

NOTICE OF PUBLIC HEARING

Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-21:175

APPLICANTS: Agent Shane Renovations
Owner C. & H. Harvey

SUBJECT PROPERTY: Municipal address **184 Cline Ave. N., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended 96-109 & 19-307

ZONING: "C/S-1361 and C/S-1788" (Urban Protected Residential, etc.)
district

PROPOSAL: To permit alterations to the existing single family dwelling which includes the construction of a one storey addition and roofed-over unenclosed porch at the front of the dwelling and a two-storey addition to the rear of the dwelling, notwithstanding,

1. A floor area ratio of 1.025 shall be applied, permitting a maximum gross floor area of 290.36 square metres, instead of the maximum permitted floor area ratio of 0.45, allowing a maximum gross floor area of 127.47 square metres;

2. A minimum front yard depth of 3.9 metres shall be provided to the proposed one-storey front addition instead of the minimum required front yard depth of 6.0 metres,

3. A minimum easterly side yard width of 1.1 metres shall be provided to the proposed two-storey rear addition instead of the minimum required side yard width of 1.2 metres;

4. A minimum westerly side yard width of 0.6 metres shall be provided to the proposed two-storey rear addition instead of the minimum required side yard width of 1.2 metres;

5. An eave and gutter shall be permitted to encroach the entire width of the westerly side yard instead of the maximum permitted encroachment of one-half the width of the required side yard; and,

6. One (1) parking space shall be provided instead of providing a minimum of four (4) parking spaces required to be provided for a single family dwelling consisting of 11 habitable rooms.

NOTES:

1. A proposed gross floor area of 289.68 square metres, as noted in the application, has been used to determine the proposed floor area ratio. It is unclear if the applicant has applied the deduction permitted by Section 2(a)(ii) of By-law 96-109 as details of the areas occupied by laundry facilities and HVAC equipment have not been provided.

2. A further variance will be required should any portion of the single family dwelling provided a ceiling height in excess of 4.6 metres.
3. The applicant shall ensure the proposed building height has been provided in accordance with “Height” and “Grade” as defined within the Zoning By-law.
4. A further variance will be required if a minimum of 50% of the gross area of the front yard, calculated in accordance with Section 18(14) of the Zoning By-law, is not provided.
5. A further variance will be required should gravel or similar surface or other suitable paving not be provided for the parking area.
6. Zoning compliance for the location proposed roofed-over porch at the front of the dwelling is dependant on approval of the variance requested for a reduced front yard depth.
7. Minor variance A-89:43 was previously approved to permit a third storey addition to the existing single family dwelling.

This application will be heard by the Committee as shown below:

DATE:	Thursday, June 17th, 2021
TIME:	2:20 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	To be streamed at
	www.hamilton.ca/committeeofadjustment
	for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

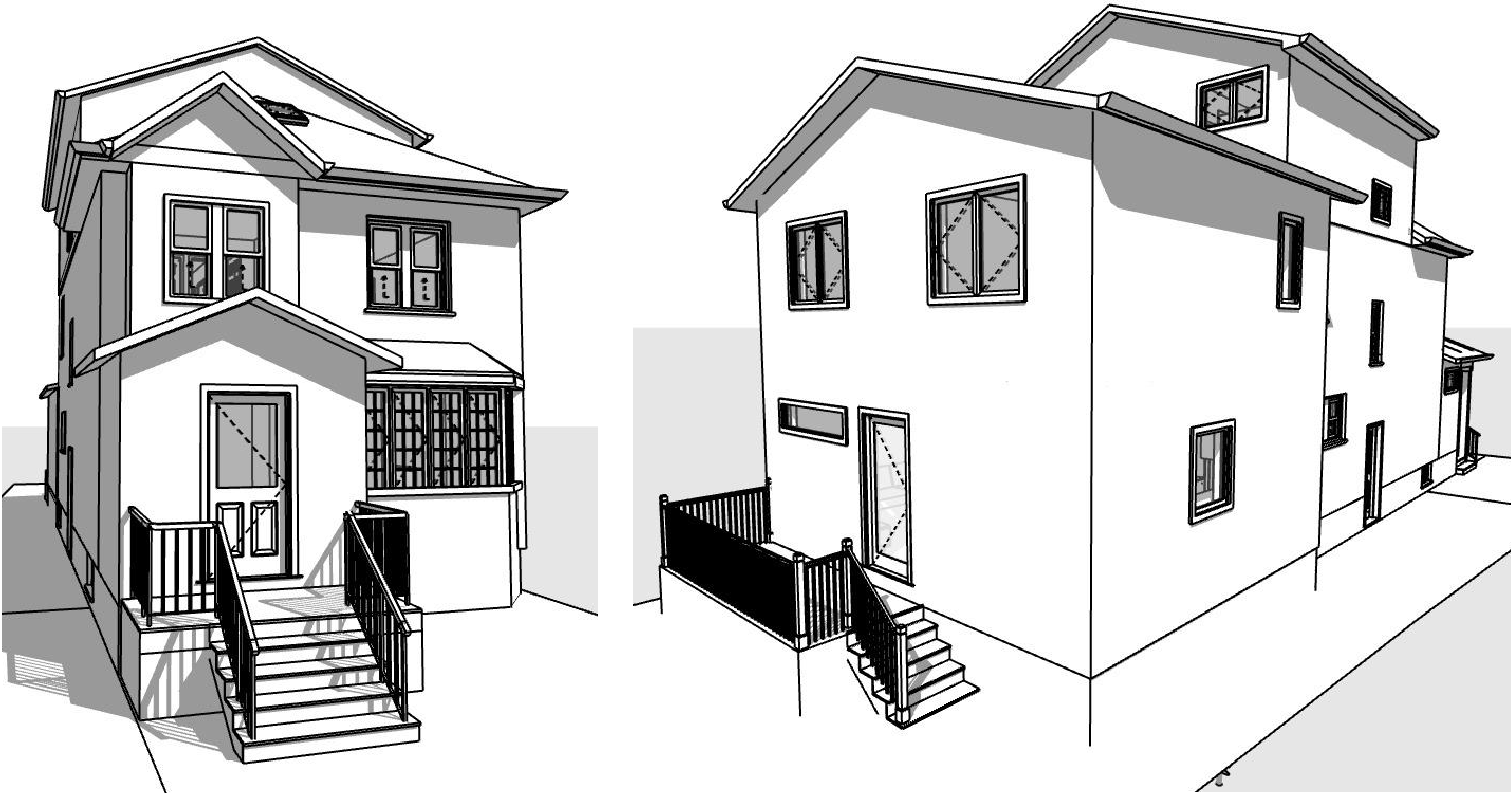
- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: June 1st, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

RENOVATION TO:
HARVEY
184 CLINE AVE N. HAMILTON ON L8S 3Z9



CONTRACTOR
Shane
Renovations
790 SHAVER RD. ANCASTER
L9G 3K9 ON

**NOT FOR
CONSTRUCTION**

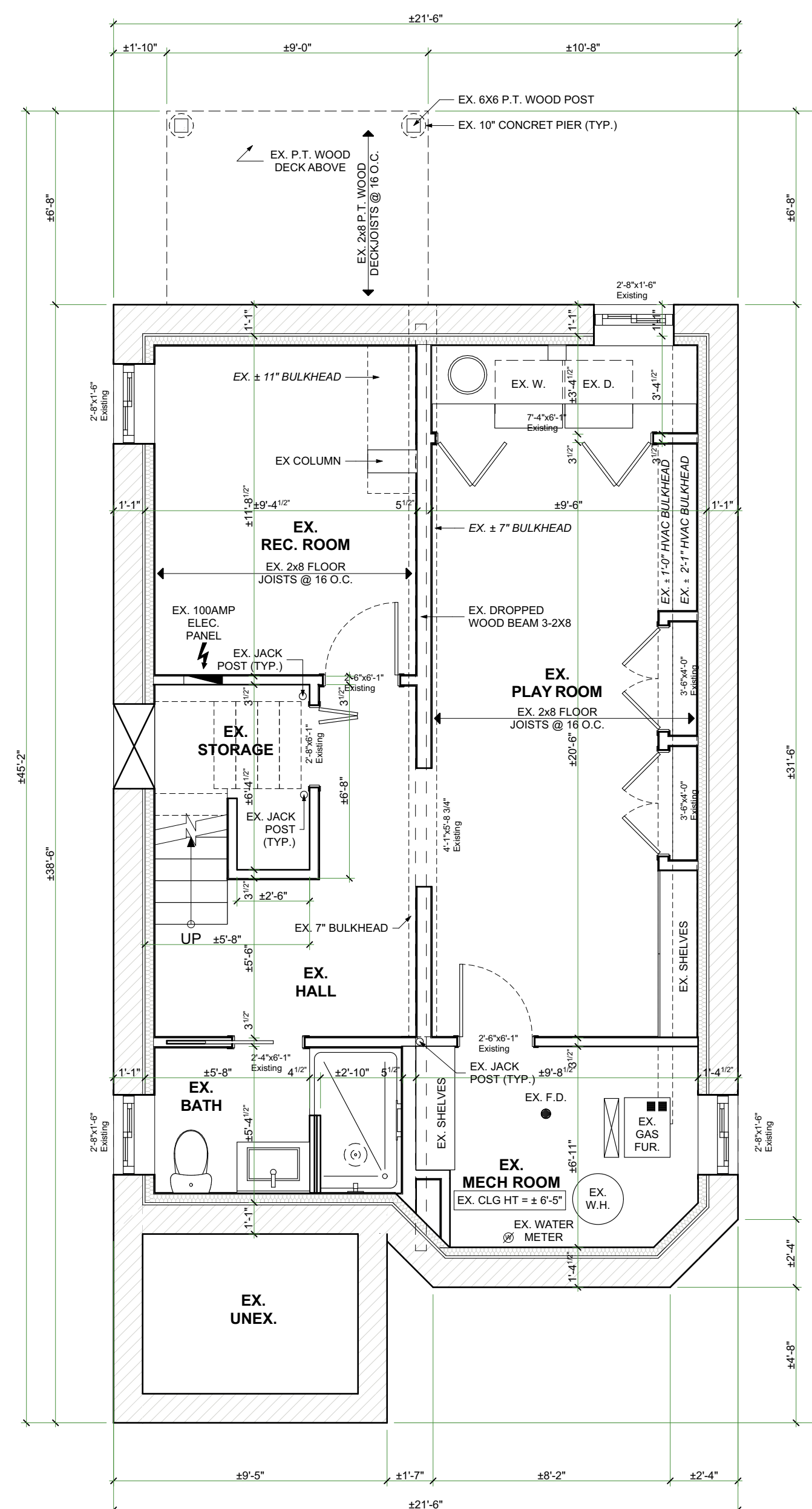
NO.	REVISION	DATE
1	DESIGN 1.0	2021.01.28
2	DESIGN 2.0	2021.02.17
3	ISSUED FOR MINOR VARIANCE	2021.04.14
4		
5		

DRAWING:
**TITLE SHEET / GENERAL
INFO**

PROJECT NAME:
HARVEY
PROJECT ADDRESS:
184 CLINE AVE N. HAMILTON ON L8S 3Z9

DATE: 2021-04-16
SCALE:
AS NOTED
PROJECT NO.:

DRAWING NO:
A0.01



Shane
Renovations

**NOT FOR
CONSTRUCTION**

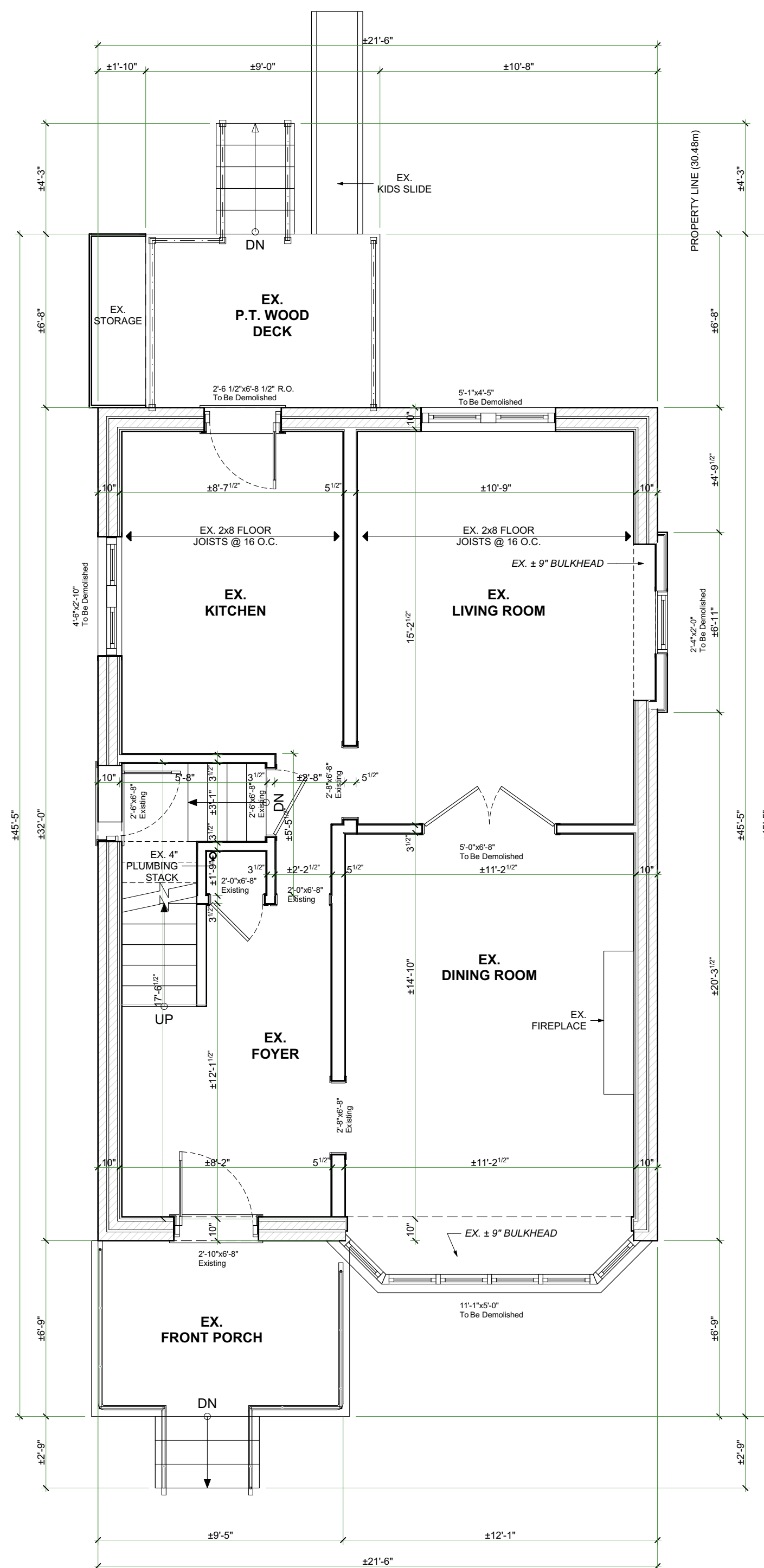
NO.	REVISION	DATE
1	DESIGN 1.0	2021.01.28
2	DESIGN 2.0	2021.02.17
3	ISSUED FOIR MINOR VARIANCE	2021.04.14
4		
5		

EXISTING BASEMENT PLAN

DATE: 2021-04-16

DRAWING NO:

A1.01



CONTRACTOR

790 SHAVER RD. ANCASTER
L9G 3K9 ON**NOT FOR
CONSTRUCTION**

NO.	REVISION	DATE
1	DESIGN 1.0	2021.01.28
2	DESIGN 2.0	2021.02.17
3	ISSUED FOR MINOR VARIANCE	2021.04.14
4		
5		

DRAWING:

**EXISTING MAIN FLOOR
PLAN**

PROJECT NAME:

HARVEY

PROJECT ADDRESS:

184 CLINE AVE N. HAMILTON ON L8S 3Z9

DATE: 2021-04-16

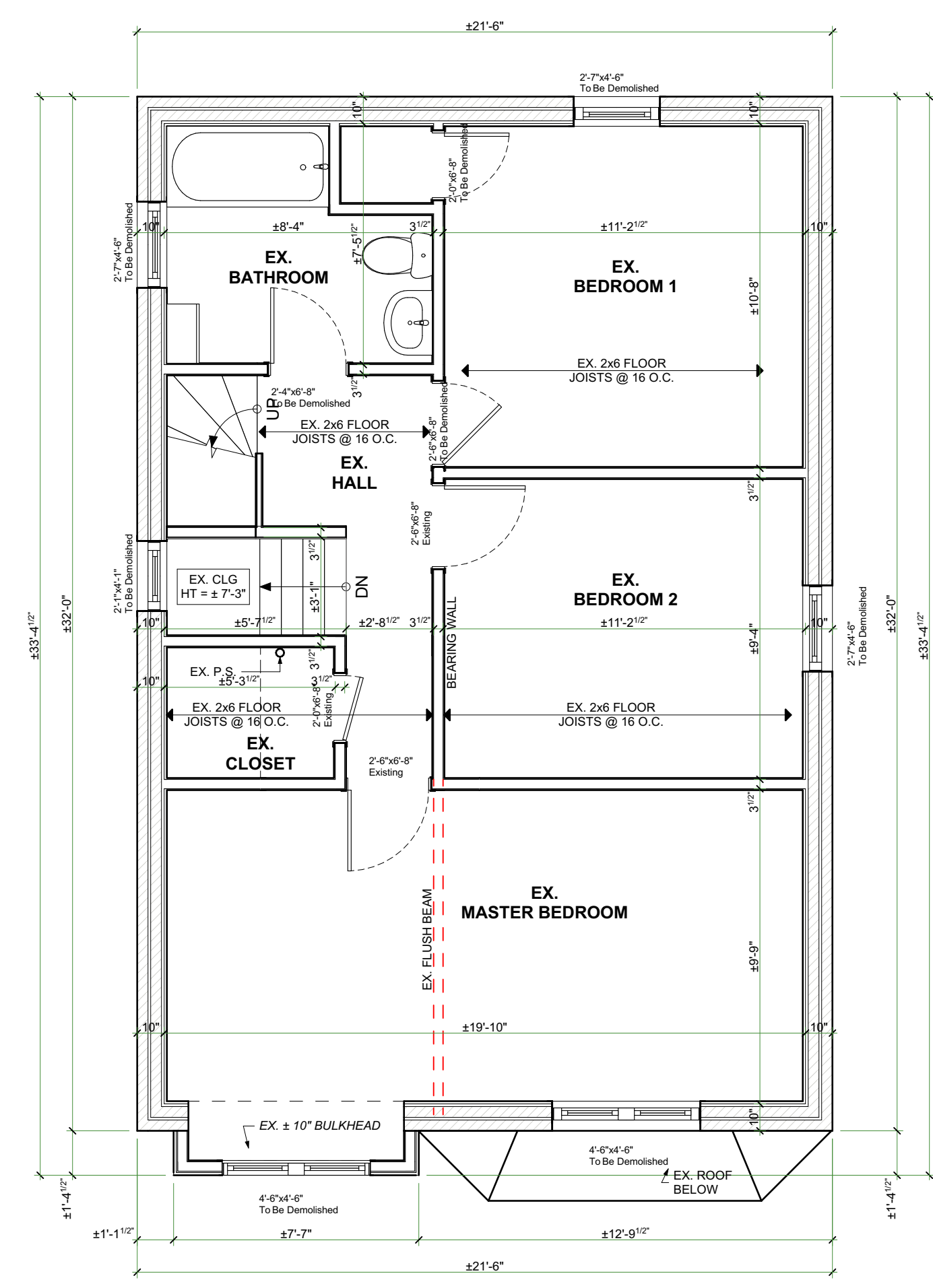
SCALE:

AS NOTED

PROJECT NO:

DRAWING NO:

A1.02



CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

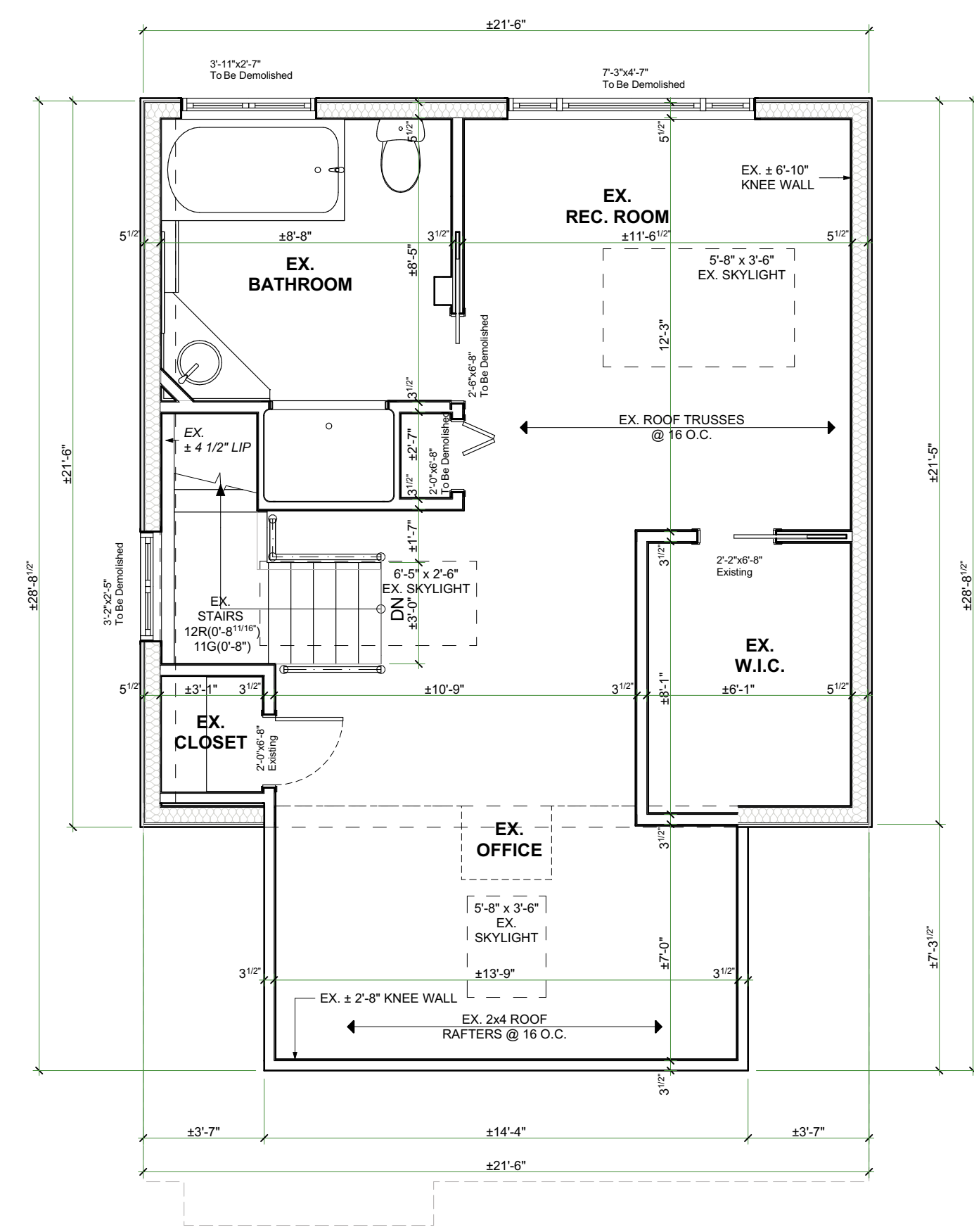
NOT FOR
CONSTRUCTION

NO.	REVISION	DATE
1	DESIGN 1.0	2021.01.28
2	DESIGN 2.0	2021.02.17
3	ISSUED FOR MINOR VARIANCE	2021.04.14
4		
5		

DRAWING:
EXISTING SECOND FLOOR
PLAN

PROJECT NAME:
HARVEY
PROJECT ADDRESS:
184 CLINE AVE N. HAMILTON ON L8S 3Z9

DATE: 2021-04-16	SCALE: AS NOTED	DRAWING NO: A1.03
PROJECT NO: ---		



CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

NOT FOR
CONSTRUCTION

NO.	REVISION	DATE
1	DESIGN 1.0	2021.01.28
2	DESIGN 2.0	2021.02.17
3	ISSUED FOR MINOR VARIANCE	2021.04.14
4		
5		

DRAWING:

EXISTING ATTIC PLAN

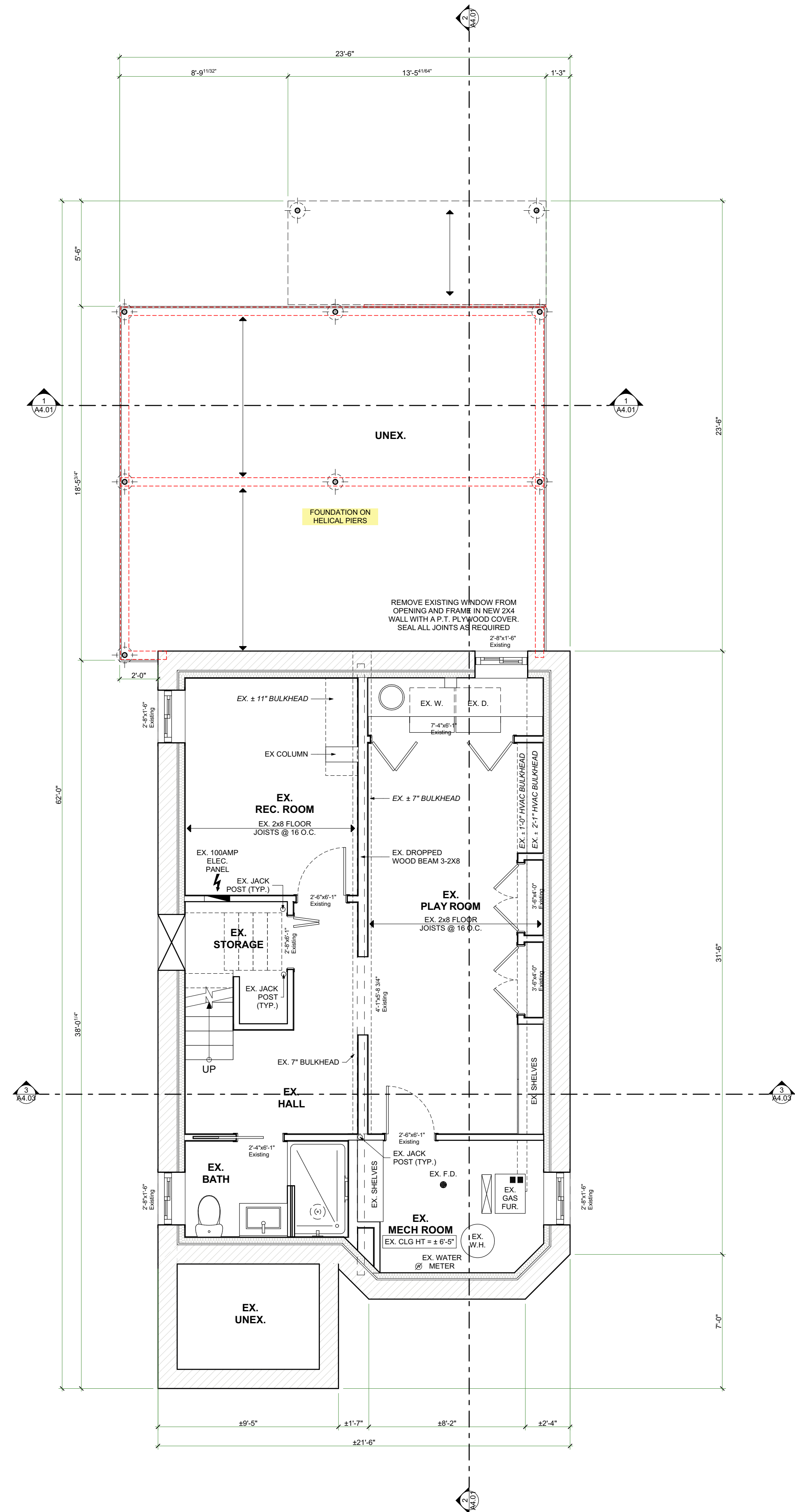
PROJECT NAME:

HARVEY

PROJECT ADDRESS:

184 CLINE AVE N. HAMILTON ON L8S 3Z9

DATE: 2021-04-16	SCALE:	DRAWING NO:
	AS NOTED	A1.04
	PROJECT NO:	



CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

**NOT FOR
CONSTRUCTION**

NO.	REVISION	DATE
1	DESIGN 1.0	2021.01.28
2	DESIGN 2.0	2021.02.17
3	ISSUED FOIR MINOR VARIANCE	2021.04.14
4		
5		

DRAWING:

PROPOSED BASEMENT PLAN

PROJECT NAME:

HARVEY

PROJECT ADDRESS:

84 CLINE AVE N. HAMILTON ON L8S 3Z9

DATE: 2021-04-16

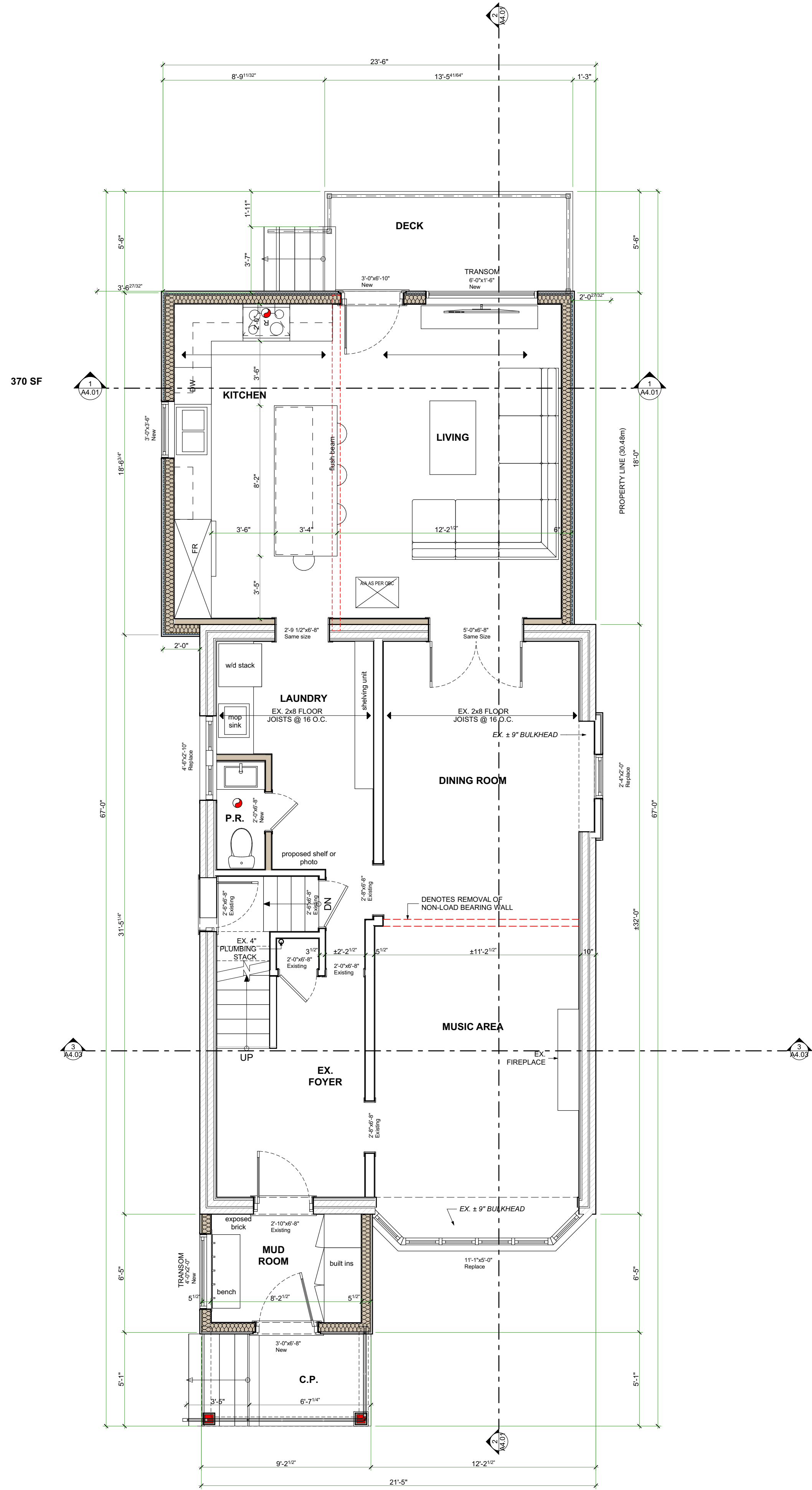
SCALE:

AS NOTED

PROJECT NO:

DRAWING NO:

A1.05



1 PROPOSED MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

CONTRACTOR
Shane
Renovations
790 SHAVER RD. ANCASTER
L9G 3K9 ON

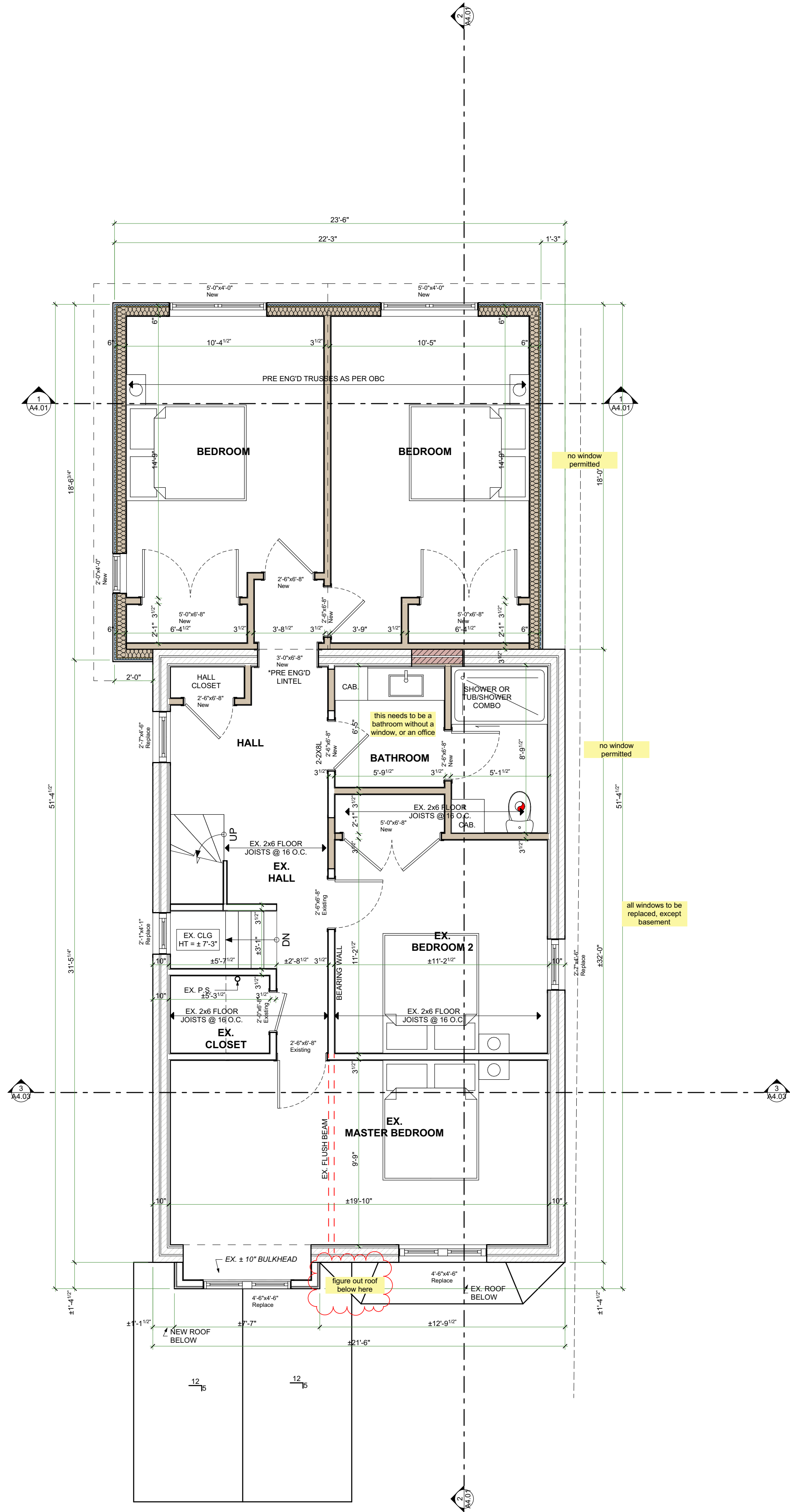
**NOT FOR
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NO.	REVISION	DATE
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2	DESIGN 2.0	2021.02.17
3	ISSUED FOR MINOR VARIANCE	2021.04.14
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5		

DRAWING:
**PROPOSED MAIN FLOOR
PLAN**

PROJECT NAME:
HARVEY
PROJECT ADDRESS:
184 CLINE AVE N. HAMILTON ON L8S 3Z9

DATE: 2021-04-16	SCALE: AS NOTED	DRAWING NO: A1.06
PROJECT NO: ---		



1 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

**NOT FOR
CONSTRUCTION**

NO.	REVISION	DATE
1	DESIGN 1.0	2021.01.28
2	DESIGN 2.0	2021.02.17
3	ISSUED FOR MINOR VARIANCE	2021.04.14
4		
5		

DRAWING:
**PROPOSED SECOND
FLOOR PLAN**

PROJECT NAME:
HARVEY
PROJECT ADDRESS:
184 CLINE AVE N. HAMILTON ON L8S 3Z9

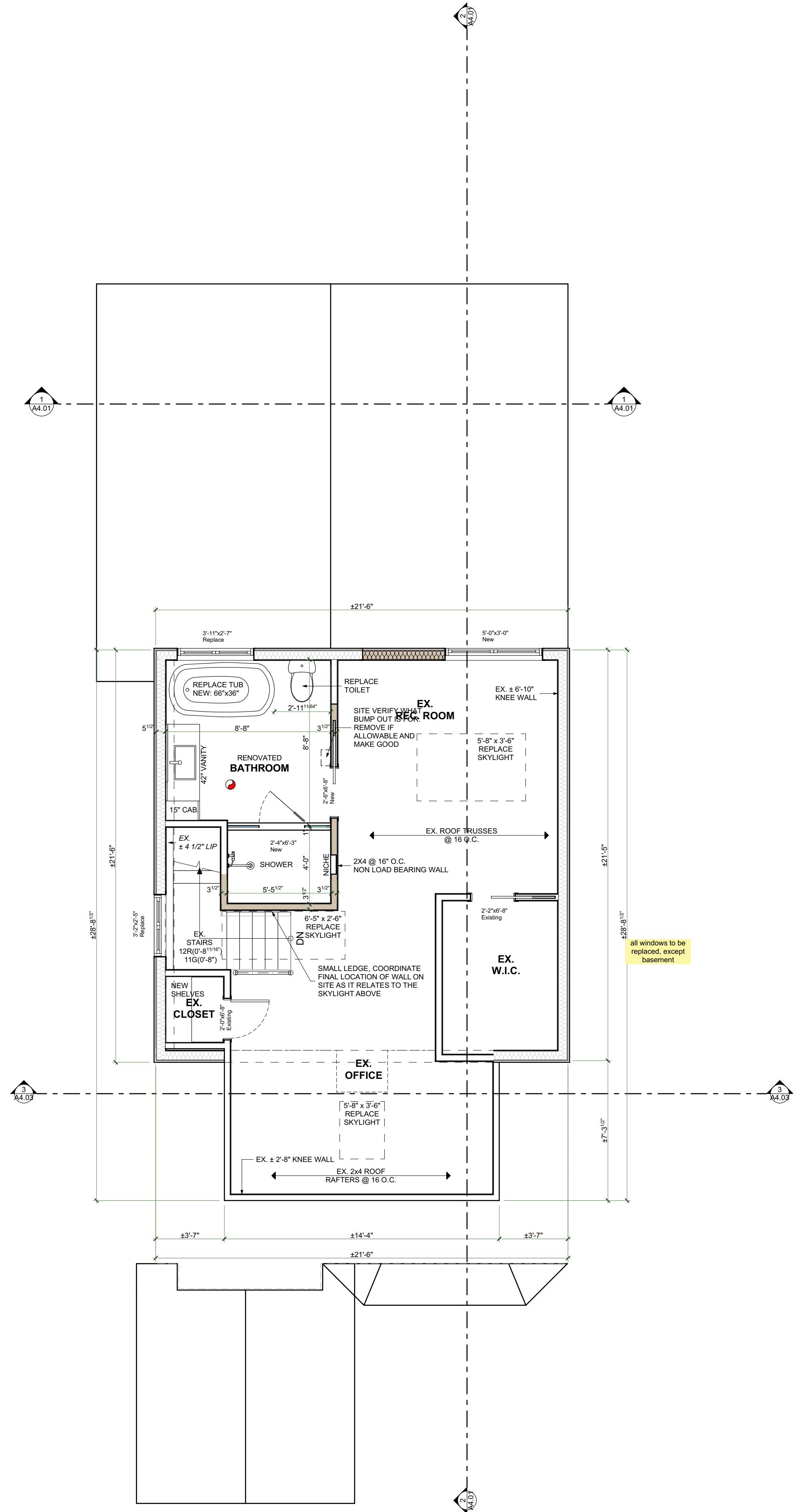
DATE: 2021-04-16

SCALE:
AS NOTED

PROJECT NO:

DRAWING NO:

A1.07



CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

NOT FOR
CONSTRUCTION

NO.	REVISION	DATE
1	DESIGN 1.0	2021.01.28
2	DESIGN 2.0	2021.02.17
3	ISSUED FOR MINOR VARIANCE	2021.04.14
4		
5		

DRAWING:

PROPOSED ATTIC PLAN

PROJECT NAME:

HARVEY

PROJECT ADDRESS:

184 CLINE AVE N. HAMILTON ON L8S 3Z9

DATE: 2021-04-16

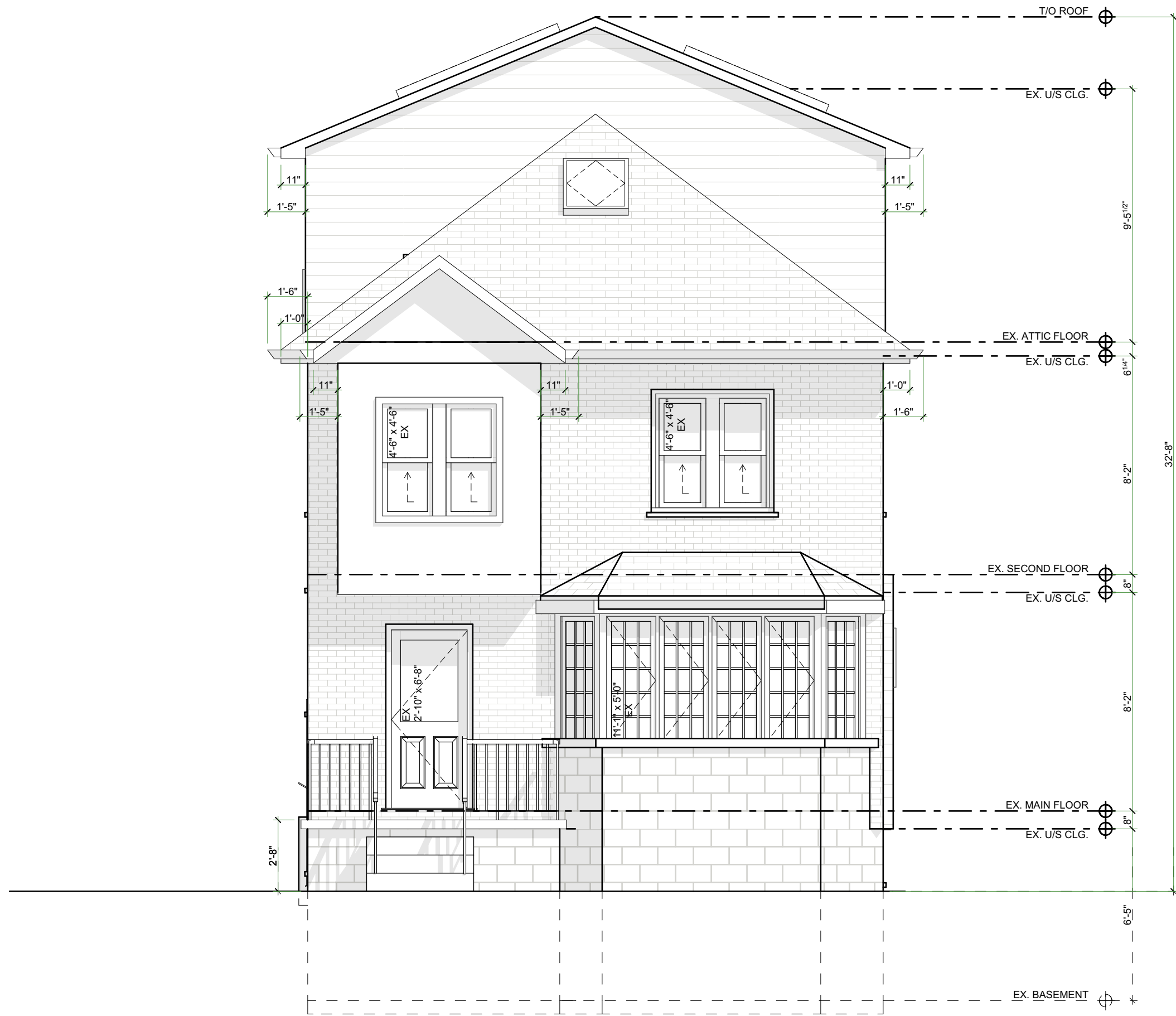
SCALE:

AS NOTED

PROJECT NO:

DRAWING NO:

A1.08



CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

**NOT FOR
CONSTRUCTION**

NO.	REVISION	DATE
1	DESIGN 1.0	2021.01.28
2	DESIGN 2.0	2021.02.17
3	ISSUED FOR MINOR VARIANCE	2021.04.14
4		
5		

DRAWING:

**EXISTING FRONT
ELEVATION**

PROJECT NAME:

HARVEY

PROJECT ADDRESS:

184 CLINE AVE N. HAMILTON ON L8S 3Z9

DATE: 2021-04-16

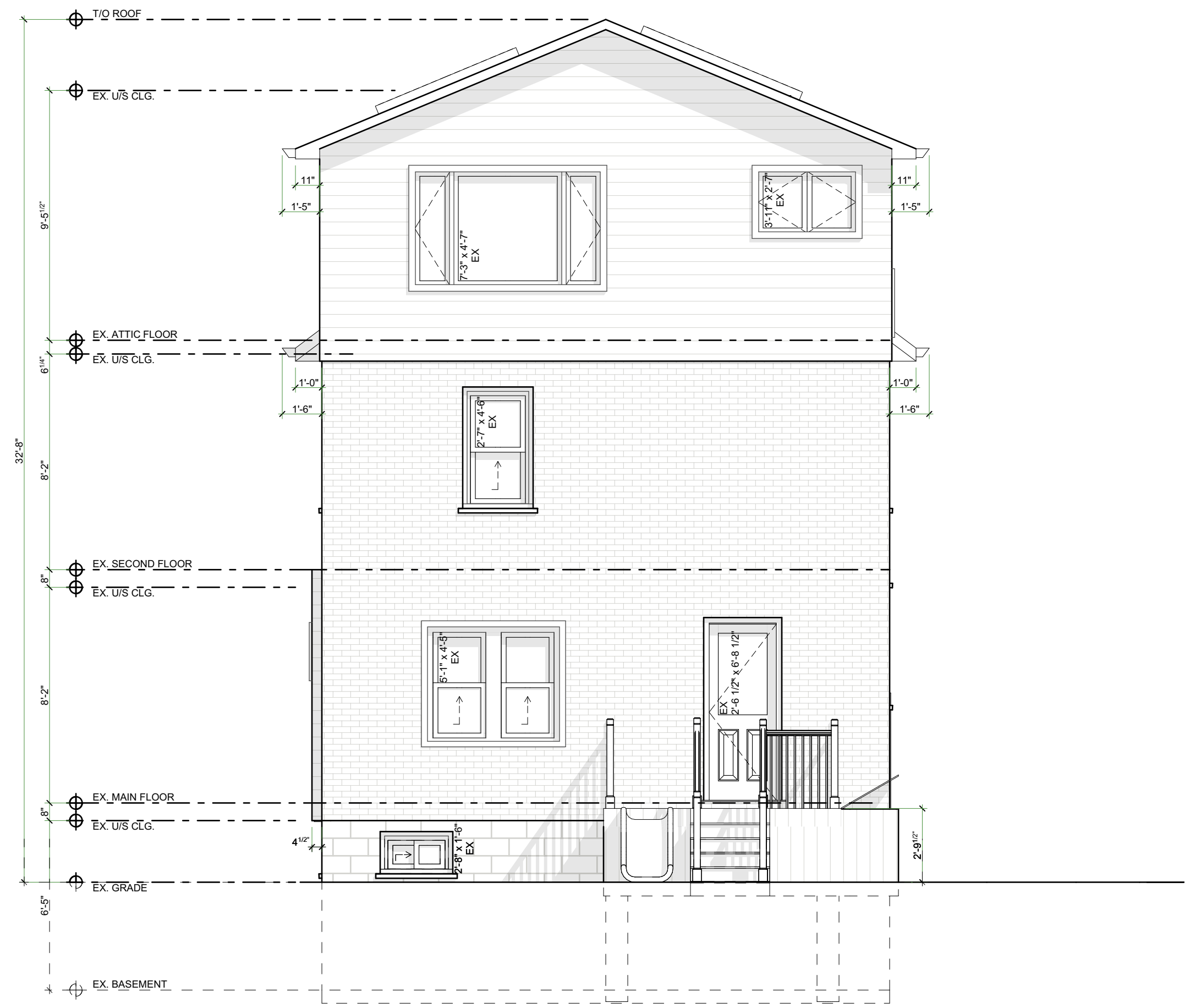
SCALE:

AS NOTED

PROJECT NO:

DRAWING NO:

A2.01



CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

**NOT FOR
CONSTRUCTION**

NO.	REVISION	DATE
1	DESIGN 1.0	2021.01.28
2	DESIGN 2.0	2021.02.17
3	ISSUED FOR MINOR VARIANCE	2021.04.14
4		
5		

DRAWING:

EXISTING REAR ELEVATION

PROJECT NAME:

HARVEY

PROJECT ADDRESS:

184 CLINE AVE N. HAMILTON ON L8S 3Z9

DATE: 2021-04-16

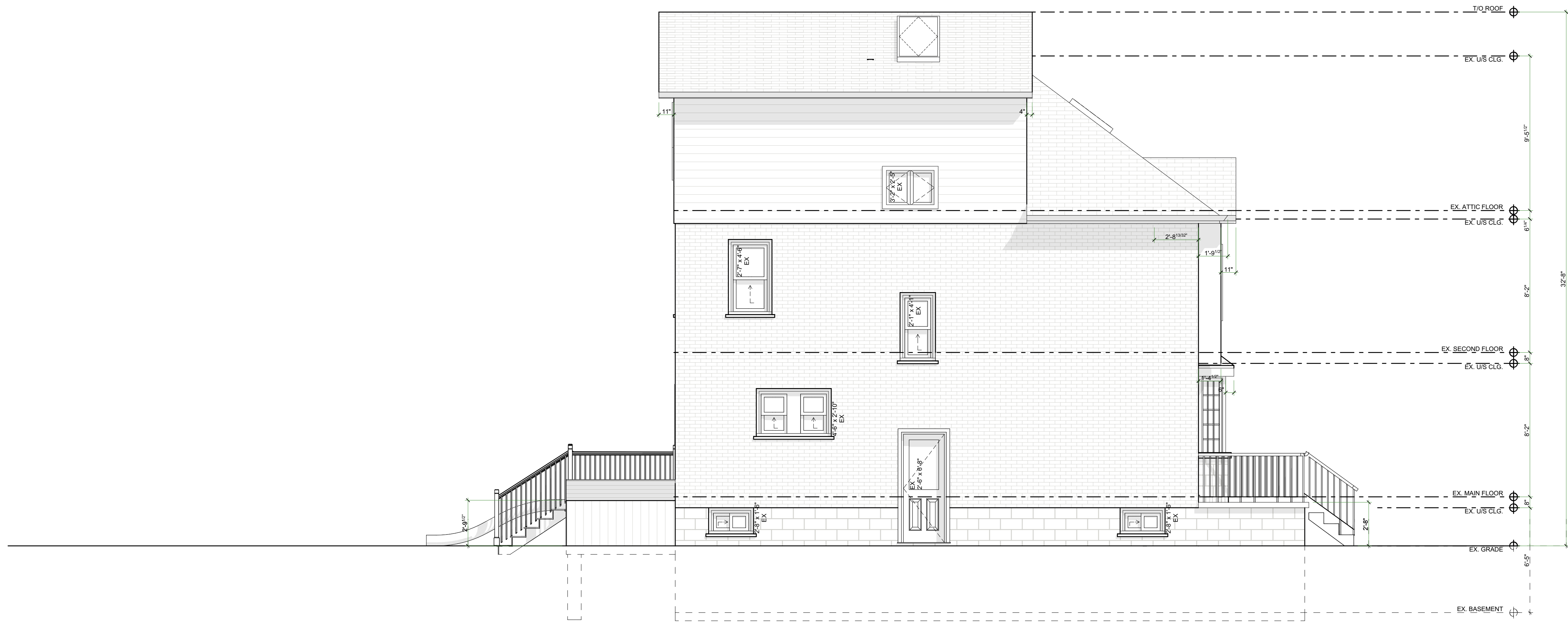
SCALE:

AS NOTED

PROJECT NO:

DRAWING NO:

A2.02



CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

**NOT FOR
CONSTRUCTION**

NO.	REVISION	DATE
1	DESIGN 1.0	2021.01.28
2	DESIGN 2.0	2021.02.17
3	ISSUED FOR MINOR VARIANCE	2021.04.14
4		
5		

DRAWING:

EXISTING LEFT ELEVATION

PROJECT NAME:

HARVEY

PROJECT ADDRESS:

184 CLINE AVE N. HAMILTON ON L8S 3Z9

DATE: 2021-04-16

SCALE:

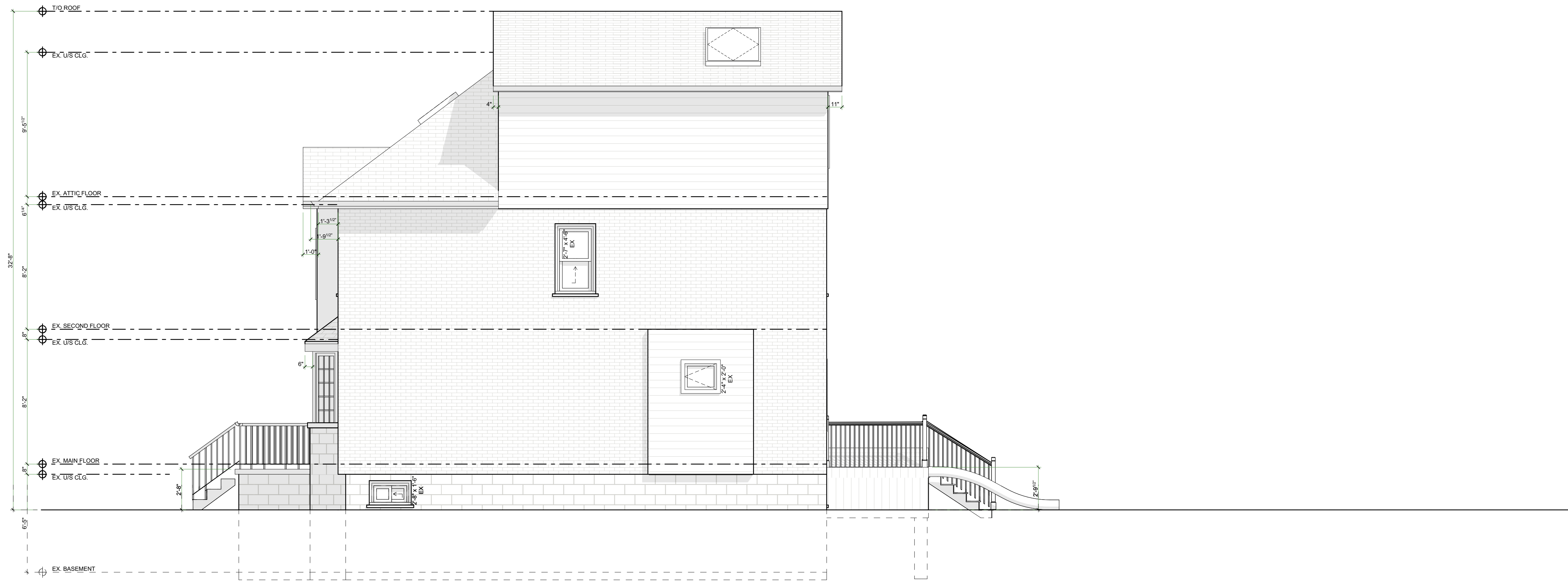
AS NOTED

PROJECT NO:

DRAWING NO:

A2.03

Printed: 2021-04-16 @ 11:11 AM



1 EXISTING RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

**NOT FOR
CONSTRUCTION**

NO.	REVISION	DATE
1	DESIGN 1.0	2021.01.28
2	DESIGN 2.0	2021.02.17
3	ISSUED FOR MINOR VARIANCE	2021.04.14
4		
5		

DRAWING:

**EXISTING RIGHT
ELEVATION**

PROJECT NAME:

HARVEY

PROJECT ADDRESS:

184 CLINE AVE N. HAMILTON ON L8S 3Z9

DATE: 2021-04-16

SCALE:

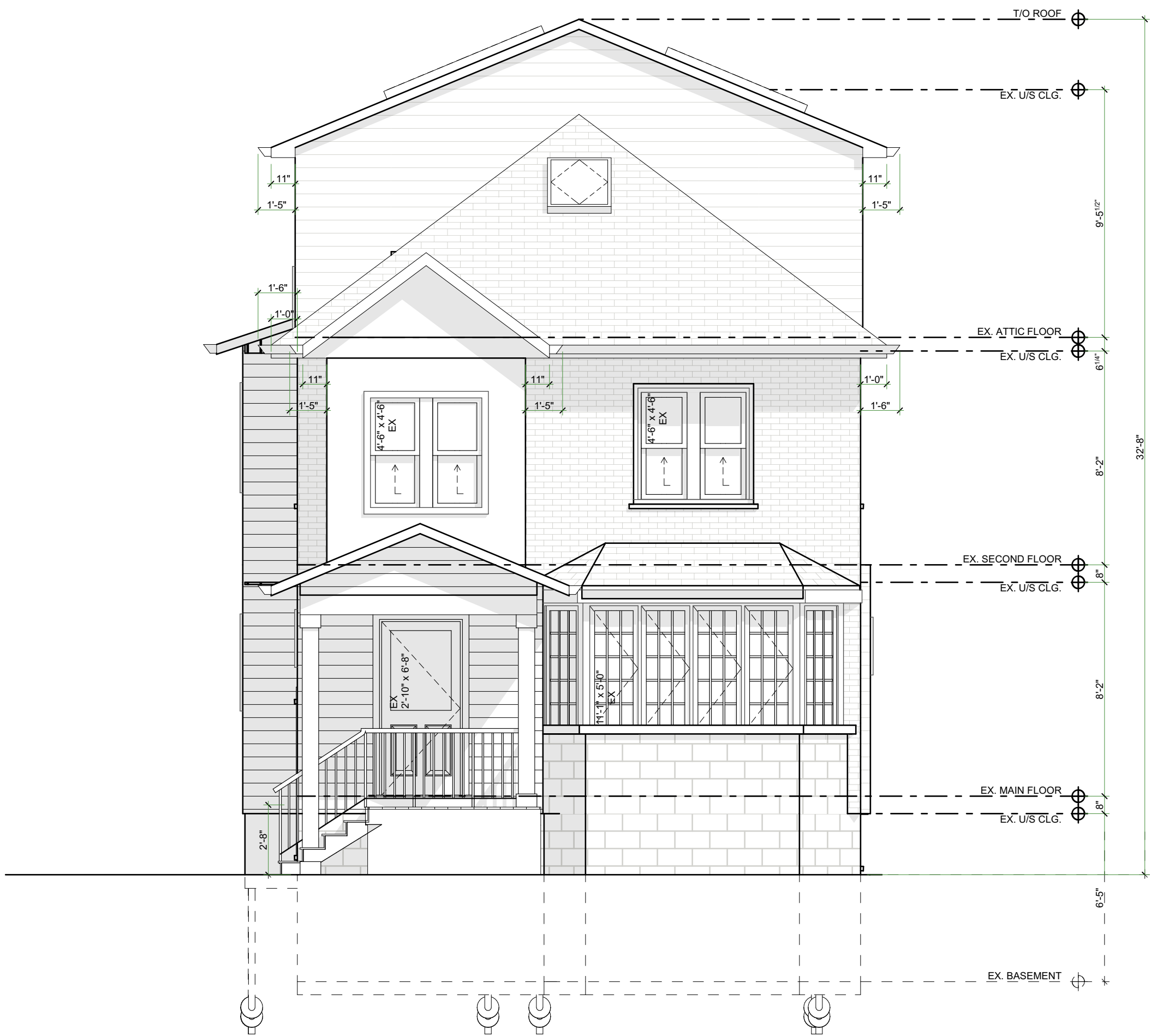
AS NOTED

PROJECT NO:

DRAWING NO:

A2.04

Printed: 2021-04-16 @ 11:17 AM



CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

**NOT FOR
CONSTRUCTION**

NO.	REVISION	DATE
1	DESIGN 1.0	2021.01.28
2	DESIGN 2.0	2021.02.17
3	ISSUED FOR MINOR VARIANCE	2021.04.14
4		
5		

DRAWING:

**PROPOSED FRONT
ELEVATION**

PROJECT NAME:

HARVEY

PROJECT ADDRESS:

184 CLINE AVE N. HAMILTON ON L8S 3Z9

DATE: 2021-04-16

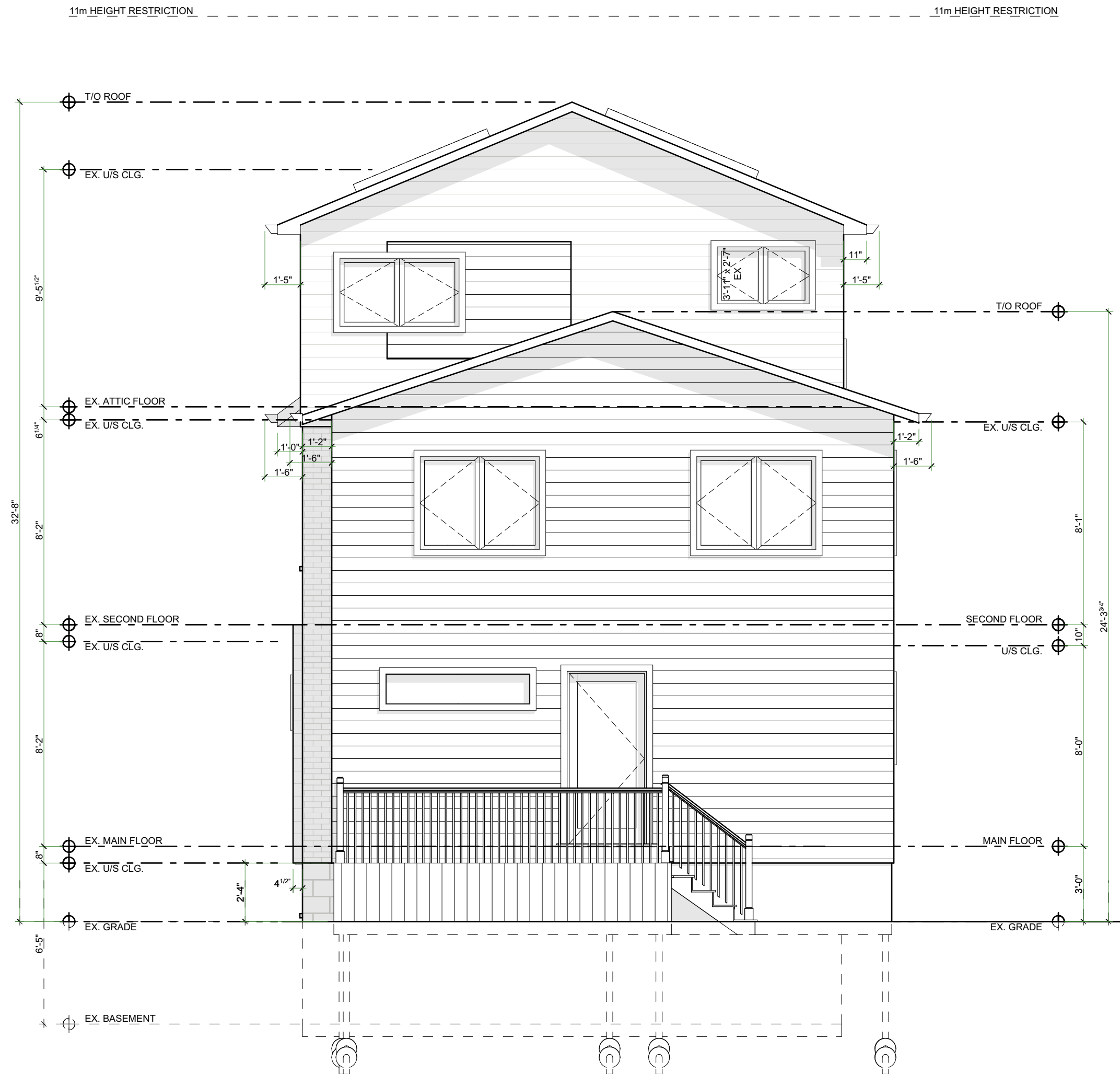
SCALE:

AS NOTED

PROJECT NO:

DRAWING NO:

A2.05



CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

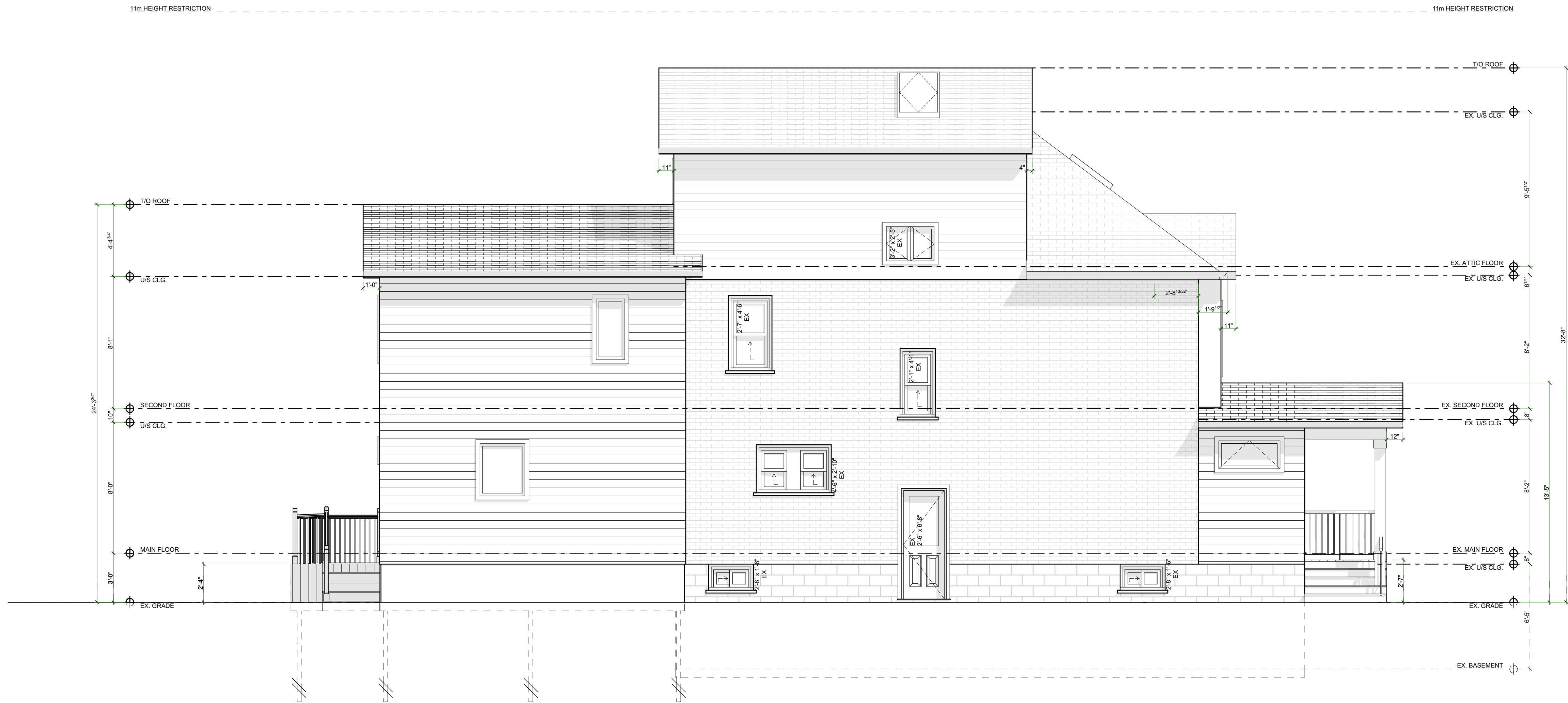
**NOT FOR
CONSTRUCTION**

NO.	REVISION	DATE
1	DESIGN 1.0	2021.01.28
2	DESIGN 2.0	2021.02.17
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4		
5		

DRAWING:
**PROPOSED REAR
ELEVATION**

PROJECT NAME:
HARVEY
PROJECT ADDRESS:
184 CLINE AVE N. HAMILTON ON L8S 3Z9

DATE: 2021-04-16	SCALE:	DRAWING NO:
	AS NOTED	A2.06
	PROJECT NO:	



1

PROPOSED LEFT ELEVATION

SCALE: 1/4" = 1'-0"

CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

**NOT FOR
CONSTRUCTION**

NO.	REVISION	DATE
1	DESIGN 1.0	2021.01.28
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4		
5		

DRAWING:

**PROPOSED LEFT
ELEVATION**

PROJECT NAME:

HARVEY

PROJECT ADDRESS:

184 CLINE AVE N. HAMILTON ON L8S 3Z9

DATE: 2021-04-16

SCALE:

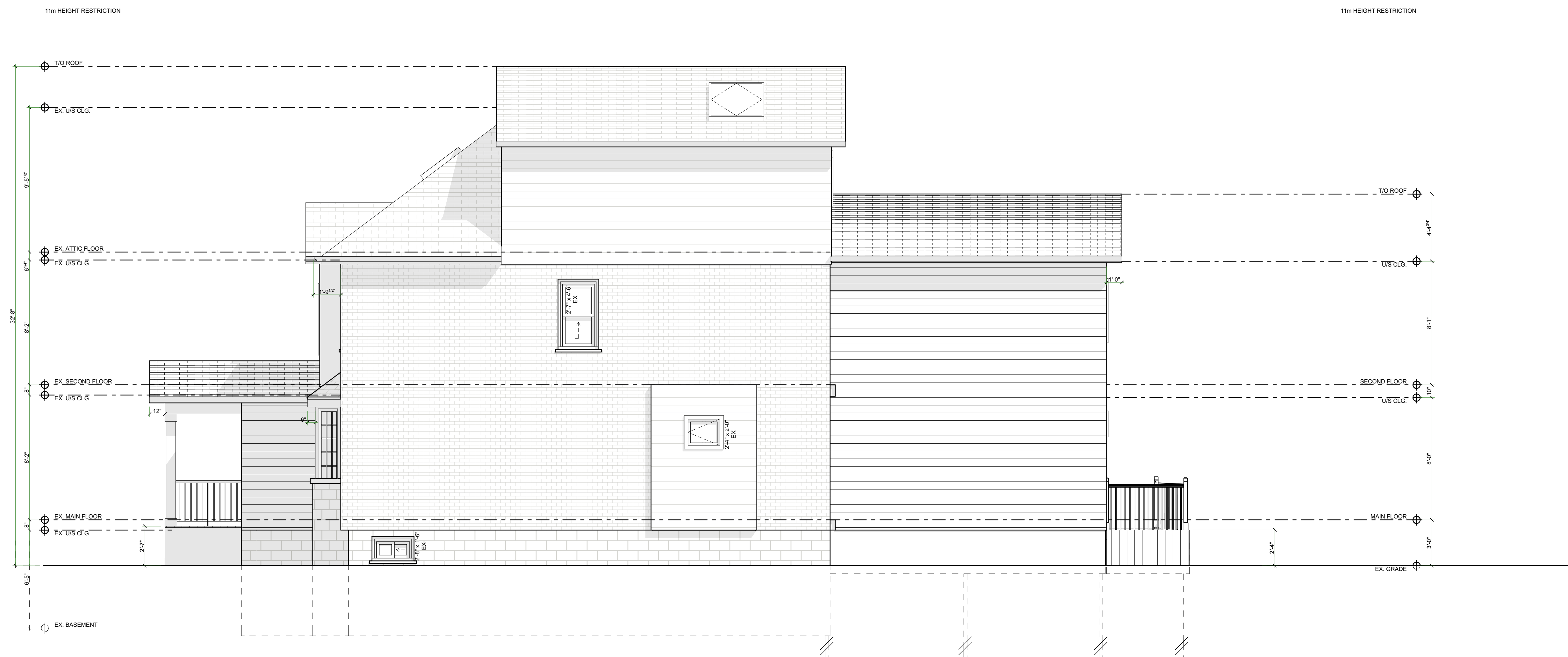
AS NOTED

PROJECT NO:

DRAWING NO:

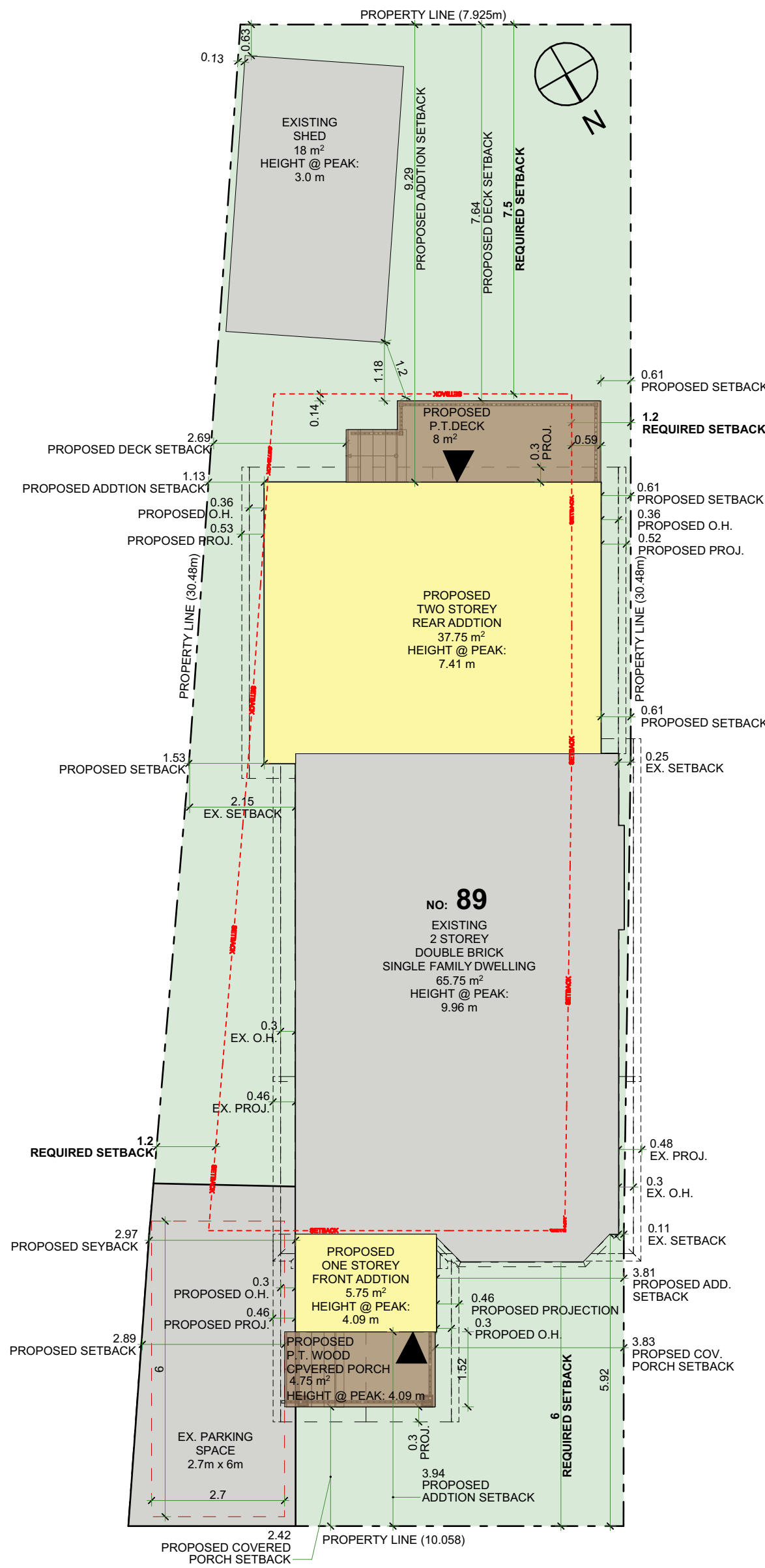
A2.07

Printed: 2021-04-16 @ 11:11 AM



SCALE: 1/4" = 1'-0"

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C L I N E A V E . N .

1 SITE PLAN
SCALE: 1:100

POSTAL CODE: L8S 3Z9

ZONING INFORMATION

PARENT BYLAW #: 6593 FORMER HAMILTON
ZONE: C/S-1361 C/S-1788
BYLAW EXCEPTION #: 19-307
MINOR VARIANCE #: A-80-43

	Required:	Existing:	Proposed:	Conforms
LOT AREA (m2):	360 min	283.28	AS EX.	●
LOT WIDTH (m):	12 min	10.06	AS EX.	○
LOT DEPTH (m):	N/A	30.48	AS EX.	●
LOT FRONTAGE:	12 min	10.06	AS EX.	●
LOT COVERAGE (%):	N/A	29.56 %	44.92 %	○
FLOOR AREA RATIO:	0.45:1	72.87:1	101.55:1	○
GROSS FLOOR AREA:	127.47	206.43	287.68	○
GROUND FLOOR AREA:	N/A	83.75	127.25	●
BUILDING HEIGHT (m):	11.0	9.96	7.41	●
PARKING SPACES:	3	1	1	○
Habitable Rooms:	8	9	10	○
SETBACKS (m)	Required:	Existing:	Proposed:	Conforms
FRONT:	6.00	5.92	3.94	●
REAR:	7.50	14.80	9.29	●
LEFT SIDE:	1.20	2.15	1.13	○
RIGHT SIDE:	1.20	0.11	0.61	○

ENCROACHMENTS (m)	Required:	Existing:	Proposed:	Conforms
ROOF PROJECTION:	0.6	0.46	0.6	●
COVERED PORCH:	1.5	N/A	1.52	○
UNCOVERED PORCH:	1.5	N/A	N/A	○
DECK:	1.5	N/A	0.59	●

ACCESSORY BUILDINGS:	Required:	Existing:	Proposed:	Conforms
SIZE:	N/A	18 m2	AS EX.	●
HEIGHT:	N/A	3.0 m	AS EX.	●

OTHER RETRICTIONS:	Req.	Not Req.
CONSERVATION AUTHORITY	○	●
NIAGARA ESCARPMENT CONTROL	○	●
MTD	○	●
SEPTIC	○	●
SITE PLAN CONTROL	○	●
TREE PROTECTION	○	●

REFERENCES
1 Proposed lot coverage calculations = Proposed Footprint area / Lot Area
2 Floor Area Ratio Calculation: Total GFA / Lot Area
3 Parking space sizing as follows:
Hamilton: 2.7m x 6.0m
Burlington: 2.7m x 6.0m
4 Area of all floors excluding the following:
1. 100sf for laundry if possible
2. 70sf for mechanical if possible
3. Attic spaces
4. Any area that is uninhabitable

Calculations		
Lot Coverage:		
Lot area / ground floor area =	38.57 %	
Floor Area Ratio:	Existing:	Proposed:
Basement	44.13	44.13
Main	57.60	101.10
Second	56.76	94.50
Third / Attic	47.94	47.94
Gross Floor Area:	206.43	287.68
Total / Lot area:	101.55 %	

CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

NOT FOR
CONSTRUCTION

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4		
5		

DRAWING:

SITE PLAN

PROJECT NAME:

HARVEY

PROJECT ADDRESS:

184 CLINE AVE N. HAMILTON ON L8S 3Z9

DATE: 2021-04-16

SCALE:

AS NOTED

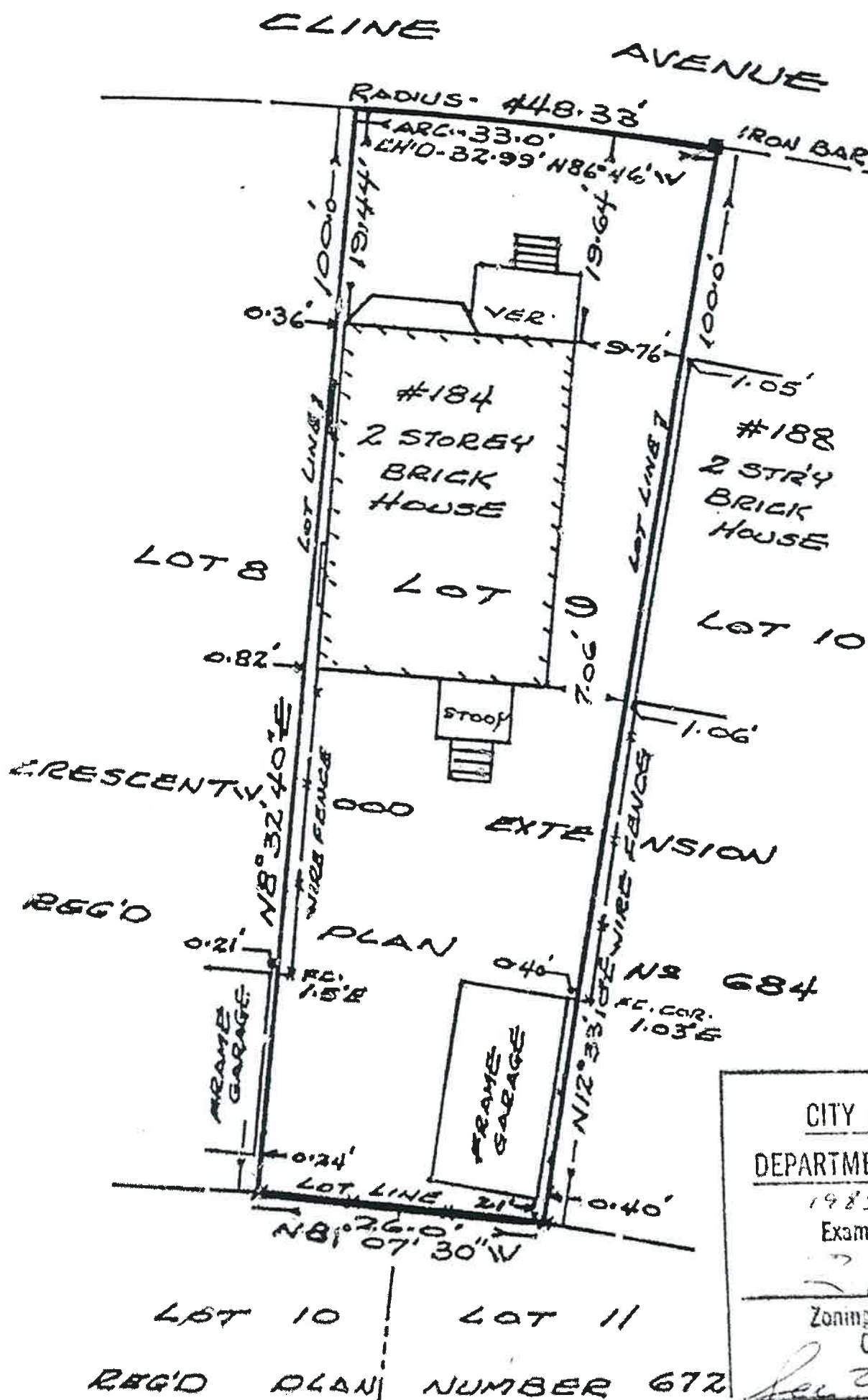
PROJECT NO:

DRAWING NO:

SP0.01

BUILDING LOCATION SURVEY OF
 LOT 9, CRESCENTWOOD EXTENSION
 REGISTERED PLAN NO 684
 CITY OF HAMILTON
 REGIONAL MUNICIPALITY OF HAMILTON-WENTWORTH
 H.M. SMITH O.L.S.
 SCALE 1 INCH = 15 FEET
 1985

Harvey M. Smith
 HARVEY M. SMITH
 ONTARIO LAND SURVEYOR
 JANUARY 24TH, 1985



CITY OF HAMILTON
 DEPARTMENT OF BUILDINGS

1985 Nov. 25

Examined by: , Date:

Zoning Only for Building
 Commissioner.

See 20.24, 6.54

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	
Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

1-To permit 2.42m front (north) yard setback for the proposed covered wood porch instead of 3.0 m with 0.30 roof projection.
2-To permit 3.94m front (north) yard setback instead of the required 6.0m for the proposed new front addition.
3-To permit 0.60 right (west) side yard setback instead of 1.2m with roof projection of 0.55m for the proposed rear addition.
4-To permit 1.10m left (east) side yard setback instead of 1.2m with roof projection of 0.5m for the proposed rear addition.
5-To permit 1 Parking space instead of the required 3 parking spaces.
6-To permit GFA of %101.55 instead of the required %45.
5. Why it is not possible to comply with the provisions of the By-law?
6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):
7. PREVIOUS USE OF PROPERTY

Residential _____ Industrial _____ Commercial _____
Agricultural _____ Vacant _____
Other _____
- 8.1 If Industrial or Commercial, specify use _____
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes _____ No _____ Unknown _____
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes _____ No _____ Unknown _____
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes _____ No _____ Unknown _____
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes _____ No _____ Unknown _____
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes _____ No _____ Unknown _____
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes _____ No _____ Unknown _____
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes _____ No _____ Unknown _____
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes _____ No _____ Unknown _____

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?
Yes _____ No _____ Unknown _____

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes _____ No _____ **(N/A)**

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Date

Signature Property Owner

Print Name of Owner

10. Dimensions of lands affected:

Frontage

Depth

Area

Width of street

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)
Existing: _

Proposed

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

FRONT (NORTH) SIDE:5.92 m

RIGHT SIDE (WEST) SIDE:0.11 m

LEFT SIDE (EAST) SIDE:2.15 m

REAR (SOUTH) SIDE:14.80 m

Proposed:

FRONT (NORTH) SIDE:3.94 m

RIGHT SIDE (WEST) SIDE:0.61 m

LEFT SIDE (EAST) SIDE:1.13 m

REAR (SOUTH) SIDE:9.29 m

13. Date of acquisition of subject lands:

14. Date of construction of all buildings and structures on subject lands:

15. Existing uses of the subject property:

16. Existing uses of abutting properties:

17. Length of time the existing uses of the subject property have continued:

18. Municipal services available: (check the appropriate space or spaces)
Water _____ Connected _____
Sanitary Sewer _____ Connected _____
Storm Sewers _____

19. Present Official Plan/Secondary Plan provisions applying to the land:

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

21. Has the owner previously applied for relief in respect of the subject property?
Yes No
If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes No

23. Additional Information

24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.