

## **NOTICE OF PUBLIC HEARING** **Minor Variance**

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**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
- 

**APPLICATION NO.:** HM/A-21:195

**APPLICANTS:** Agent Len Angelici  
Owner Edward Aitchison

**SUBJECT PROPERTY:** Municipal address **34 Cline Ave. S., Hamilton**

**ZONING BY-LAW:** Zoning By-law 6593, as Amended

**ZONING:** "C/S-1361 & C/S-1788" (Urban Protected Residential) district

**PROPOSAL:** To permit interior alterations to the existing single family dwelling and to establish three (3) parking spaces in the rear yard notwithstanding that:

1. A manoeuvring aisle width of at least 4.0m shall be provided for the parking spaces located within the rear yard instead of the minimum required 6.0m manoeuvring aisle width.
2. An access driveway having a width of 2.1m shall be permitted instead of the minimum 2.8m wide access driveway width required.

**NOTE:**

- i. The minimum number of required parking spaces for a Single Family Dwelling use is calculated at a rate of 2 parking spaces for the first eight (8) habitable rooms, plus 0.5 spaces for each additional habitable room. The interior alterations being proposed to the existing single family results in a total of 10 habitable rooms. As a such, a minimum of three (3) parking spaces are required to be provided on-site.
- ii. The surface of the parking area is required to be comprised of gravel or other suitable paving material.

This application will be heard by the Committee as shown below:

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**DATE:** Thursday, June 17th, 2021  
**TIME:** 2:15 p.m.  
**PLACE:** Via video link or call in (see attached sheet for details)  
To be streamed at  
[www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)  
for viewing purposes only

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## **PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

## **MORE INFORMATION**

For more information on this matter, including access to drawings illustrating this request:

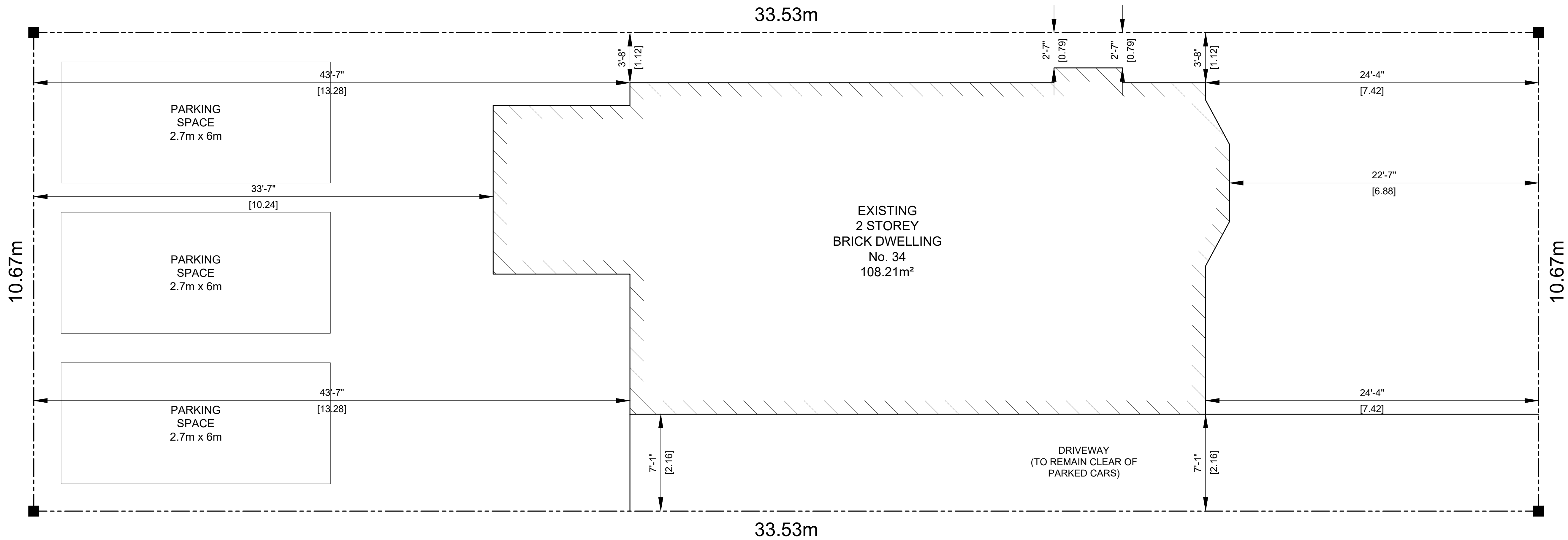
- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

DATED: June 1st, 2021.

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

***Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.***



**SITE DATA**

ZONE: C/S-1361 C/S-1788

LOT AREA: 357.68m²

EXISTING BUILDING FOOTPRINT: 108.21m²

LOT COVERAGE: 30.25%

**BUILDING HEIGHT**

No. of STOREYS: 2

**SETBACKS**

FRONT: 6.88m

REAR: 10.24m

RIGHT SIDE: 0.79m

LEFT SIDE: 2.16m

CLINE AVE S

PROJECT NORTH	TRUE NORTH

01.	PRELIMINARY DRAWINGS	03/01/2021
No.	REVISION	DATE

- ALL CONTRACTORS AND/OR TRADES SHALL VERIFY ALL DIMENSIONS, NOTES, SITE AND REPORT ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF WORK.
- THIS DRAWING IS NOT TO BE SCALED. ALL DRAWINGS, PRINTS AND RELATED DOCUMENTS ARE THE PROPERTY OF LEN ANGELICI DESIGN AND MUST BE RETURNED UPON REQUEST.
- REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS STRICTLY PROHIBITED WITHOUT WRITTEN CONSENT OF LEN ANGELICI DESIGN.
- CONTRACTOR SHALL REVIEW ALL DRAWINGS PRIOR TO COMMENCING CONSTRUCTION FOR ANY ERRORS OR OMISSIONS.
- LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR THE DESIGN OR PRE-ENGINEERED TRUSSES OR ANY PRE-ENGINEERED PRODUCTS.
- LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR HEATING, PLUMBING, OR ELECTRICAL DRAWINGS.
- DRAWING MAY NOT BE CHANGED, ALTERED OR COPIED WITHOUT WRITTEN CONSENT OF LEN ANGELICI DESIGN. FAILURE TO COMPLY WITH THIS STATEMENT IS NOT THE RESPONSIBILITY OF LEN ANGELICI DESIGN.
- LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR POOR CONSTRUCTION PRACTICES.

SEAL

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION	
LEONARD ANGELICI	42391
NAME	BCIN
REGISTRATION INFORMATION	
LEN ANGELICI DESIGN	43162
NAME	BCIN

03/01/2021  
DATE SIGNATURE

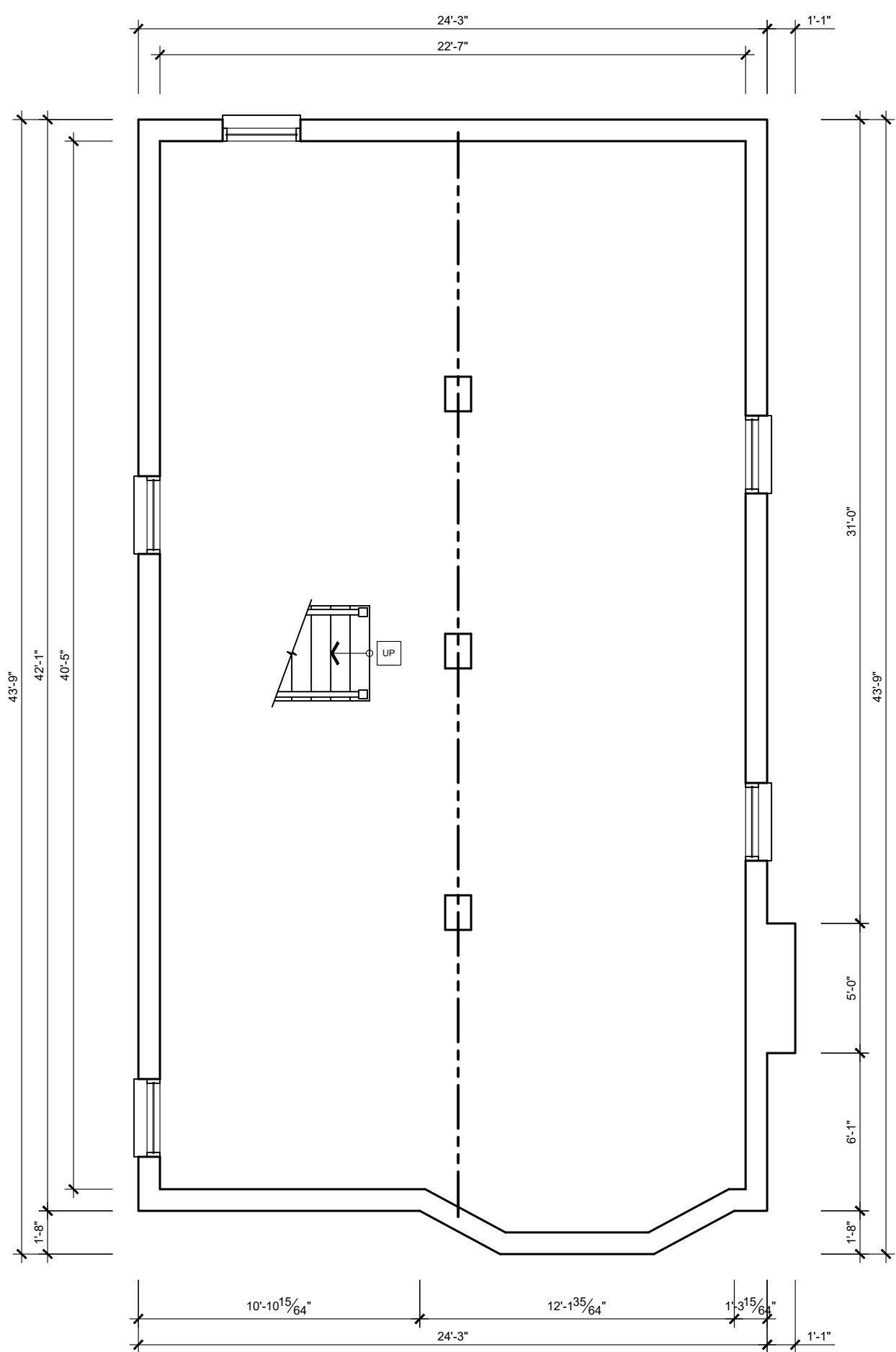
**Len  
Angelici  
Design**

270 SHERMAN AVE N. UNIT MILL-125  
HAMILTON, ON L8L 6N4  
(905) 393-8868  
info@lenangelicidesign.ca

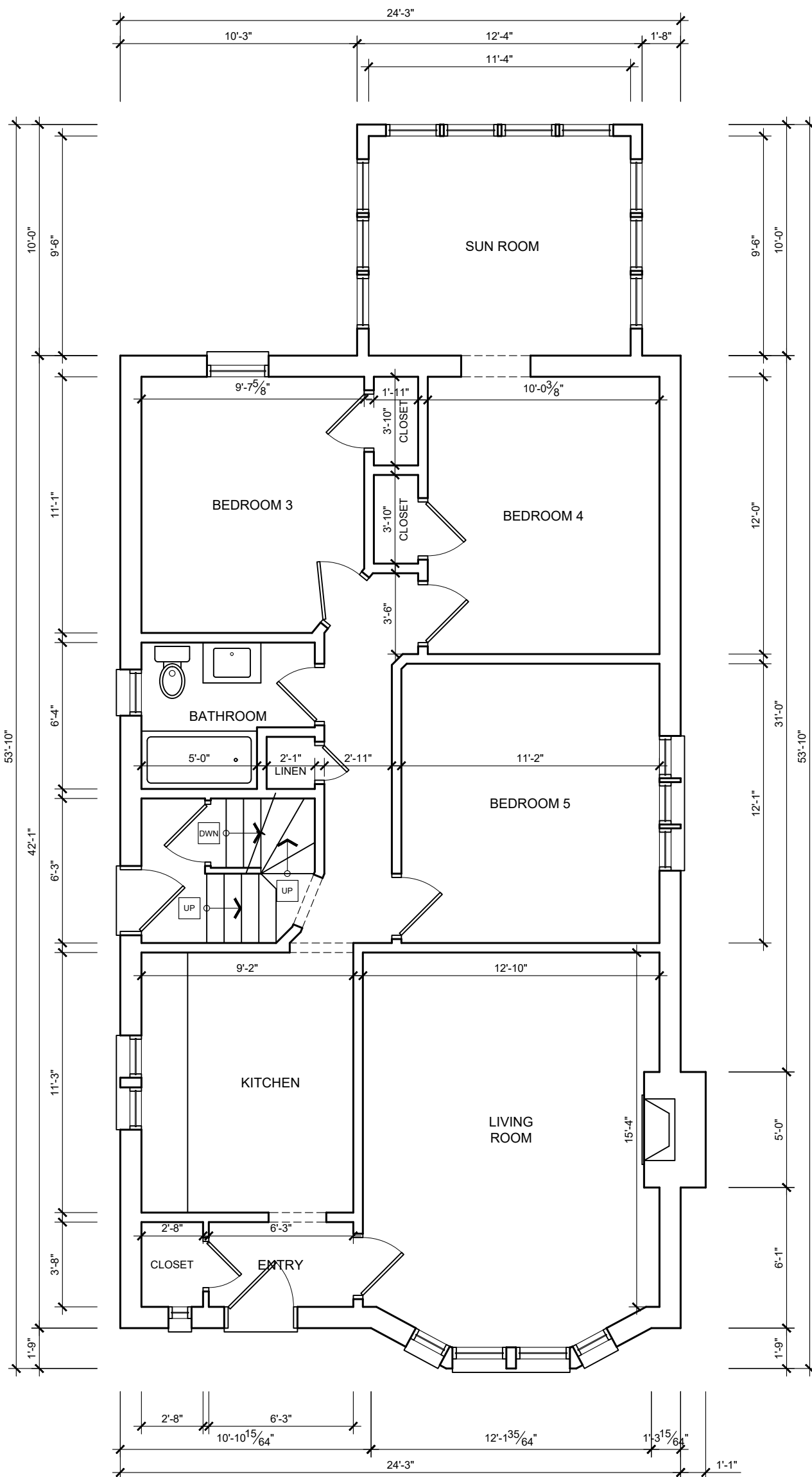
PROJECT
PROPOSED RESIDENCE 34 CLINE AVE S HAMILTON, ON.

SHEET TITLE
SITE PLAN

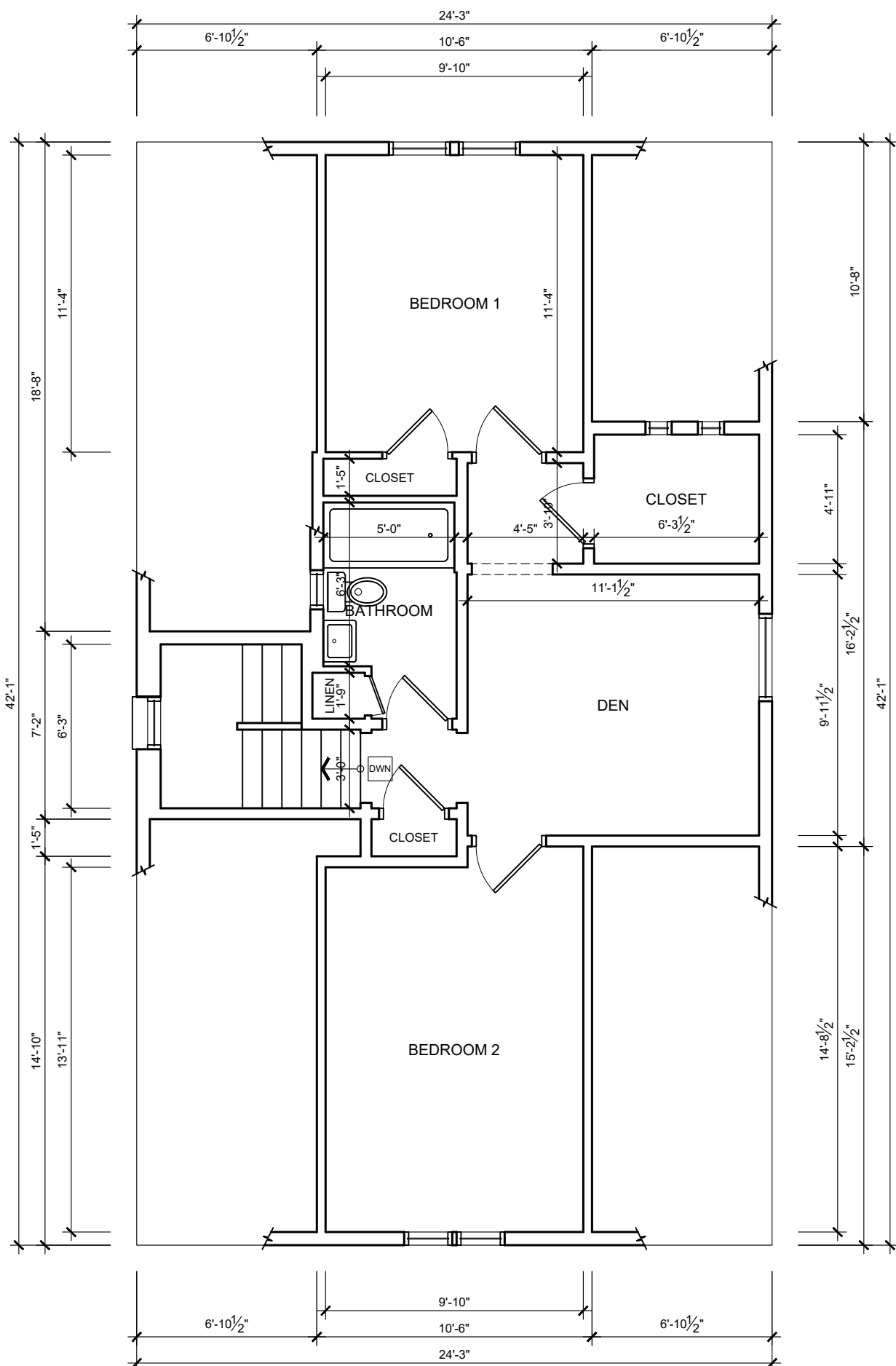
DRAWN BY L. ANGELICI	SP1
DATE 03/01/2021	
SCALE 1:50	
PROJECT No. 2021-001	



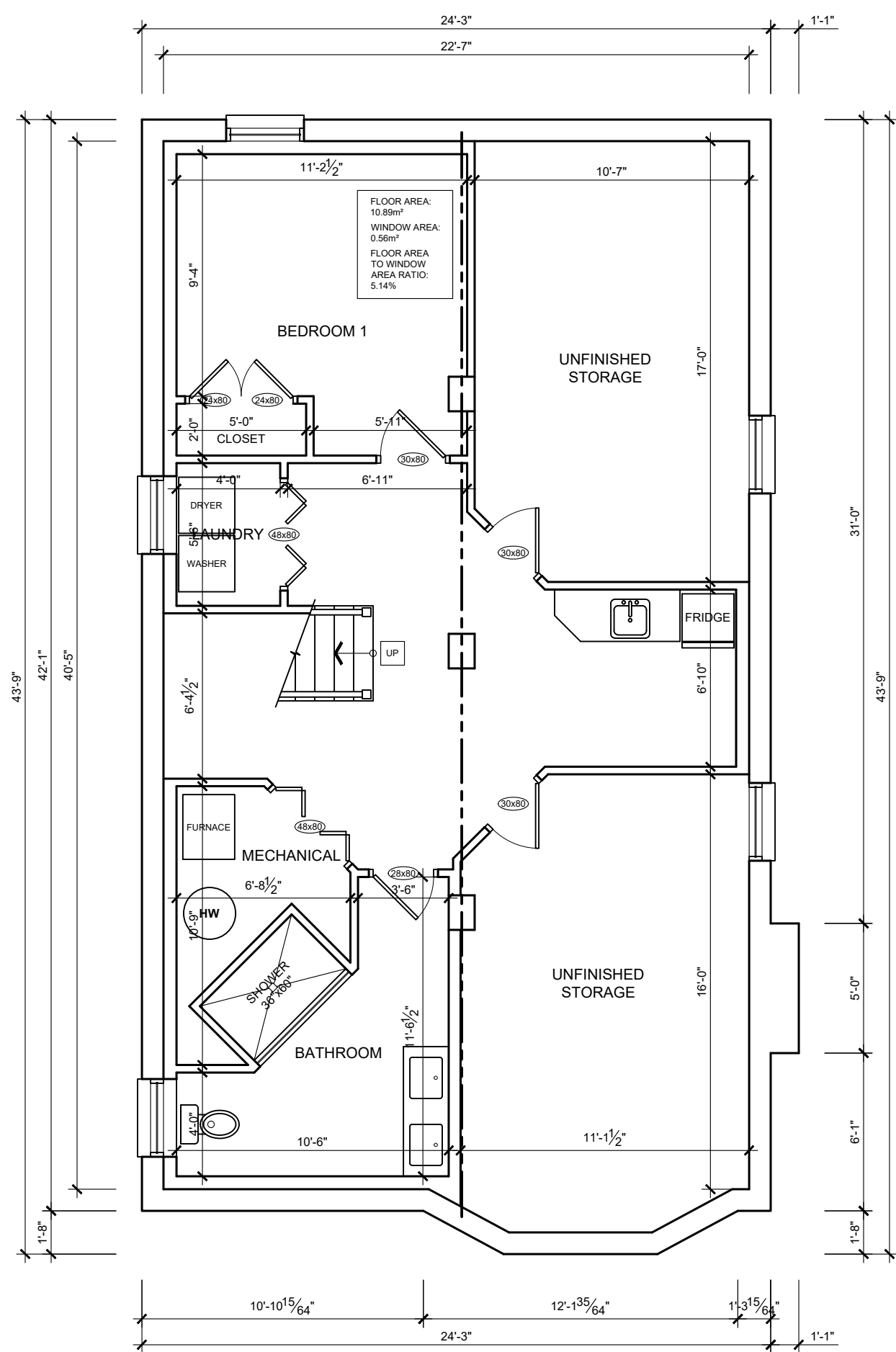
EXISTING BASEMENT PLAN  
SCALE 3/16" = 1' - 0"



EXISTING MAIN FLOOR PLAN  
SCALE 3/16" = 1' - 0"



EXISTING SECOND FLOOR PLAN  
SCALE 3/16" = 1' - 0"



PROPOSED BASEMENT PLAN  
SCALE 3/16" = 1' - 0"

PROJECT NORTH	TRUE NORTH


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No.	REVISION	DATE

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8. LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR POOR CONSTRUCTION PRACTICES.

SEAL

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.	
QUALIFICATION INFORMATION	
LEONARD ANGELICI	42391
NAME	BCIN
REGISTRATION INFORMATION	
LEN ANGELICI DESIGN	43162
NAME	BCIN
03/01/2021	
DATE	SIGNATURE

**Len Angelici Design**

270 SHERMAN AVE N, UNIT MILL-125  
HAMILTON, ON L8L 6N4  
(905) 393-8868  
info@lenangelicidesign.ca

PROJECT
PROPOSED RESIDENCE 34 CLINE AVE S HAMILTON, ON.

SHEET TITLE
EXISTING & PROPOSED PLANS

DRAWN BY L. ANGELICI	A1
DATE 03/01/2021	
SCALE 3/16"=1'-0"	
PROJECT No. 2021-001	



Committee of Adjustment  
City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

## APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. \_\_\_\_\_ DATE APPLICATION RECEIVED \_\_\_\_\_

PAID \_\_\_\_\_ DATE APPLICATION DEEMED COMPLETE \_\_\_\_\_

SECRETARY'S  
SIGNATURE \_\_\_\_\_

### The Planning Act

#### Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS	
Registered Owners(s)	Ed Aitchison	34 Cline Ave S Hamilton, ON L8S 1W7	
Applicant(s)*	Len Angelici		
Agent or Solicitor			
			E-mail:

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:



Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Relief for on-site parking as result of 9 habitable rooms

5. Why it is not possible to comply with the provisions of the By-law?

Dwelling lot does not allow for on-site parking that meets spatial and manoeuvrability requirements

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

34 Cline Ave S  
Hamilton, ON L8S 1W7  
Zone C/S-1361 C/S-1788

7. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐  
Agricultural ☐ Vacant ☐

Other \_\_\_\_\_

- 8.1 If Industrial or Commercial, specify use \_\_\_\_\_

- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☒ Unknown ☐

- 8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☒ Unknown ☐

- 8.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Area has been residential since construction of subject property

- 8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☒

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

04/28/2021  
Date

  
Signature Property Owner

Print Name of Owner

10. Dimensions of lands affected:

Frontage 10.67m  
Depth 33.53m  
Area 357.68m<sup>2</sup>  
Width of street

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:  
Main Floor area: 107.76m<sup>2</sup> Width: 7.39m  
Second Floor area: 51.02m<sup>2</sup> Length: 16.41m  
2 stories

Proposed:

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:  
Front: 6.88m Left Side: 2.16m  
Right Side: 0.79m Rear: 10.24m

Proposed:

13. Date of acquisition of subject lands:  
\_\_\_\_\_
14. Date of construction of all buildings and structures on subject lands:  
\_\_\_\_\_
15. Existing uses of the subject property:  
Single Family Dwelling
16. Existing uses of abutting properties:  
Single Family Dwellings
17. Length of time the existing uses of the subject property have continued:  
Since construction
18. Municipal services available: (check the appropriate space or spaces)  
 Water ☒ Connected ☒  
 Sanitary Sewer ☒ Connected ☒  
 Storm Sewers ☒
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:  
C/S-1361 C/S-1788 Urban Protected Residential, Etc.  
Parent Bylaw Number 6593 Former Hamilton
21. Has the owner previously applied for relief in respect of the subject property?  
☐ Yes ☒ No  
 If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the Planning Act?  
☐ Yes ☒ No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.