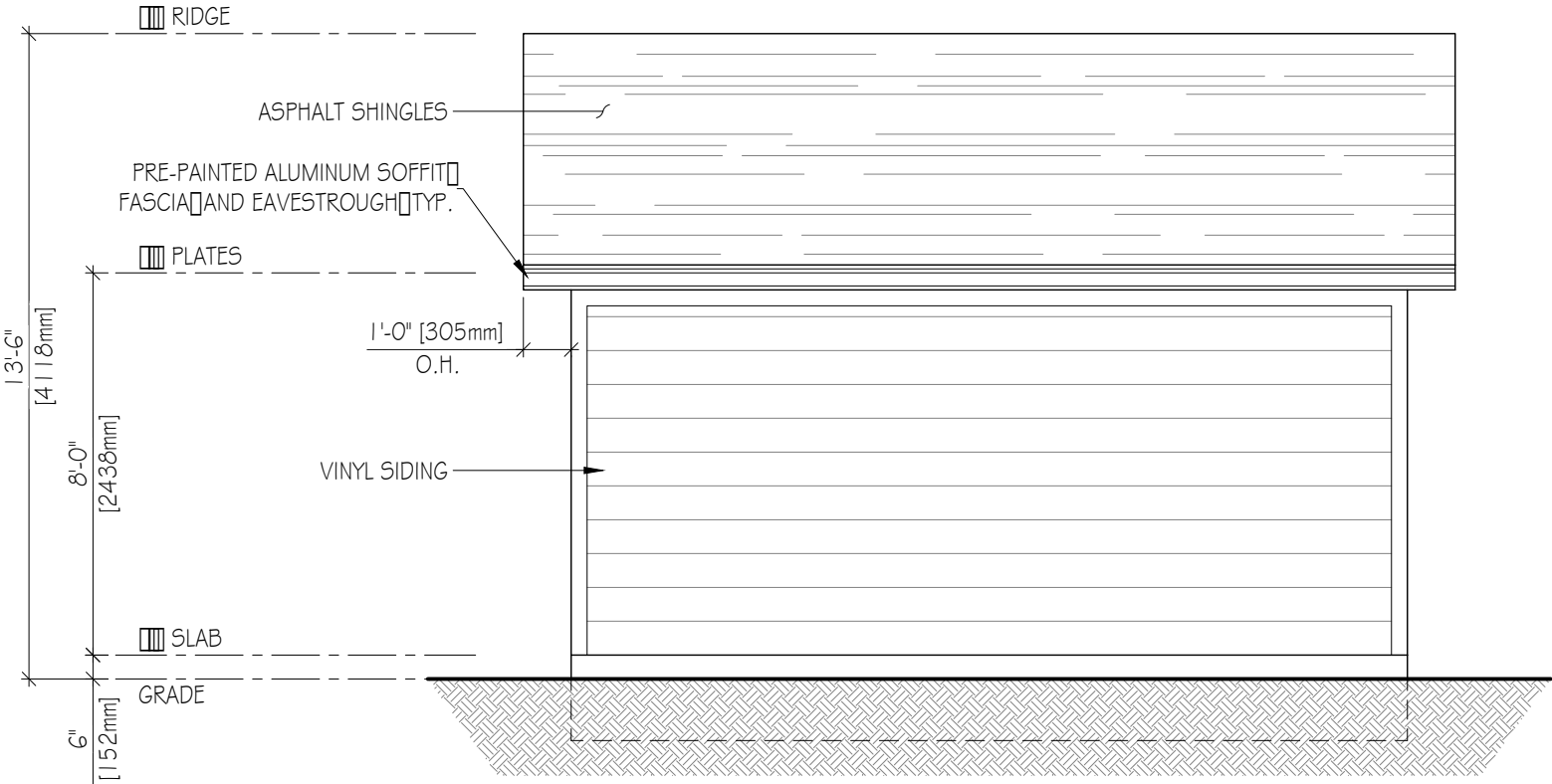
REV.	DESCRIPTION	DATE
0	FOR MINOR VARIANCE APPLICATION	MAR. 29/21

client
HOMEOWNER

project
189 FIDDLERS GREEN ROAD
ANCASTER, ONTARIO
PROJECT No. 21-001

title
GARAGE REAR EAST ELEVATION

drawn G.D.	checked -
date MARCH 2021	scale 1" = 1'-0"
revision number 0	drawing number A2.0



ARCHITECTURAL
DESIGNER
GRAHAMALEXANDER.CA
INFO@GRAHAMALEXANDER.CA
1 905 864 5305

THIS DRAWING IS NOT
TO BE USED AS PART OF A
BUILDING PERMIT
APPLICATION

THIS DRAWING IS FOR
DISCUSSION PURPOSES
ONLY

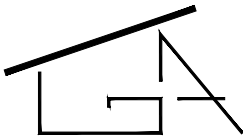
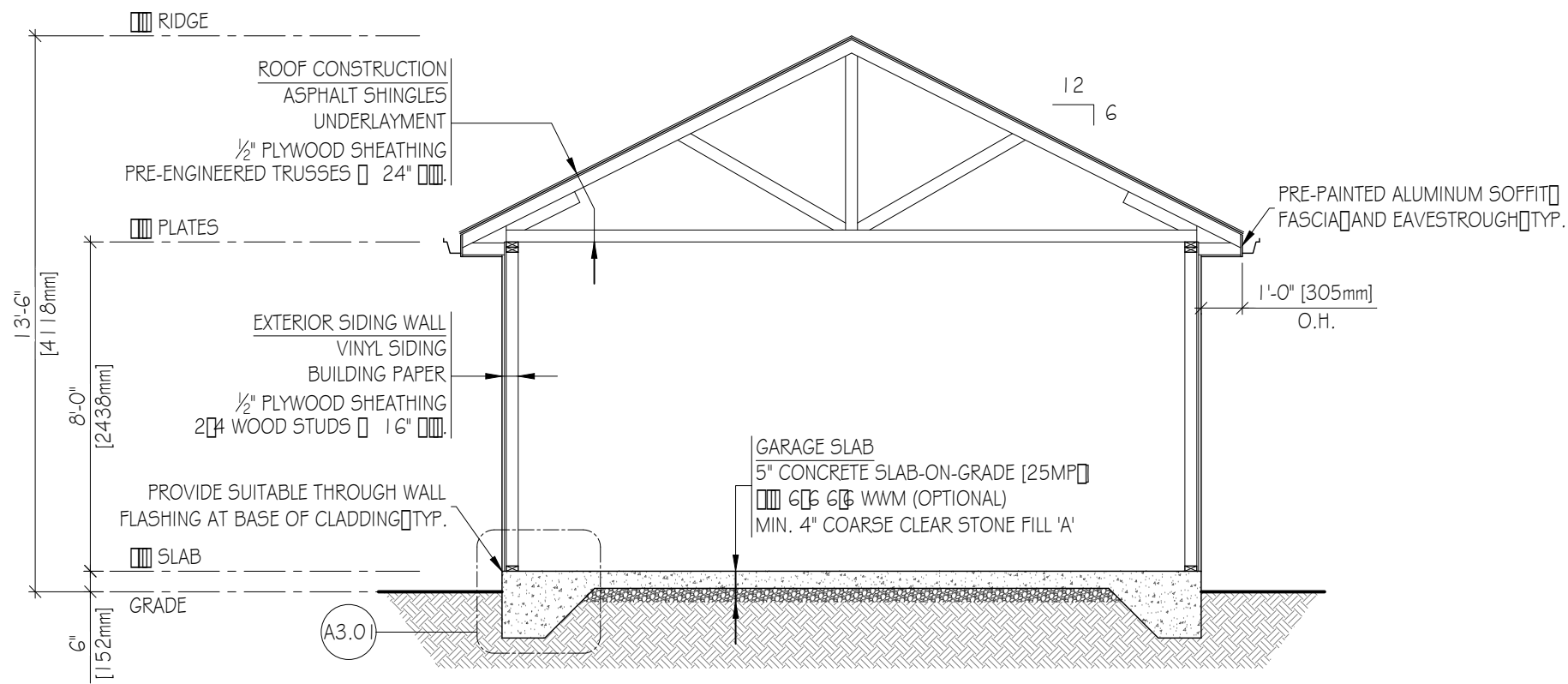
REV.	DESCRIPTION	DATE
0	FOR MINOR VARIANCE APPLICATION	MAR. 29/21

client
HOMEOWNER

project
189 FIDDLERS GREEN ROAD
ANCASTER, ONTARIO
PROJECT No. 21-001

title
GARAGE SIDE NORTH ELEVATION

drawn G.D.	checked -
date MARCH 2021	scale 1" = 1'-0"
revision number 0	drawing number A2.0



**ARCHITECTURAL
DESIGNER**
GRAHAMALEXANDER.CA
INFO@GRAHAMALEXANDER.CA
1 905 864 5305

**THIS DRAWING IS NOT
TO BE USED AS PART OF A
BUILDING PERMIT
APPLICATION**

**THIS DRAWING IS FOR
DISCUSSION PURPOSES
ONLY**

REV.	DESCRIPTION	DATE
0	FOR MINOR VARIANCE APPLICATION	MAR. 29/21
client		
HOMEOWNER		
project		
189 FIDDLERS GREEN ROAD ANCASTER, ONTARIO		
PROJECT No. 21-001		
title		
GARAGE CROSS SECTION		
drawn	G.D.	checked -
date	MARCH 2021	scale 1" = 1'-0"
revision number	0	drawing number A01

PLAN BEING PART 1
MUST BE READ IN CONJUNCTION WITH
SURVEY REPORT (PART 2)

DOUGLAS ROAD
(DEDICATED BY REGISTERED PLAN 861)

LOT 1
REGISTERED PLAN 861

PART 1 PLAN 62R-13119
PIN 17434-0150

(354.19 C1)

SIB (OU)
0.08 E, 0.01 N
(P2&S)

175.21 (175.25 P2)

255.21

250.19

250.17

250.15

250.13

250.11

250.09

250.07

250.05

250.03

250.01

249.99

249.97

249.95

249.93

249.91

249.89

249.87

249.85

249.83

249.81

249.79

249.77

249.75

249.73

249.71

249.69

249.67

249.65

249.63

249.61

249.59

249.57

249.55

249.53

249.51

249.49

249.47

249.45

249.43

249.41

249.39

249.37

249.35

249.33

249.31

249.29

249.27

249.25

249.23

249.21

249.19

249.17

249.15

249.13

249.11

249.09

249.07

249.05

249.03

249.01

248.99

248.97

248.95

248.93

248.91

248.89

248.87

248.85

248.83

248.81

248.79

248.77

248.75

248.73

248.71

248.69

248.67

248.65

248.63

248.61

248.59

248.57

248.55

248.53

248.51

248.49

248.47

248.45

248.43

248.41

248.39

248.37

248.35

248.33

248.31

248.29

248.27

248.25

248.23

248.21

248.19

248.17

248.15

248.13

248.11

248.09

248.07

248.05

248.03

248.01

247.99

247.97

247.95

247.93

247.91

247.89

247.87

247.85

247.83

247.81

247.79

247.77

247.75

247.73

247.71

247.69

247.67

247.65

247.63

247.61

247.59

247.57

247.55

247.53

247.51

247.49

247.47

247.45

247.43

247.41

247.39

247.37

247.35

247.33

247.31

247.29

247.27

247.25

247.23

247.21

247.19

247.17

247.15

247.13

247.11

247.09

247.07

247.05

247.03

247.01

246.99

246.97

246.95

246.93

246.91

246.89

246.87

246.85

246.83

246.81

246.79

246.77

246.75

246.73

246.71

246.69

246.67

246.65

246.63

246.61

246.59

246.57

246.55

246.53

246.51

246.49

246.47

246.45

246.43

246.41

246.39

246.37

246.35

246.33

246.31

246.29

246.27

246.25

246.23

246.21

246.19

246.17

246.15

246.13

246.11

246.09

246.07

246.05

246.03

246.01

245.99

245.97

245.95

245.93

245.91

245.89

245.87

245.85

245.83

245.81

245.79

245.77

245.75

245.73

245.71

245.69

245.67

245.65

245.63

245.61

245.59

245.57

245.55

245.53

245.51

245.49

245.47

245.45

245.43

245.41

245.39

245.37

245.35

245.33

245.31

245.29

245.27

245.25

245.23

245.21

245.19

245.17

245.15

245.13

245.11

245.09

245.07

245.05

245.03

245.01

244.99

244.97

244.95

244.93

244.91

244.89

244.87

244.85

244.83

244.81

244.79

244.77

244.75

244.73

244.71

244.69

244.67

244.65

244.63

244.61

244.59

244.57

244.55

244.53

244.51

244.49

244.47

244.45

244.43

244.41

244.39

244.37

244.35

244.33

244.31

244.29

244.27

244.25

244.23

244.21

244.19

244.17

244.15

244.13

244.11

244.09

244.07

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS	
Registered Owners(s)	ASHLEE HALL SEAN HALL		
Applicant(s)*	GRAHAM DAY		
Agent or Solicitor			<div>Phone.</div> <div>E-mail:</div>

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

TD Canada Trust
830 Upper James St, Hamilton, ON L9C 3A4

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

PROPOSED ACCESSORY BUILDING REAR YARD SETBACK OF 1.5m

5. Why it is not possible to comply with the provisions of the By-law?

BY-LAW STATES 7.5m REAR SETBACK FOR ACC BLDGS. GREATER THAN 12m² HOMEOWNER WISHES TO HAVE THE ACC. BLDG. IN THE BACK CORNER TO ALLOW FOR MORE LANDSCAPED REAR YARD. A 7.5m SETBACK WOULD ENCROACH SUBSTANTIALLY INTO THE EXISTING YARD AND WOULD REQUIRE REMOVAL OF EXISTING MATURE TREES THEY WANT TO KEEP.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

189 FIDDLERS GREEN ROAD, ANCASTER
EXISTING RESIDENTIAL
PART OF LOT 43, CONESSION 3

7. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☐

Other _____

- 8.1 If Industrial or Commercial, specify use _____

- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☒ Unknown ☐

- 8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☒ Unknown ☐

- 8.11 What information did you use to determine the answers to 9.1 to 9.10 above?

HOMEOWNERS KNOWLEDGE, GOOGLE MAPS

- 8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☐

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

MARCH 17, 2021

Date

Ashlee Taylor
& Sean Hall

Digitally signed by Ashlee Taylor & Sean Hall
DN: cn=Ashlee Taylor & Sean Hall, o=ca,
email=sean.hall@yepoo.com, c=CA
Date: 2021.03.18 19:05:54 -0400

Signature Property Owner

ASHLEE & SEAN HALL

Print Name of Owner

10. Dimensions of lands affected:

Frontage	<u>22.45m</u>
Depth	<u>66.44m</u>
Area	<u>1581.66m²</u>
Width of street	<u>10m</u>

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

DWELL. = 98.88m², (1) STOREY, W = 10.47m, L = 10.02m, H = ±5m

SHED 1 = 7.272m², W = 2.03m, L = 3.52m, H = ±2m

SHED 2 = 11.099m², W = 3.05m, L = 3.64m, H = ±2m

TREEHOUSE = 6.186m², W = 2.55m, L = 2.49m, H = ±4.5m

Proposed

DWELL. - GFA = 255.48m², (1) STOREY, W = 15.23m, L = 21.34m, H = 7.48m

ACC BLDG. - GFA = 27.64m², (1) STOREY, W = 5.18m, L = 5.33m, H = 4.12m

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

DWELL. = FRONT = 13.93m, REAR = 44.19m, SIDE = 5.4m, SIDE = 6.22m

SHED 1 = REAR = 41.43m, SIDE = 8.36m, SIDE = 12.41m

SHED 2 = REAR = 4.63m, SIDE = 0.91m, SIDE = 17.34m

TREEHOUSE = REAR = 13.63m, SIDE = 1.33m, SIDE = 18.13m

Proposed:

DWELL. = FRONT 14m, REAR = 32.978m, SIDE = 2.133m, SIDE = 3.81m

ACC. BLDG. = REAR = 1.524m, SIDE = 1.524m, SIDE = 14.25m

13. Date of acquisition of subject lands:
July, 2019
-
14. Date of construction of all buildings and structures on subject lands:
~1950
-
15. Existing uses of the subject property:
SINGLE FAMILY RESIDENTIAL
16. Existing uses of abutting properties:
SINGLE FAMILY RESIDENTIAL, RESIDENTIAL MULTIPLE
17. Length of time the existing uses of the subject property have continued:
~70 YEARS
18. Municipal services available: (check the appropriate space or spaces)
Water YES Connected YES
Sanitary Sewer YES Connected YES
Storm Sewers YES
19. Present Official Plan/Secondary Plan provisions applying to the land:
EXISTING RESIDENTIAL
87-57 ANCASTER, 18-105
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
EXISTING RESIDENTIAL
87-57 ANCASTER, 18-105
21. Has the owner previously applied for relief in respect of the subject property?
☐ Yes ☒ No
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
☐ Yes ☒ No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.