



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5  
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202  
E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

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**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
- 

**APPLICATION NO.:** HM/A-21:174

**APPLICANTS:** Owner Steven Suggitt  
Agent Shane Renovations

**SUBJECT PROPERTY:** Municipal address **20 Wood St. W., Hamilton**

**ZONING BY-LAW:** Zoning By-law 6593, as Amended

**ZONING:** D district (Urban Protected Residential One and Two Family Dwellings)

**PROPOSAL:** To permit the construction of a proposed 1 storey westerly side addition and a 3rd storey addition to the existing single-family dwelling notwithstanding that;

1. A minimum front yard depth of 3.0 m shall be provided instead of the minimum required 6.0 m front yard depth; and
2. A minimum side yard width of 0.6 m shall be provided on the easterly side lot line instead of the minimum required 2.7 m side yard width; and
3. A minimum side yard width of 0.5 m shall be provided on the westerly side lot line instead of the minimum required 2.7 m side yard width; and
4. No parking spaces shall be provided on site instead of the minimum required 3 parking spaces; and
5. The balcony shall be permitted to project a maximum of 1.2 m into the required front yard whereas the By-Law states that a balcony may project into a required front yard not more than 1.0 m, provided that no such projection shall be closer to a street line than 1.5 m; and
6. Eaves and gutters shall be permitted to encroach the entire width of the easterly and westerly side lot lines instead of the maximum permitted encroachment of one half of the required side yard or 1.0 m whichever is the lesser; and

Notes:

Please note that variance # 4 for parking has been written based on 10 habitable rooms.

This application will be heard by the Committee as shown below:

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**DATE:** Thursday, June 17th, 2021  
**TIME:** 2:25 p.m.  
**PLACE:** Via video link or call in (see attached sheet for details)  
To be streamed at  
[www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)  
for viewing purposes only

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## **PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

## **MORE INFORMATION**

For more information on this matter, including access to drawings illustrating this request:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

DATED: June 1st, 2021.

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

***Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.***

**SURVEYOR'S REAL PROPERTY REPORT  
PART 2 - REPORT SUMMARY**

**DESCRIPTION OF LAND**  
BEING PART OF LOT 9, BLOCK 10, REGISTERED PLAN 127, KNOWN AS MUNICIPAL No. 20 WOOD STREET WEST, CITY OF HAMILTON

**REGISTERED EASEMENTS AND/OR RIGHTS OF WAY**  
NO EASEMENTS LISTED ON THE PARCEL REGISTER FOUND IN THE LAND REGISTRY OFFICE.

**BOUNDARY FEATURES**  
NOTE LOCATION OF THE FENCES AS THEY RELATE TO THE BOUNDARIES OF THE SUBJECT PROPERTY.  
A PORTION OF THE FRAME DECK IS SLIGHTLY BEYOND THE WESTERLY BOUNDARY OF THE SUBJECT PROPERTY.

**COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS**  
NOT CERTIFIED BY THIS REPORT

SURVEYOR'S REAL PROPERTY REPORT - PART 1  
PLAN OF  
**PART OF LOT 9  
BLOCK 10  
REGISTERED PLAN 127  
CITY OF HAMILTON**

SCALE 1:200  
0 5 10 15 METRES  
B.A. JACOBS SURVEYING LTD.  
ONTARIO LAND SURVEYOR

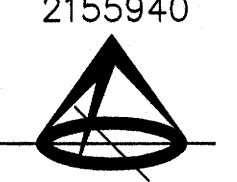
**METRIC NOTE:**  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**BEARING NOTE:**  
BEARINGS HEREON ARE GRID BEARINGS AND ARE DERIVED FROM THE SOUTHERLY LIMIT OF BURLINGTON STREET AS SHOWN ON PLAN 62R-20341, BEING N 76°36'50" E, UTM ZONE 17, NAD83

**LEGEND:**

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT PLANTED
- SIB DENOTES STANDARD IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- IB DENOTES IRON BAR
- PB DENOTES PLASTIC BAR
- IB# DENOTES ROUND IRON BAR
- CC DENOTES CUT CROSS
- WIT. DENOTES WITNESS
- (OU) DENOTES ORIGIN UNKNOWN
- P1 DENOTES PLAN 62R-9404
- P2 DENOTES PLAN 62R-11162
- P3 DENOTES PLAN 62R-4696
- P4 DENOTES PLAN 62R-18734
- P5 DENOTES PLAN 62R-20341
- P6 DENOTES PLAN BY THIS OFFICE (FILE 87-265)
- P7 DENOTES PLAN 62R-2160
- P8 DENOTES REGISTERED PLAN 127
- D1 DENOTES INSTRUMENT No. VM216428
- D2 DENOTES INSTRUMENT No. VM195991
- D3 DENOTES INSTRUMENT No. AB380792
- (655) DENOTES J.T. PETERS O.L.S.
- (824) DENOTES A.T. McLAREN O.L.S.
- (1243) DENOTES ED. BARCH O.L.S.
- (1497) DENOTES J.P. NOUWENS O.L.S.
- (1511) DENOTES G.V. CONSOLI O.L.S.
- (HAM) DENOTES CITY OF HAMILTON
- A.C. DENOTES AIR CONDITIONER
- C.R.W. DENOTES CONCRETE RETAINING WALL
- G.W. DENOTES GUY WIRE
- U.P. DENOTES UTILITY POLE

ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
2155940




THIS PLAN IS NOT VALID  
UNLESS IT IS AN EMBOSSED  
ORIGINAL COPY  
ISSUED BY THE SURVEYOR  
in accordance with  
Regulation 1026, Section 29(3).

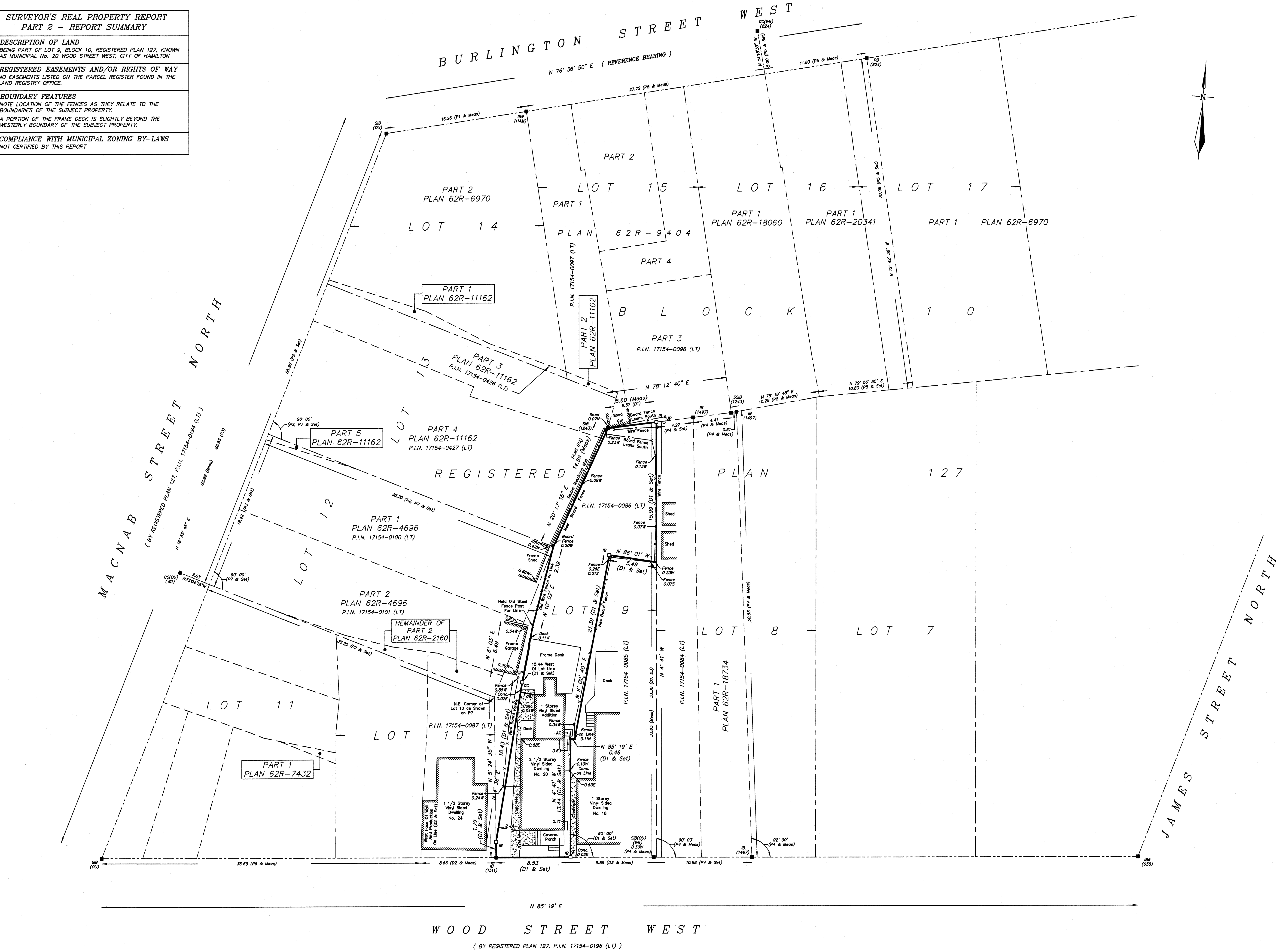
THIS REPORT WAS PREPARED FOR STEVEN SUGGITT

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.  
2. THE SURVEY WAS COMPLETED ON APRIL 5, 2021

APRIL 5, 2021  
DATE  
BRYAN JACOBS  
ONTARIO LAND SURVEYOR

 B.A. JACOBS SURVEYING LTD.  
152 JACKSON STREET EAST, SUITE 102  
HAMILTON, ONTARIO (L8N 1L3)  
PHONE 905-521-1535 bjacobs@rogers.com



WOOD STREET WEST  
(BY REGISTERED PLAN 127, P.I.N. 17154-0196 (LT))



**RENOVATION TO:  
BURNEY-SUGGITT**  
20 WOOD ST W HAMILTON ON L8L 1E9



**2 3D PERSPECTIVE**  
SCALE: 3/16" = 1'-0"

CONTRACTOR



790 SHAVER RD. ANCASTER  
L9G 3K9 ON

**NOT FOR  
CONSTRUCTION**

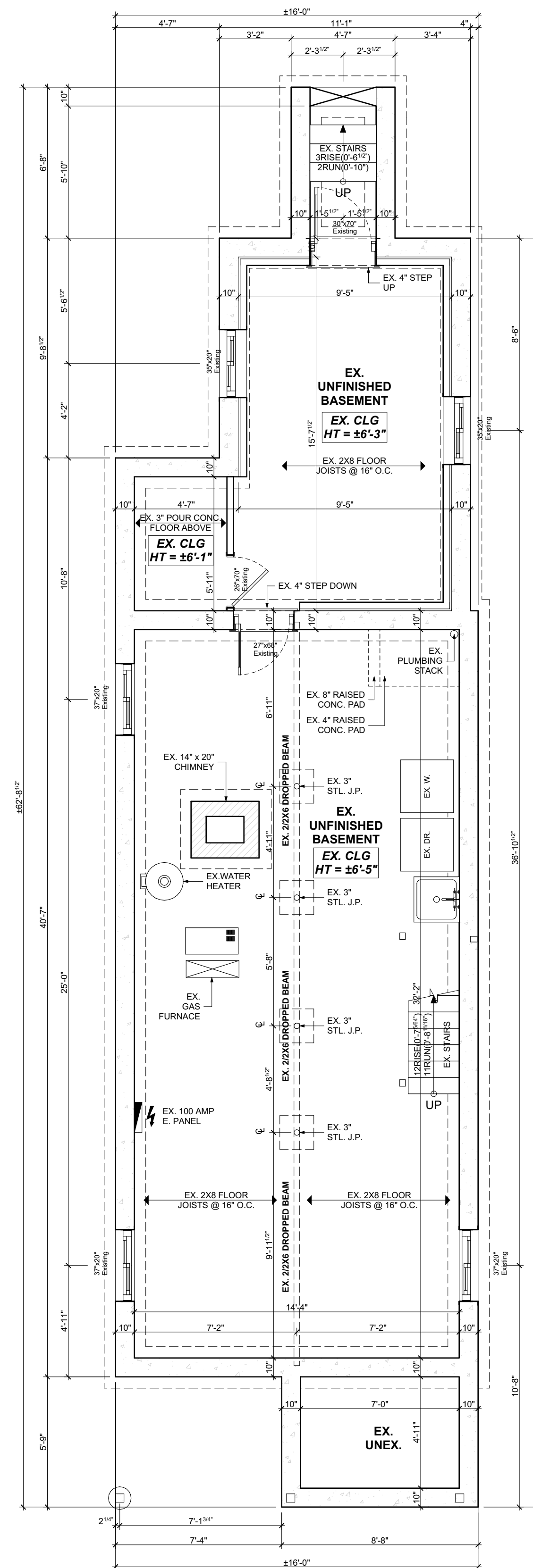
NO.	REVISION	DATE
1	ISSUED FOR DESIGN 1 REVIEW	2021.03.29
2	ISSUED FOR DESIGN 2 REVIEW	2021.04.08
3		
4		
5		

DRAWING:  
**TITLE SHEET / GENERAL  
INFO**

PROJECT NAME:  
**BURNEY-SUGGITT**

PROJECT ADDRESS:  
20 WOOD ST W HAMILTON ON L8L 1E9

DATE: 2021-04-16	DRAWING NO:
SCALE: AS NOTED	<b>A0.01</b>
PROJECT NO: ---	



**1 EXISTING BASEMENT PLAN**

SCALE: 1/4" = 1'-0"

CONTRACTOR



790 SHAVER RD. ANCASTER  
L9G 3K9 ON

**NOT FOR CONSTRUCTION**

NO.	REVISION	DATE
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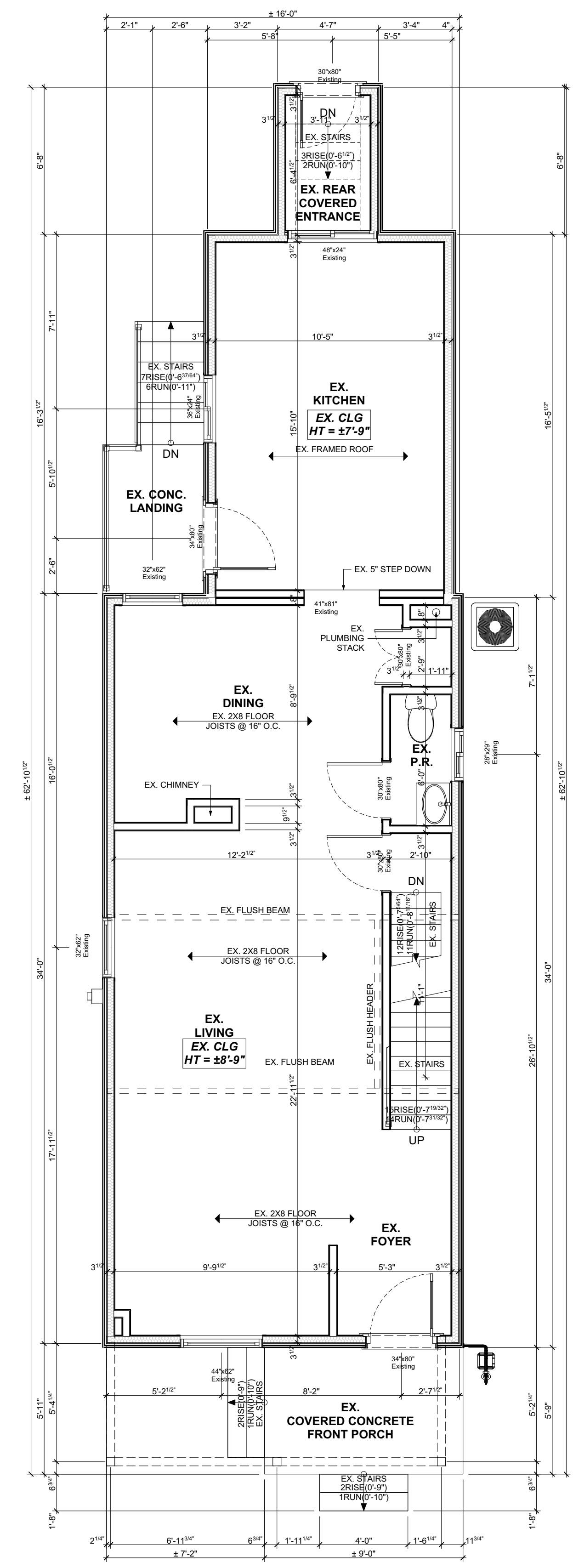
DRAWING:  
**EXISTING BASEMENT PLAN**

PROJECT NAME:  
**BURNEY-SUGGITT**  
PROJECT ADDRESS:  
20 WOOD ST W HAMILTON ON L8L 1E9

DATE: 2021-04-16	SCALE: AS NOTED	DRAWING NO: <b>A1.01</b>
PROJECT NO: ---		

**1 EXISTING MAIN FLOOR PLAN**

SCALE: 1/4" = 1'-0"



CONTRACTOR



790 SHAVER RD. ANCASTER  
L9G 3K9 ON

**NOT FOR CONSTRUCTION**

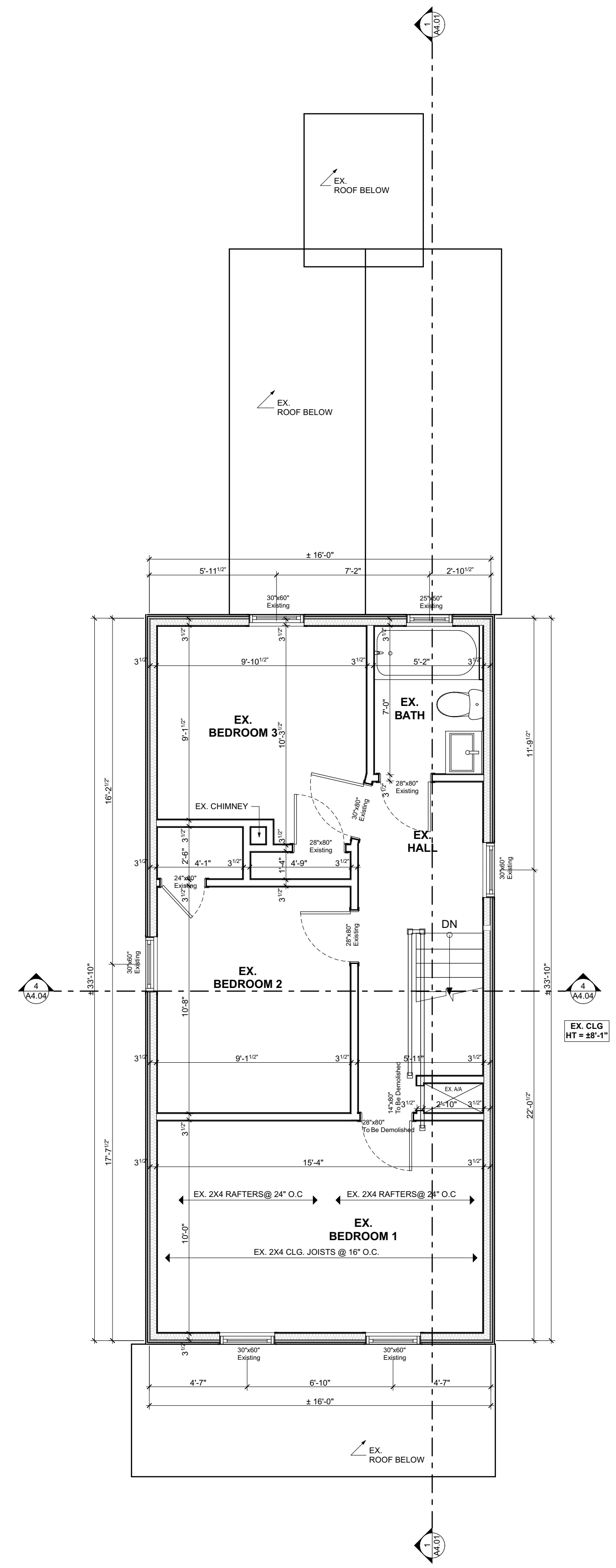
NO.	REVISION	DATE
1	ISSUED FOR DESIGN 1 REVIEW	2021.03.29
2	ISSUED FOR DESIGN 2 REVIEW	2021.04.08
3		
4		
5		

DRAWING:  
**EXISTING MAIN FLOOR PLAN**

PROJECT NAME:  
**BURNEY-SUGGITT**  
PROJECT ADDRESS:  
20 WOOD ST W HAMILTON ON L8L 1E9

DATE: 2021-04-16	SCALE: AS NOTED	DRAWING NO: <b>A1.02</b>
	PROJECT NO: ---	





**1** EXISTING SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

CONTRACTOR



790 SHAVER RD. ANCASTER  
L9G 3K9 ON

**NOT FOR CONSTRUCTION**

NO.	REVISION	DATE
1	ISSUED FOR DESIGN 1 REVIEW	2021.03.29
2	ISSUED FOR DESIGN 2 REVIEW	2021.04.08
3		
4		
5		

DRAWING:  
**EXISTING SECOND FLOOR PLAN**

PROJECT NAME:  
**BURNEY-SUGGITT**

PROJECT ADDRESS:  
20 WOOD ST W HAMILTON ON L8L 1E9

DATE: 2021-04-16	DRAWING NO: <b>A1.03</b>
SCALE: AS NOTED	PROJECT NO: ---

**ALL CONSTRUCTION TO COMPLY WITH ONTARIO BUILDING CODE**

**GENERAL NOTES:**

DESIGN AND LAYOUT OF ALL PRE ENGINEERED STRUCTURAL MEMBERS FROM ROOF TRUSS SUPPLIER TO BE SUPPLIED BY MANUFACTURER PRIOR TO CONSTRUCTION

SOLID BLOCKING TO BEARING BELOW TO BE PROVIDED AT ALL GIRDER TRUSS AND BEAM LOCATIONS (MIN. WIDTH EQUAL TO WIDTH OF BEARING POINT OVER) VERIFY WITH TRUSS DRAWINGS

TRUSS MEMBERS SHALL NEVER BE NOTCHED, DRILLED OR CUT UNLESS NOTCHING OR DRILLING HAS BEEN ACCOUNTED FOR IN THE DESIGN OF THE TRUSS

WHEN RENOVATING, INSULATION TO BE EQUAL TO OR GREATER THAN EXISTING

BEAM BEARING = MIN. 3'-1 1/2"  
 LINTEL BEARING = MIN. 1'-1 1/2"  
 RAFTER BEARING = MIN. 1'-1 1/2"  
 JOISTS BEARING = MIN. 1'-1 1/2"

CONTRACTOR TO CHECK AND VERIFY ALL SPECIFICATIONS AND DIMENSIONS PRIOR TO AND DURING CONSTRUCTION. ALL DISCREPANCIES TO BE REPORTED TO DESIGNER (519) 339-1493

PROVIDE TEMPORARY BRACING/SHORING FOR ALL EXISTING FLOOR JOISTS & WALLS DURING CONSTRUCTION & INSTALLATION OF NEW BEAMS & FLOOR JOISTS AS REQ. (TYP.)

**NOTE ABOUT MATCHING INSULATION IN OLDER HOMES**

THE ENERGY EFFICIENCY OF EXISTING BUILDINGS SHALL COMPLY WITH PART 11 OF DIVISION B OF THE BUILDING CODE FOR RENOVATION, SB-12, 1.1.1.1. ENERGY EFFICIENCY

CONSTRUCTION MAY BE CARRIED OUT TO MAINTAIN THE EXISTING PERFORMANCE LEVEL OF ALL OR PART OF AN EXISTING BUILDING, BY THE REUSE, RELOCATION OR EXTENSION OF THE SAME OR SIMILAR MATERIALS OR COMPONENTS, TO RETAIN THE EXISTING CHARACTER, STRUCTURAL UNIQUENESS, HERITAGE VALUE, OR AESTHETIC APPEARANCE OF ALL OR PART OF THE BUILDING. IF THE CONSTRUCTION WILL NOT ADVERSELY AFFECT THE EARLY WARNING AND EVACUATION SYSTEMS, FIRE SEPARATIONS OR THE STRUCTURAL ADEQUACY OR WILL NOT CREATE AN UNHEALTHY ENVIRONMENT IN THE BUILDING, 11.3.3.1. BASIC RENOVATION (SEE APPENDIX A)

WHERE THE FRAMING SYSTEMS ARE BEING ALTERED TO MATCH EXISTING FRAMING, LESSER AMOUNTS AND EXTENT OF INSULATION AND VAPOR BARRIERS IS ACCEPTABLE. PART 11 COMPLIANCE ALTERNATIVE, TABLE 11.5.1.1.C. (CONTD), C199 - 12.2.1.1. (5)

**SMOKE ALARMS**

9.10.19  
 (1) When dwelling units sufficient smoke alarms conforming to CANULS-531 shall be installed so that

(a) There is at least one smoke alarm on each storey, including basements, and

(b) On any storey of a dwelling unit containing sleeping rooms, a smoke alarm is installed.

(i) in each sleeping room, and  
 (ii) in a location between the sleeping rooms and remainder of the storey, and if the sleeping rooms are served by a hallway, the smoke alarm shall be located in the hallway

(2) Smoke alarms shall have a visual signalling component conforming to the requirements in 18.5.3. of NFPA 72. The visual signalling component need not be integrated with the smoke alarm provided it is interconnected to it.

Interconnect smoke alarms to be permanently connected and have a battery backup as per CBC 9.10.19.4

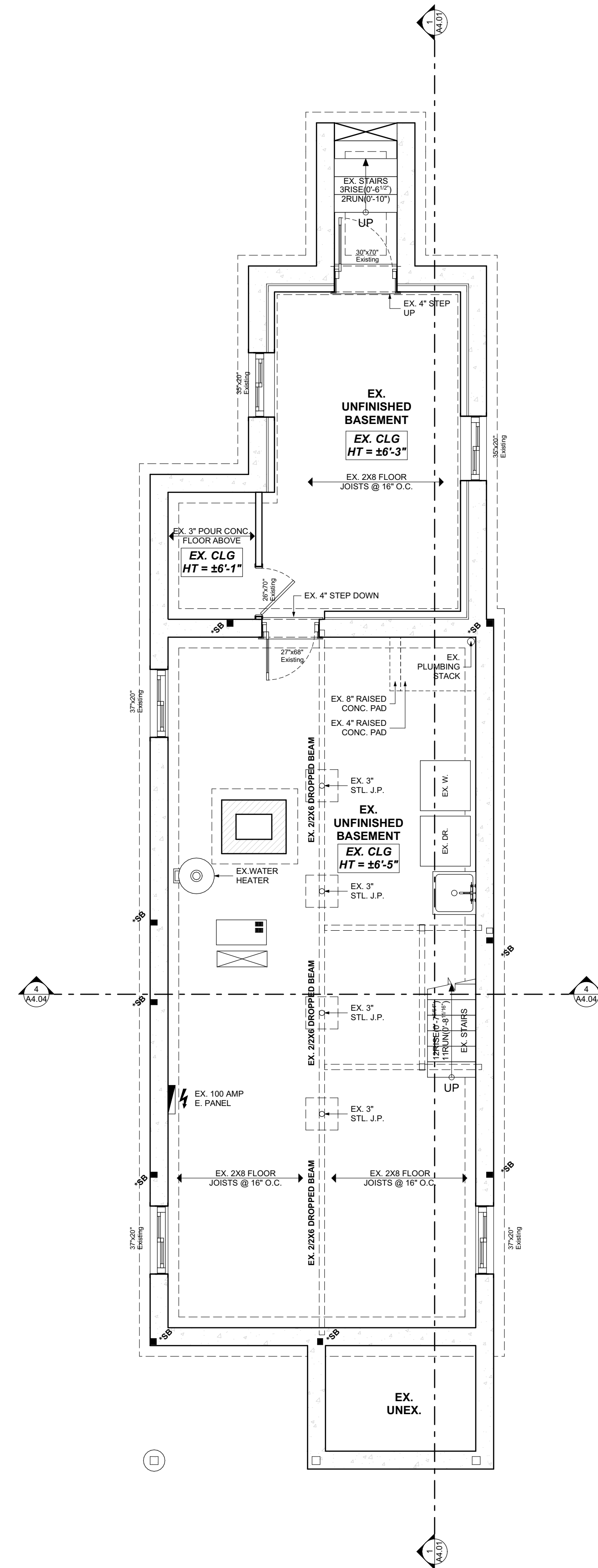
**TABLE 3.1.1.21. (IP)**

**Thermal Performance Requirements for Additions to Existing Buildings**

ZONE 1

CEILING WITH ATTIC SPACE	R60
CEILING WITHOUT ATTIC SPACE	R31
EXPOSED FLOOR	R31
WALLS ABOVE GRADE	R19 + R5 c.i.
BASEMENT WALLS	R20 c.i. or R12 + R10 c.i.
BELOW GRADE SLAB	R5
EDGE OF BELOW GRADE SLAB	R10
HEATED SLAB	R10
WINDOWS AND SLIDING GLASS DOORS	0.28U
ENERGY RATING	25

ELECTRICAL FACILITIES SHALL BE PROVIDED AS PER ONTARIO BUILDING CODE 2012 AS PER 9.34



**1 PROPOSED BASEMENT PLAN**  
 SCALE: 1/4" = 1'-0"

CONTRACTOR

790 SHAVER RD. ANCASTER  
 L9G 3K9 ON

**NOT FOR CONSTRUCTION**

NO.	REVISION	DATE
1	ISSUED FOR DESIGN 1 REVIEW	2021.03.29
2	ISSUED FOR DESIGN 2 REVIEW	2021.04.08
3		
4		
5		

DRAWING:  
**PROPOSED BASEMENT PLAN**

PROJECT NAME:  
**BURNEY-SUGGITT**  
 PROJECT ADDRESS:  
 20 WOOD ST W HAMILTON ON L8L 1E9

DATE: 2021-04-16	SCALE: AS NOTED	DRAWING NO: <b>A1.04</b>
PROJECT NO: ---		



**ALL CONSTRUCTION TO COMPLY WITH ONTARIO BUILDING CODE**

**GENERAL NOTES:**

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**NOTE ABOUT MATCHING INSULATION IN OLDER HOMES**

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WHERE THE FRAMING SYSTEMS ARE BEING ALTERED TO MATCH EXISTING FRAMING, LESSER AMOUNTS AND EXTENT OF INSULATION AND VAPOR BARRIERS IS ACCEPTABLE. PART 11 COMPLIANCE ALTERNATIVE, TABLE 11.5.1.1.C. (CONT'D), C199 - 12.2.1.1. (3)

**SMOKE ALARMS**

9.10.19  
 (1) Within dwelling units sufficient smoke alarms conforming to CANULS-531 shall be installed so that

(a) There is at least one smoke alarm on each storey, including basements, and

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(c) In each sleeping room, and  
 (d) If a location between the sleeping rooms and remainder of the storey, and if the sleeping rooms are served by a hallway, the smoke alarm shall be located in the hallway

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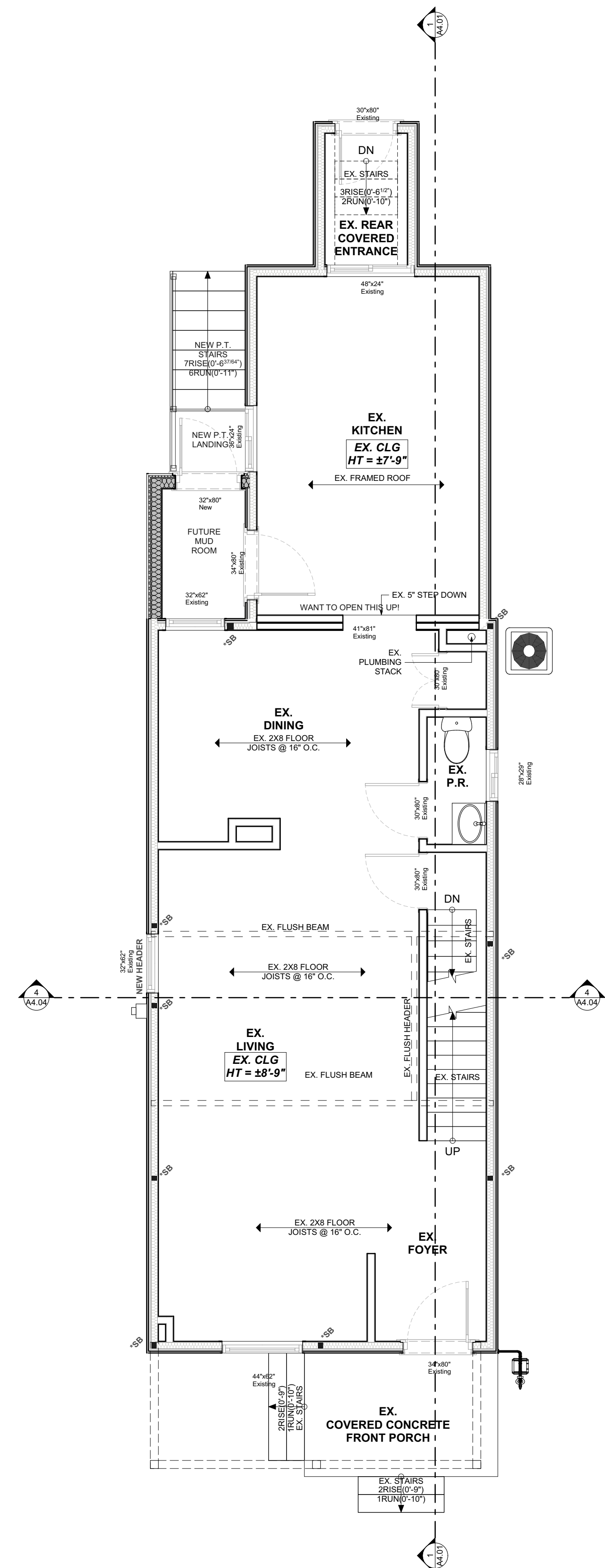
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**1 PROPOSED MAIN FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

CONTRACTOR

790 SHAVER RD. ANCASTER  
 L9G 3K9 ON

**NOT FOR CONSTRUCTION**

NO.	REVISION	DATE
1	ISSUED FOR DESIGN 1 REVIEW	2021.03.29
2	ISSUED FOR DESIGN 2 REVIEW	2021.04.08
3		
4		
5		

DRAWING:  
**PROPOSED MAIN FLOOR PLAN**

PROJECT NAME:  
**BURNEY-SUGGITT**  
 PROJECT ADDRESS:  
 20 WOOD ST W HAMILTON ON L8L 1E9

DATE: 2021-04-16	SCALE: AS NOTED	DRAWING NO: <b>A1.05</b>
PROJECT NO: ---		

**ALL CONSTRUCTION TO COMPLY WITH ONTARIO BUILDING CODE**

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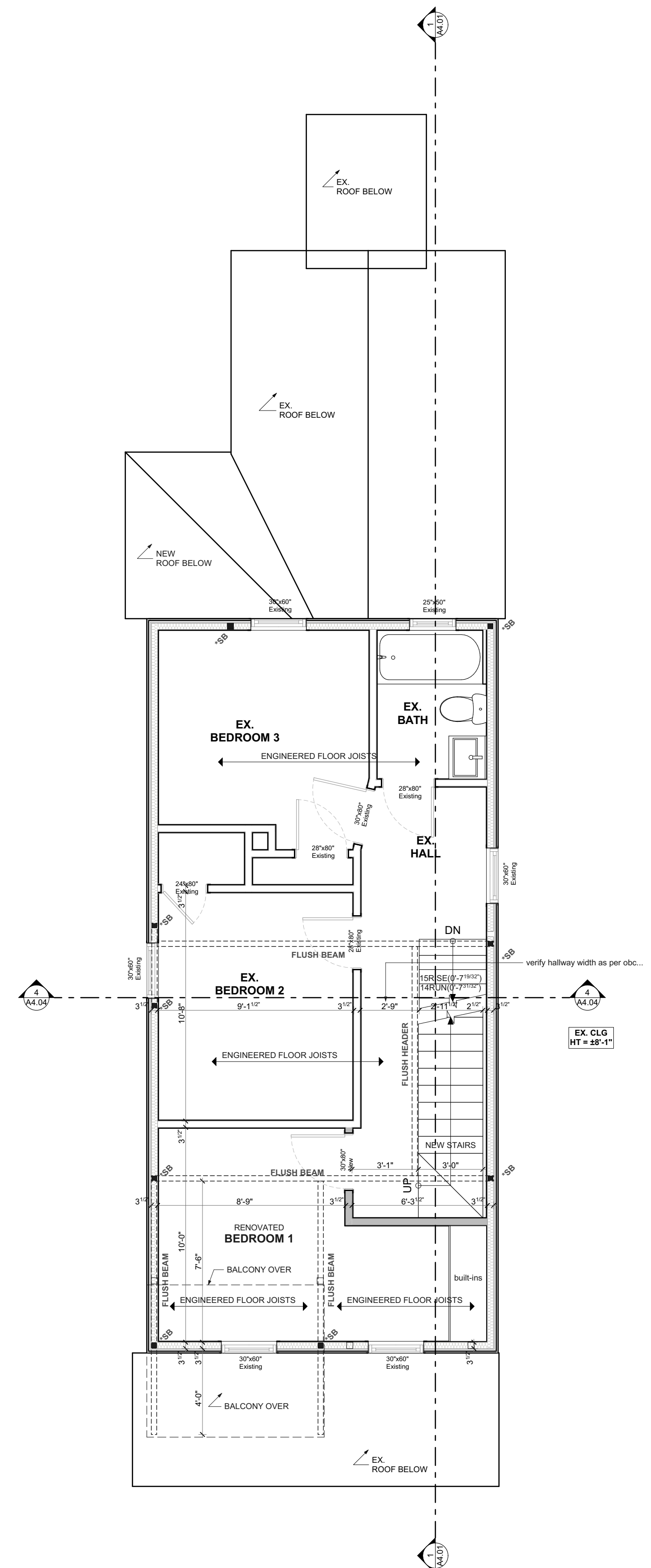
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**1 PROPOSED SECOND FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

CONTRACTOR

790 SHAVER RD. ANCASTER  
 L9G 3K9 ON

**NOT FOR CONSTRUCTION**

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DRAWING:  
**PROPOSED SECOND FLOOR PLAN**

PROJECT NAME:  
**BURNEY-SUGGITT**  
 PROJECT ADDRESS:  
 20 WOOD ST W HAMILTON ON L8L 1E9

DATE: 2021-04-16	SCALE: AS NOTED	DRAWING NO: <b>A1.06</b>
PROJECT NO: ---		

Printed: 2021-04-16 @ 9:02 AM

**ALL CONSTRUCTION TO COMPLY WITH ONTARIO BUILDING CODE**

**GENERAL NOTES:**

DESIGN AND LAYOUT OF ALL PRE-ENGINEERED STRUCTURAL MEMBERS FROM ROOF TRUSS SUPPLIER TO BE SUPPLIED BY MANUFACTURER PRIOR TO CONSTRUCTION

SOLID BLOCKING TO BEARING BELOW TO BE PROVIDED AT ALL GIRDER TRUSS AND BEAM LOCATIONS (MIN. WIDTH EQUAL TO WIDTH OF BEARING POINT OVER) VERIFY WITH TRUSS DRAWINGS

TRUSS MEMBERS SHALL NEVER BE NOTCHED, DRILLED OR CUT UNLESS NOTCHING OR DRILLING HAS BEEN ACCOUNTED FOR IN THE DESIGN OF THE TRUSS

WHEN RENOVATING, INSULATION TO BE EQUAL TO OR GREATER THAN EXISTING

BEAM BEARING = MIN. 3'-1 1/2"  
 LINTEL BEARING = MIN. 1'-1 1/2"  
 RAFTER BEARING = MIN. 1'-1 1/2"  
 JOISTS BEARING = MIN. 1'-1 1/2"

CONTRACTOR TO CHECK AND VERIFY ALL SPECIFICATIONS AND DIMENSIONS PRIOR TO AND DURING CONSTRUCTION. ALL DISCREPANCIES TO BE REPORTED TO DESIGNER (519) 339-1493

PROVIDE TEMPORARY BRACING/SHORING FOR ALL EXISTING FLOOR JOISTS & WALLS DURING CONSTRUCTION & INSTALLATION OF NEW BEAMS & FLOOR JOISTS AS REQ. (TYP.)

**NOTE ABOUT MATCHING INSULATION IN OLDER HOMES**

THE ENERGY EFFICIENCY OF EXISTING BUILDINGS SHALL COMPLY WITH PART 11 OF DIVISION B OF THE BUILDING CODE FOR RENOVATION, SB-12, 1.1.1.1. ENERGY EFFICIENCY

CONSTRUCTION MAY BE CARRIED OUT TO MAINTAIN THE EXISTING PERFORMANCE LEVEL OF ALL OR PART OF AN EXISTING BUILDING, BY THE REUSE, RELOCATION OR EXTENSION OF THE SAME OR SIMILAR MATERIALS OR COMPONENTS, TO RETAIN THE EXISTING CHARACTER, STRUCTURAL UNIQUENESS, HERITAGE VALUE, OR AESTHETIC APPEARANCE OF ALL OR PART OF THE BUILDING. IF THE CONSTRUCTION WILL NOT ADVERSELY AFFECT THE EARLY WARNING AND EVACUATION SYSTEMS, FIRE SEPARATIONS OR THE STRUCTURAL ADEQUACY OR WILL NOT CREATE AN UNHEALTHY ENVIRONMENT IN THE BUILDING, 11.3.3.1. BASIC RENOVATION (SEE APPENDIX A)

WHERE THE FRAMING SYSTEMS ARE BEING ALTERED TO MATCH EXISTING FRAMING, LESSER AMOUNTS AND EXTENT OF INSULATION AND VAPOR BARRIERS IS ACCEPTABLE. PART 11 COMPLIANCE ALTERNATIVE, TABLE 11.5.1.1.C. (CONT'D), C199 - 12.2.1.1. (3)

**SMOKE ALARMS**

9.10.19  
 (1) Within dwelling units sufficient smoke alarms conforming to CANULS-531 shall be installed so that

(a) There is at least one smoke alarm on each storey, including basements, and

(b) On any storey of a dwelling unit containing sleeping rooms, a smoke alarm is installed.

(i) in each sleeping room, and  
 (ii) in a location between the sleeping rooms and remainder of the storey, and if the sleeping rooms are served by a hallway, the smoke alarm shall be located in the hallway

(2) Smoke alarms shall have a visual signalling component conforming to the requirements in 18.5.3. of NFPA 72. The visual signalling component need not be integrated with the smoke alarm provided it is interconnected to it.

Interconnect smoke alarms to be permanently connected and have a battery backup as per CBC 9.10.19.4

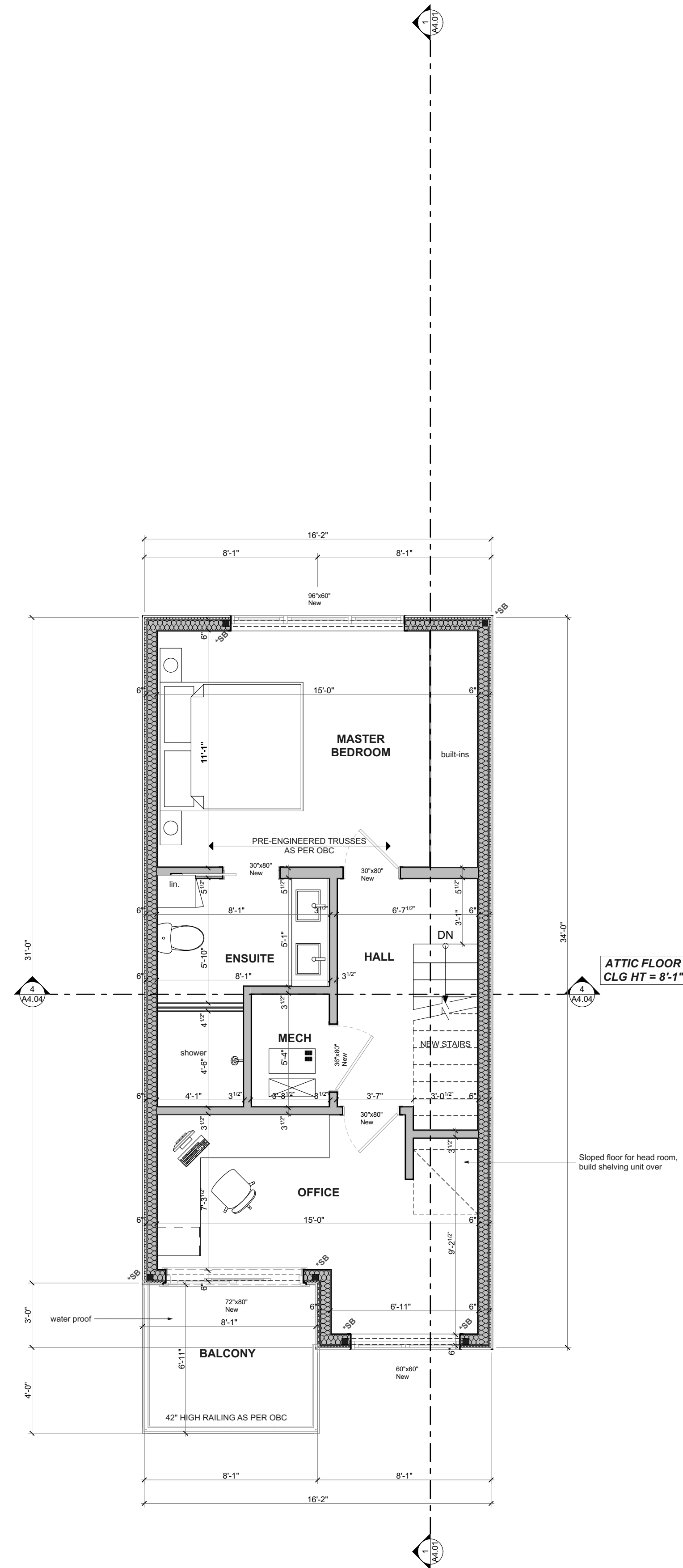
**TABLE 3.1.1.21. (IP)**

**Thermal Performance Requirements for Additions to Existing Buildings**

ZONE 1

CEILING WITH ATTIC SPACE	R60
CEILING WITHOUT ATTIC SPACE	R31
EXPOSED FLOOR	R31
WALLS ABOVE GRADE	R19 + R5 c.i.
BASEMENT WALLS	R20 c.i. or R12 + R10 c.i.
BELOW GRADE SLAB	R5
EDGE OF BELOW GRADE SLAB	R10
HEATED SLAB	R10
WINDOWS AND SLIDING GLASS DOORS	0.28U
ENERGY RATING	25

ELECTRICAL FACILITIES SHALL BE PROVIDED AS PER ONTARIO BUILDING CODE 2012 AS PER 9.34



**1 PROPOSED THIRD FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

CONTRACTOR



790 SHAVER RD. ANCASTER  
 L9G 3K9 ON

**NOT FOR CONSTRUCTION**

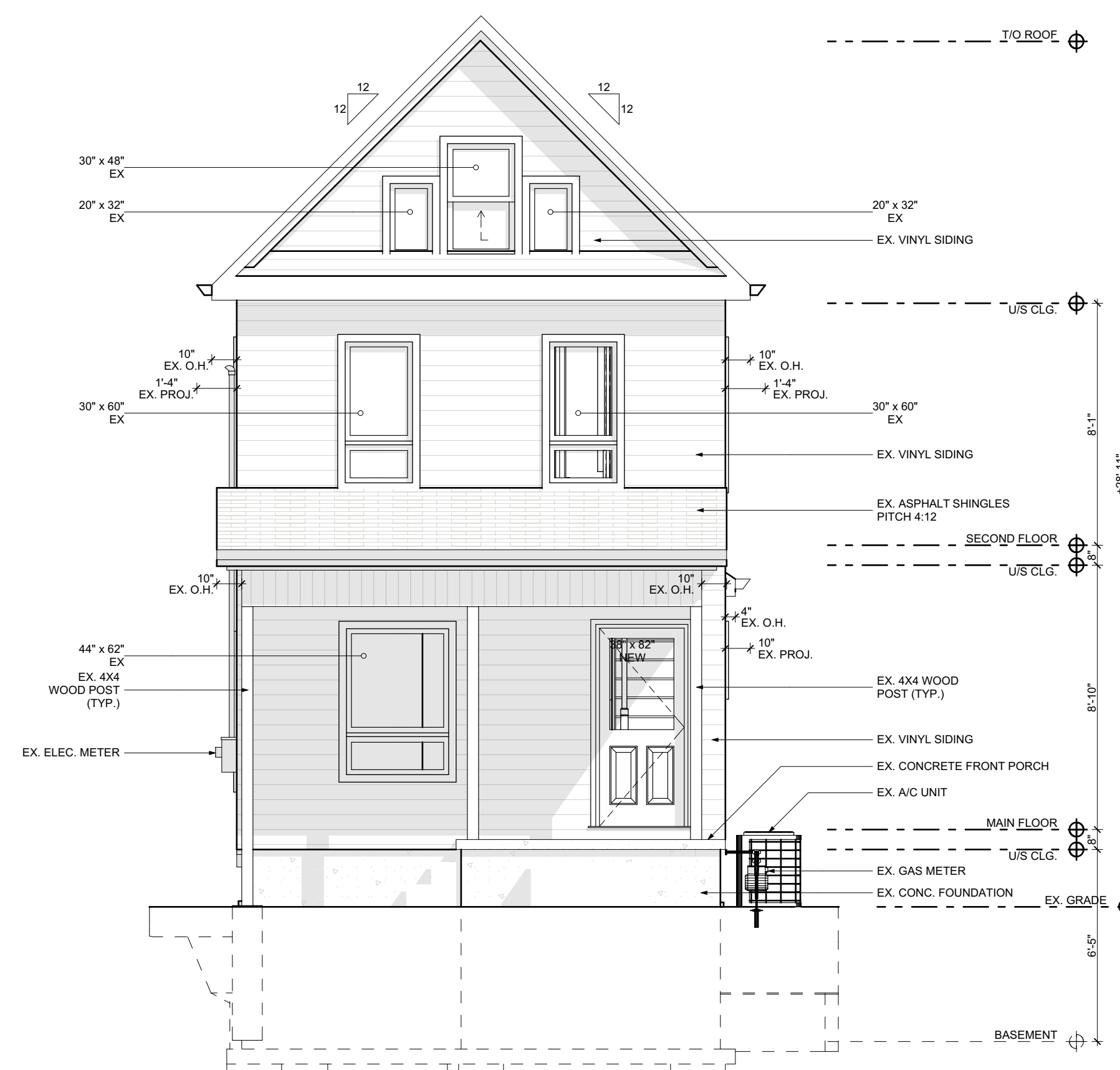
NO.	REVISION	DATE
1	ISSUED FOR DESIGN 1 REVIEW	2021.03.29
2	ISSUED FOR DESIGN 2 REVIEW	2021.04.08
3		
4		
5		

DRAWING:  
**PROPOSED THIRD FLOOR PLAN**

PROJECT NAME:  
**BURNEY-SUGGITT**  
 PROJECT ADDRESS:  
 20 WOOD ST W HAMILTON ON L8L 1E9

DATE: 2021-04-16	SCALE: AS NOTED	DRAWING NO: <b>A1.07</b>
PROJECT NO: ---		





**1** EXISTING FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

CONTRACTOR



790 SHAVER RD. ANCASTER  
L9G 3K9 ON

**NOT FOR  
CONSTRUCTION**

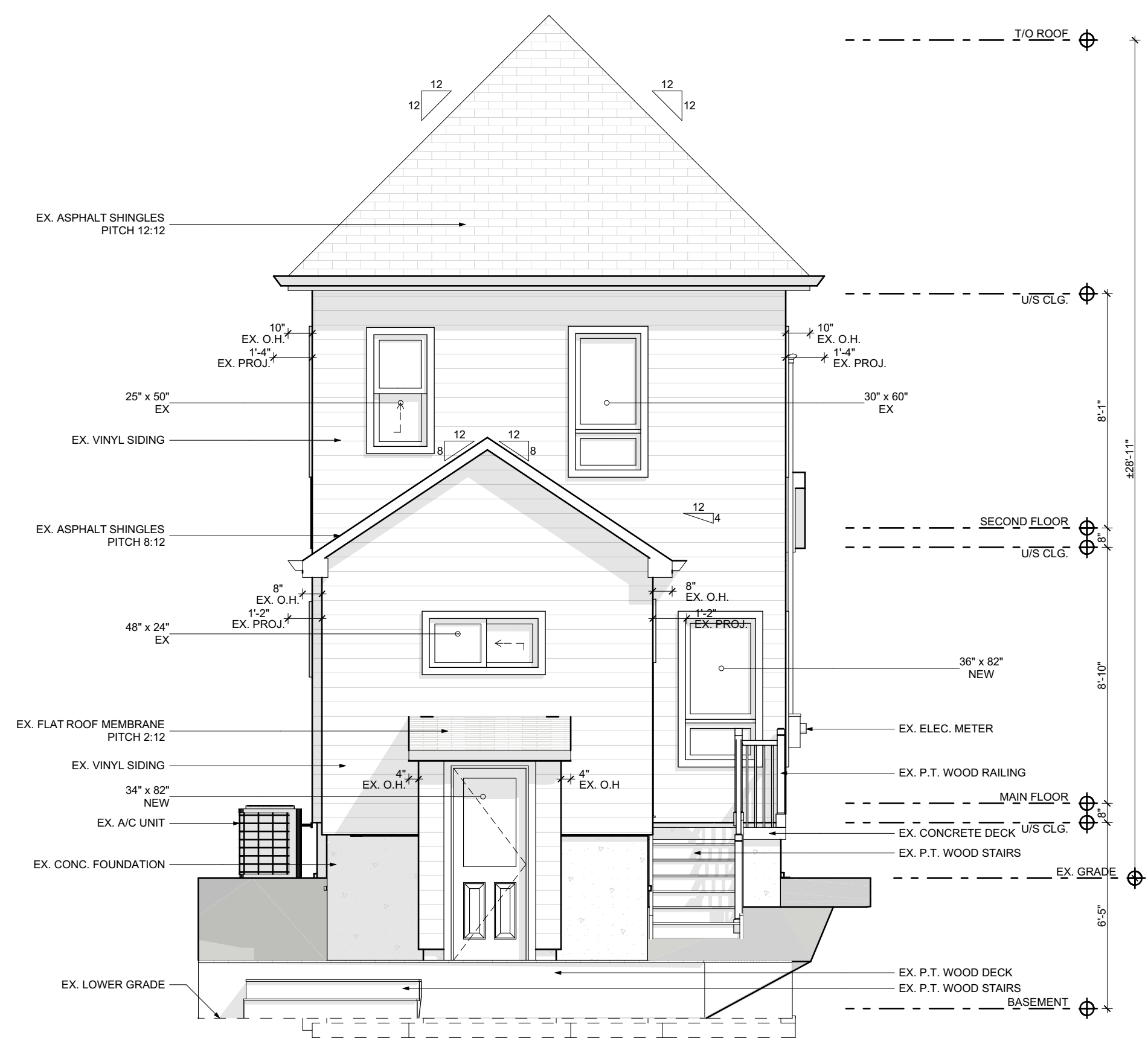
NO.	REVISION	DATE
1	ISSUED FOR DESIGN 1 REVIEW	2021.03.29
2	ISSUED FOR DESIGN 2 REVIEW	2021.04.08
3		
4		
5		

DRAWING:  
**EXISTING FRONT  
ELEVATION**

PROJECT NAME:  
**BURNEY-SUGGITT**  
PROJECT ADDRESS:  
20 WOOD ST W HAMILTON ON L8L 1E9

DATE: 2021-04-16	SCALE: AS NOTED	DRAWING NO: <b>A2.01</b>
	PROJECT NO: ---	





**1** EXISTING REAR ELEVATION  
SCALE: 1/4" = 1'-0"

CONTRACTOR



790 SHAVER RD. ANCASTER  
L9G 3K9 ON

**NOT FOR CONSTRUCTION**

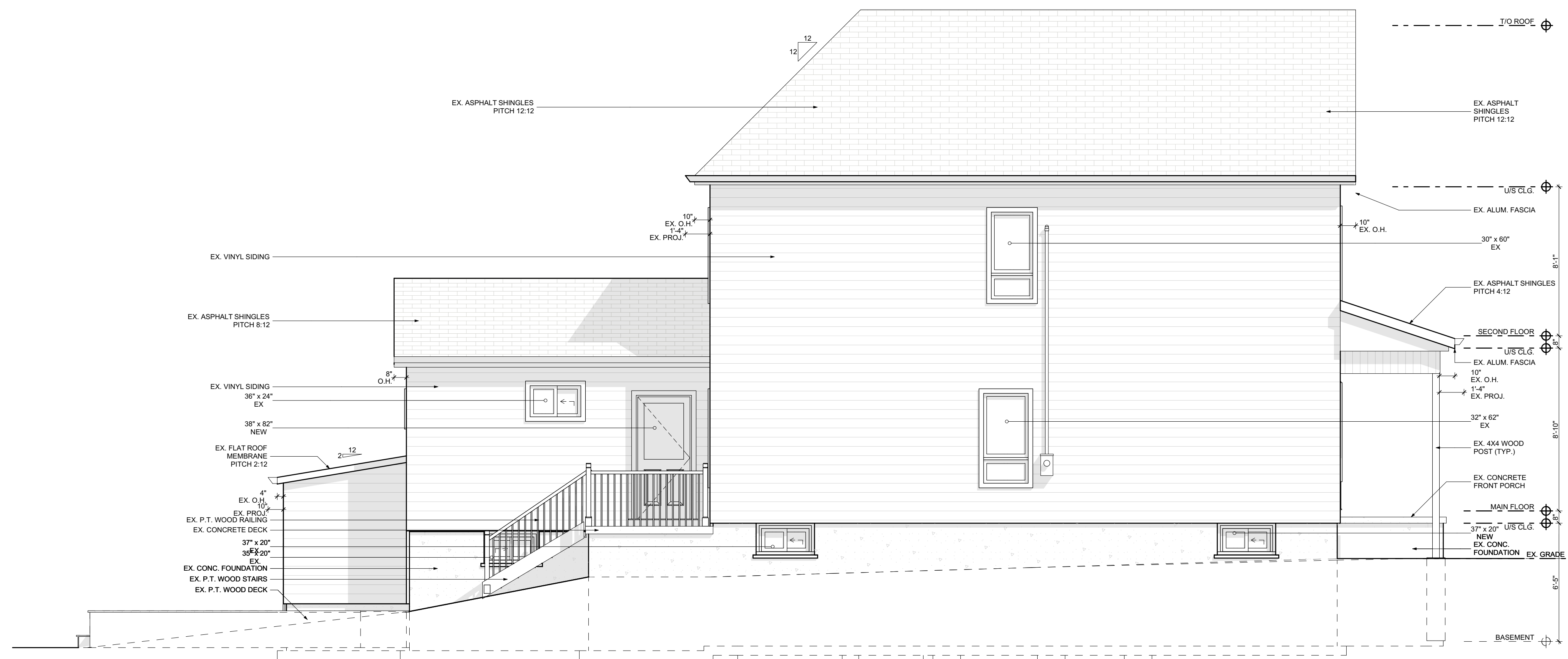
NO.	REVISION	DATE
1	ISSUED FOR DESIGN 1 REVIEW	2021.03.29
2	ISSUED FOR DESIGN 2 REVIEW	2021.04.08
3		
4		
5		

DRAWING:  
**EXISTING REAR ELEVATION**

PROJECT NAME:  
**BURNEY-SUGGITT**  
PROJECT ADDRESS:  
20 WOOD ST W HAMILTON ON L8L 1E9

DATE: 2021-04-16	SCALE: AS NOTED	DRAWING NO: <b>A2.02</b>
	PROJECT NO: ---	

Printed: 2021-04-16 @ 9:03 AM



**SPECIAL SEPARATION CALCULATIONS**  
 LIMITING DISTANCE =  
 EXPOSED BUILDING FACE (EFB) =  
 PROPOSED GLAZING AREA =  
 PERMITTED GLAZING % =  
 ACTUAL GLAZING AREA % =

CONTRACTOR  
  
 790 SHAVER RD. ANCASTER  
 L9G 3K9 ON

**NOT FOR CONSTRUCTION**

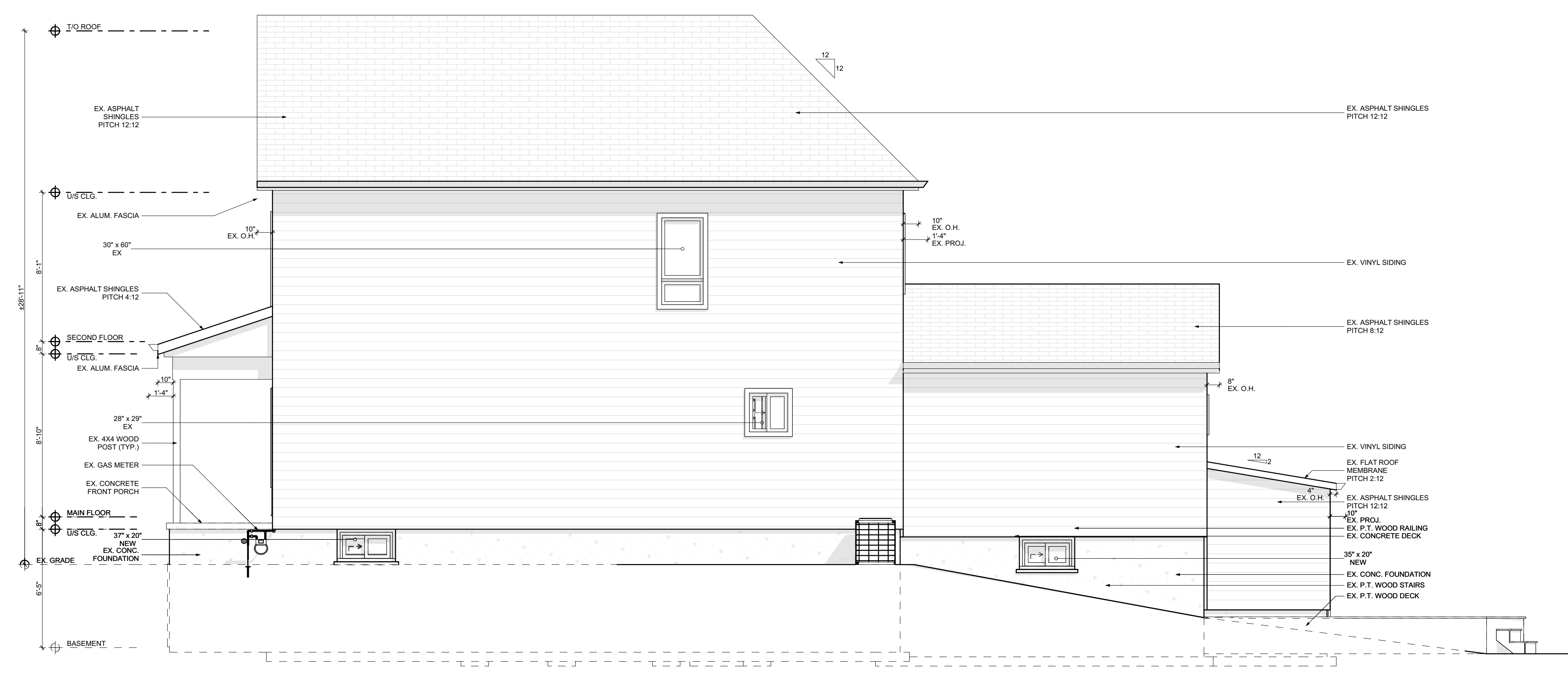
NO.	REVISION	DATE
1	ISSUED FOR DESIGN 1 REVIEW	2021.03.29
2	ISSUED FOR DESIGN 2 REVIEW	2021.04.08
3		
4		
5		

DRAWING:  
**EXISTING LEFT ELEVATION**

PROJECT NAME:  
**BURNEY-SUGGITT**  
 PROJECT ADDRESS:  
 20 WOOD ST W HAMILTON ON L8L 1E9

DATE: 2021-04-16	SCALE: AS NOTED	DRAWING NO: <b>A2.03</b>
	PROJECT NO: ---	

**SPECIAL SEPARATION CALCULATIONS**  
 LIMITING DISTANCE =  
 EXPOSED BUILDING FACE (EFB) =  
 PROPOSED GLAZING AREA =  
 PERMITTED GLAZING % =  
 ACTUAL GLAZING AREA % =



**1 EXISTING RIGHT ELEVATION**  
 SCALE: 1/4" = 1'-0"

CONTRACTOR  
  
 790 SHAVER RD. ANCASTER  
 L9G 3K9 ON

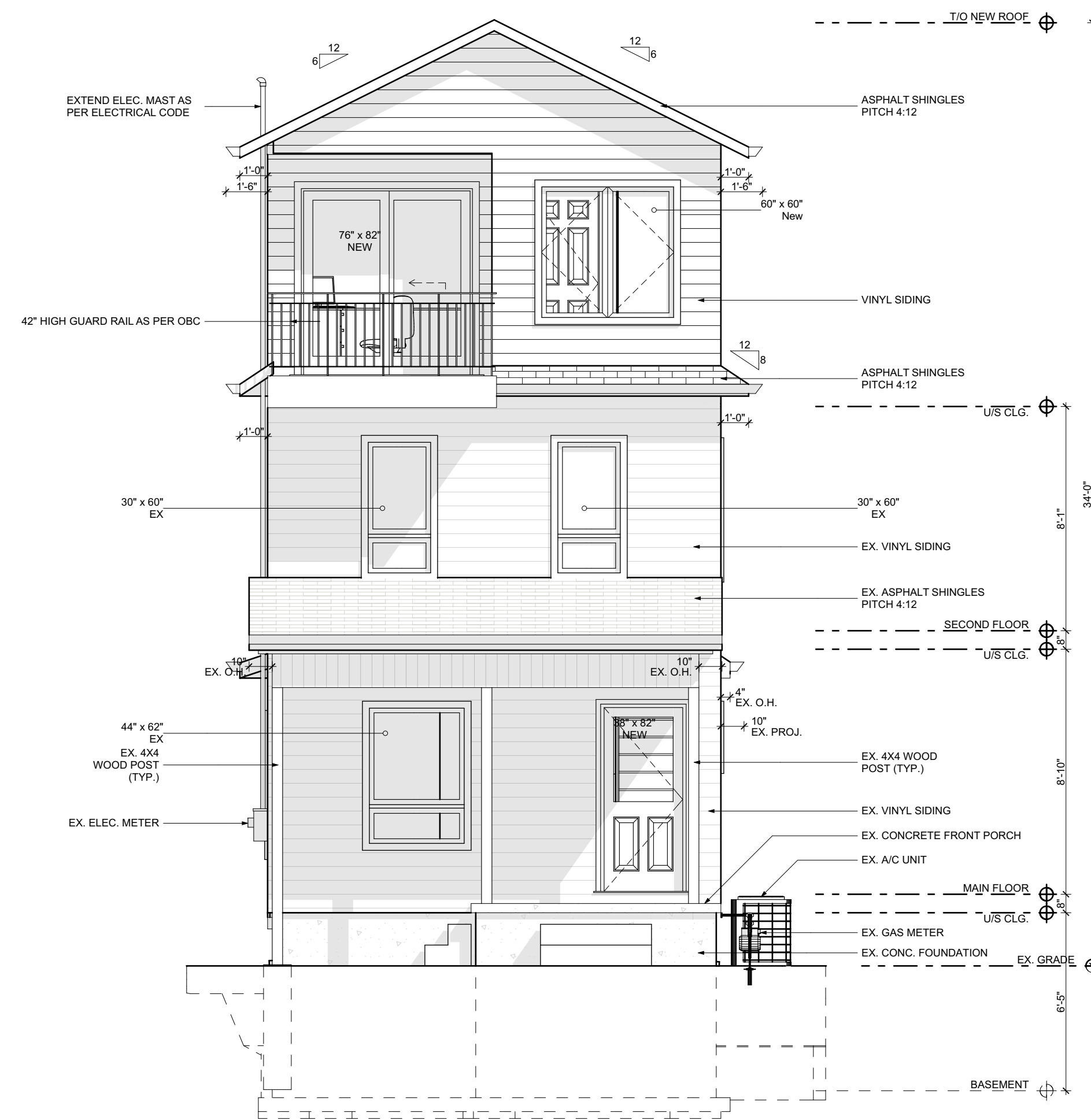
**NOT FOR CONSTRUCTION**

NO.	REVISION	DATE
1	ISSUED FOR DESIGN 1 REVIEW	2021.03.29
2	ISSUED FOR DESIGN 2 REVIEW	2021.04.08
3		
4		
5		

DRAWING:  
**EXISTING RIGHT ELEVATION**  
 PROJECT NAME:  
**BURNEY-SUGGITT**  
 PROJECT ADDRESS:  
 20 WOOD ST W HAMILTON ON L8L 1E9

DATE: 2021-04-16	DRAWING NO:
SCALE: AS NOTED	<b>A2.04</b>
PROJECT NO: ---	

Printed: 2021-04-16 @ 9:04 AM



**1 PROPOSED FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

CONTRACTOR



790 SHAVER RD. ANCASTER  
L9G 3K9 ON

**NOT FOR  
CONSTRUCTION**

NO.	REVISION	DATE
1	ISSUED FOR DESIGN 1 REVIEW	2021.03.29
2	ISSUED FOR DESIGN 2 REVIEW	2021.04.08
3		
4		
5		

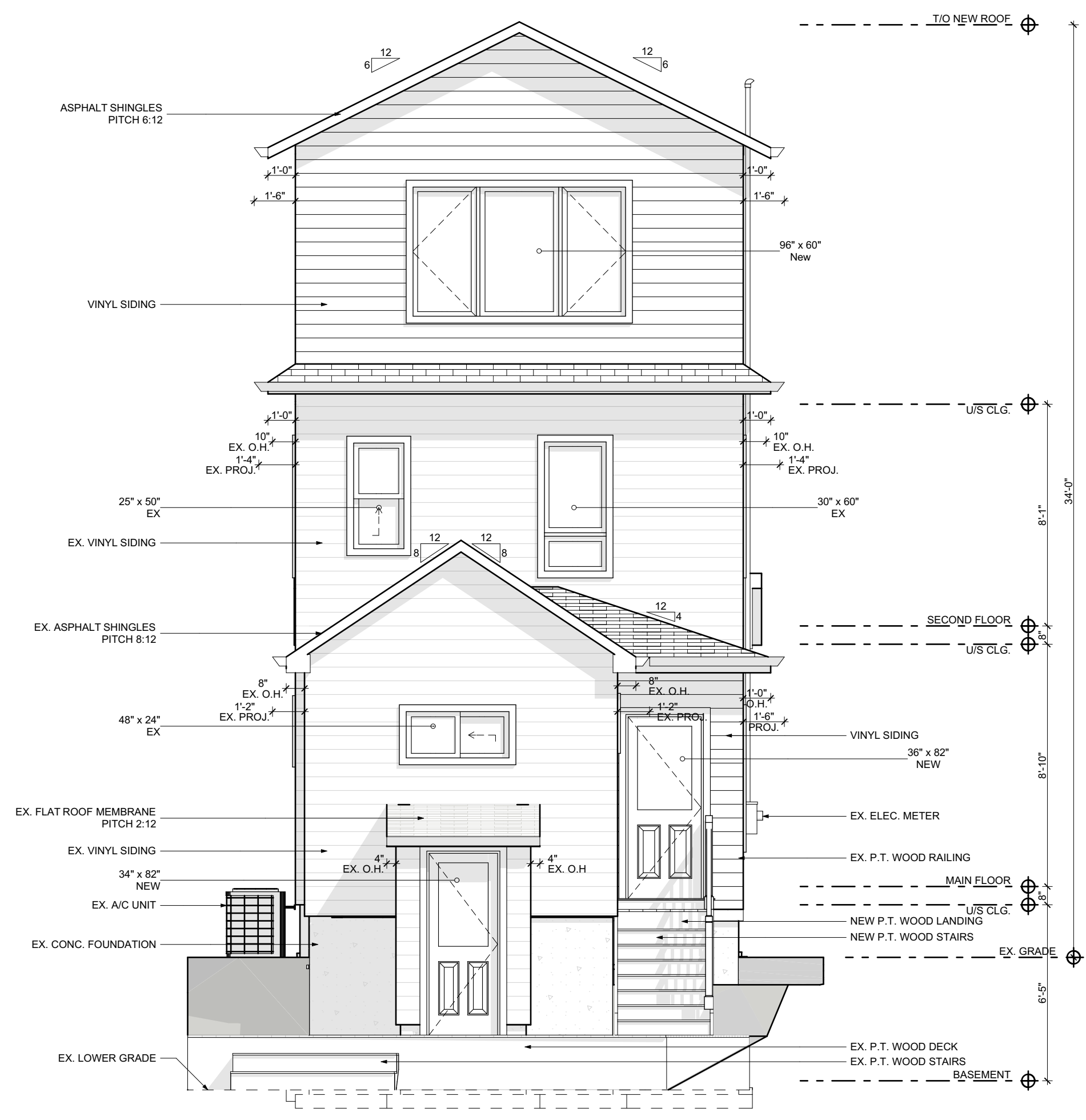
DRAWING:  
**PROPOSED FRONT  
ELEVATION**

PROJECT NAME:  
**BURNEY-SUGGITT**  
PROJECT ADDRESS:  
20 WOOD ST W HAMILTON ON L8L 1E9

DATE: 2021-04-16	SCALE: AS NOTED	DRAWING NO: <b>A2.05</b>
	PROJECT NO: ---	

Printed: 2021-04-16 @ 9:04 AM





**1** **PROPOSED REAR ELEVATION**  
 SCALE: 1/4" = 1'-0"

CONTRACTOR



790 SHAVER RD. ANCASTER  
 L9G 3K9 ON

**NOT FOR  
 CONSTRUCTION**

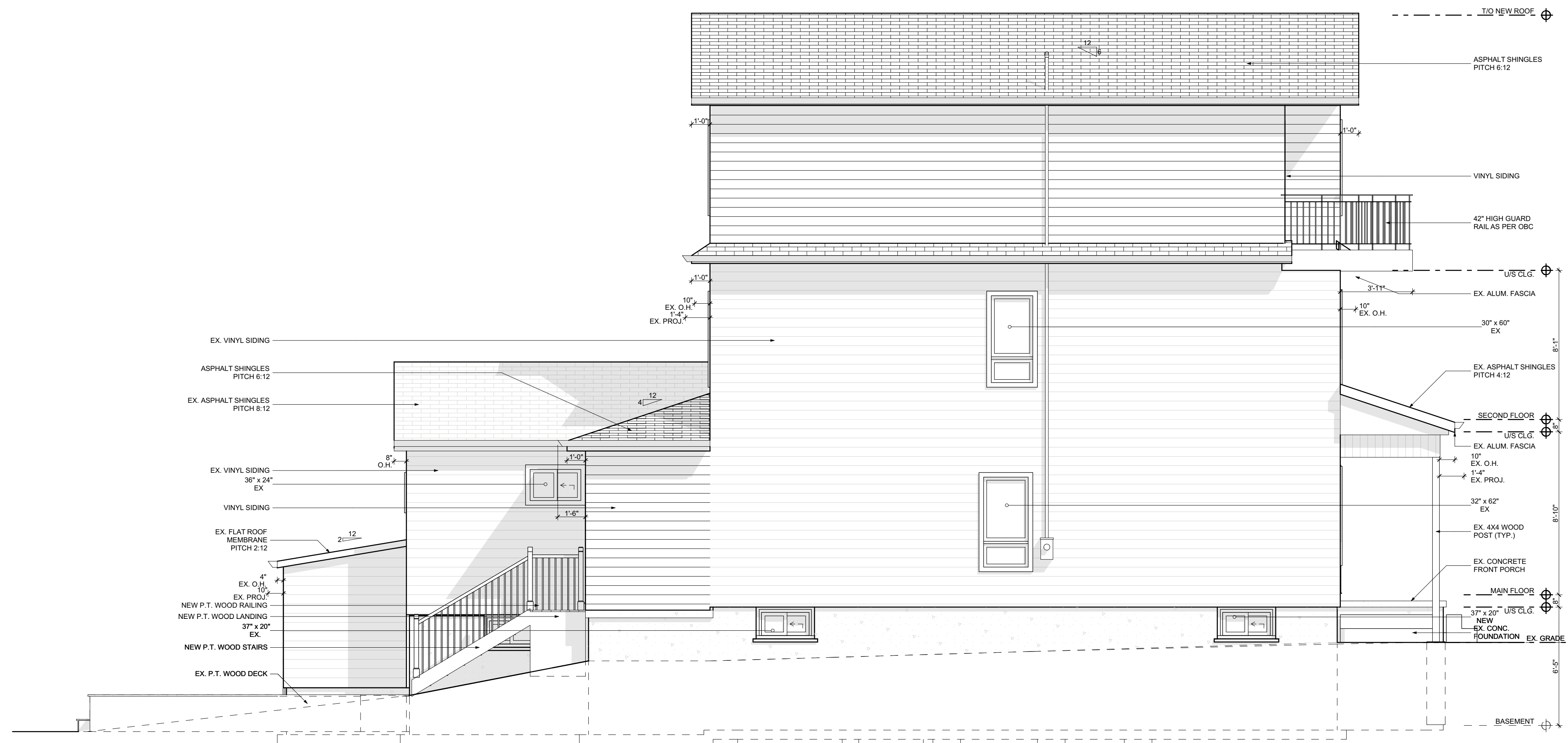
NO.	REVISION	DATE
1	ISSUED FOR DESIGN 1 REVIEW	2021.03.29
2	ISSUED FOR DESIGN 2 REVIEW	2021.04.08
3		
4		
5		

DRAWING:  
**PROPOSED REAR  
 ELEVATION**

PROJECT NAME:  
**BURNEY-SUGGITT**  
 PROJECT ADDRESS:  
 20 WOOD ST W HAMILTON ON L8L 1E9

DATE: 2021-04-16	SCALE: AS NOTED	DRAWING NO: <b>A2.06</b>
	PROJECT NO: ---	

Printed: 2021-04-16 @ 9:04 AM



**SPECIAL SEPARATION CALCULATIONS**  
 LIMITING DISTANCE =  
 EXPOSED BUILDING FACE (EFB) =  
 PROPOSED GLAZING AREA =  
 PERMITTED GLAZING % =  
 ACTUAL GLAZING AREA % =

CONTRACTOR  
  
 790 SHAVER RD. ANCASTER  
 L9G 3K9 ON

**NOT FOR  
 CONSTRUCTION**

NO.	REVISION	DATE
1	ISSUED FOR DESIGN 1 REVIEW	2021.03.29
2	ISSUED FOR DESIGN 2 REVIEW	2021.04.08
3		
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DRAWING:  
**PROPOSED LEFT  
 ELEVATION**

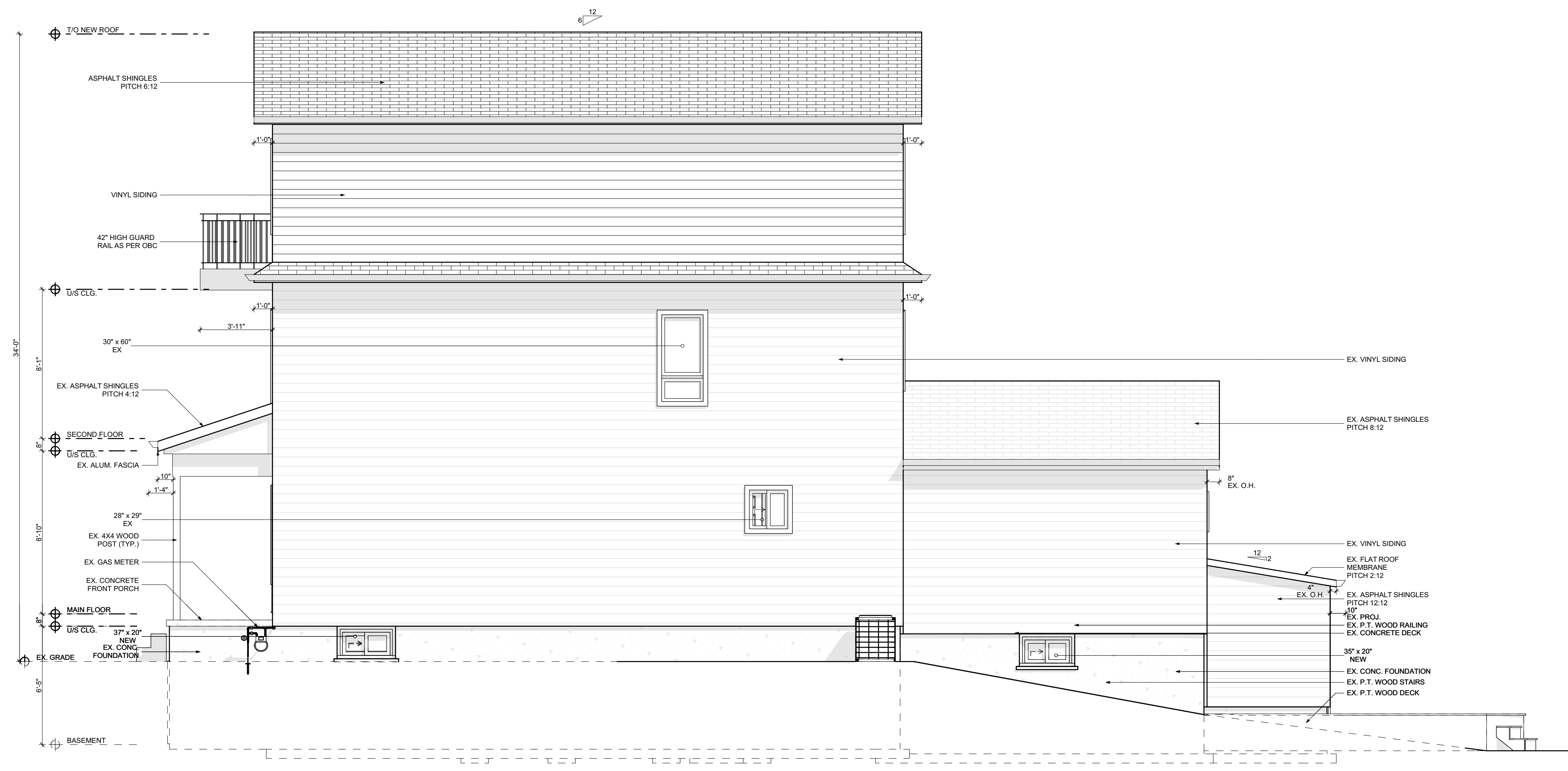
PROJECT NAME:  
**BURNEY-SUGGITT**  
 PROJECT ADDRESS:  
 20 WOOD ST W HAMILTON ON L8L 1E9

DATE: 2021-04-16	SCALE: AS NOTED	DRAWING NO: <b>A2.07</b>
	PROJECT NO: ---	

**1 PROPOSED LEFT ELEVATION**  
 SCALE: 1/4" = 1'-0"

Printed: 2021-04-16 @ 9:04 AM

**SPECIAL SEPARATION CALCULATIONS**  
 LIMITING DISTANCE =  
 EXPOSED BUILDING FACE (EFB) =  
 PROPOSED GLAZING AREA =  
 PERMITTED GLAZING % =  
 ACTUAL GLAZING AREA % =



**1 PROPOSED RIGHT ELEVATION**  
 SCALE: 1/4" = 1'-0"

CONTRACTOR  
  
 790 SHAVER RD. ANCASTER  
 L9G 3K9 ON

**NOT FOR CONSTRUCTION**

NO.	REVISION	DATE
1	ISSUED FOR DESIGN 1 REVIEW	2021.03.29
2	ISSUED FOR DESIGN 2 REVIEW	2021.04.08
3		
4		
5		

DRAWING:  
**PROPOSED RIGHT ELEVATION**

PROJECT NAME:  
**BURNEY-SUGGITT**  
 PROJECT ADDRESS:  
 20 WOOD ST W HAMILTON ON L8L 1E9

DATE: 2021-04-16	DRAWING NO:
SCALE: AS NOTED	<b>A2.08</b>
PROJECT NO:	

Printed: 2021-04-16 @ 9:04 AM

**SITE INFORMATION** 3. Zoning Information taken on 2021.04.15

ADDRESS: 20 WOOD ST W  
MUNICIPALITY: HAMILTON  
POSTAL CODE: L8L 1E9

**ZONING INFORMATION**

PARENT BYLAW #: 6593 FORMER HAMILTON  
ZONE: D  
BYLAW EXCEPTION #: N/A  
MINOR VARIANCE #: N/A

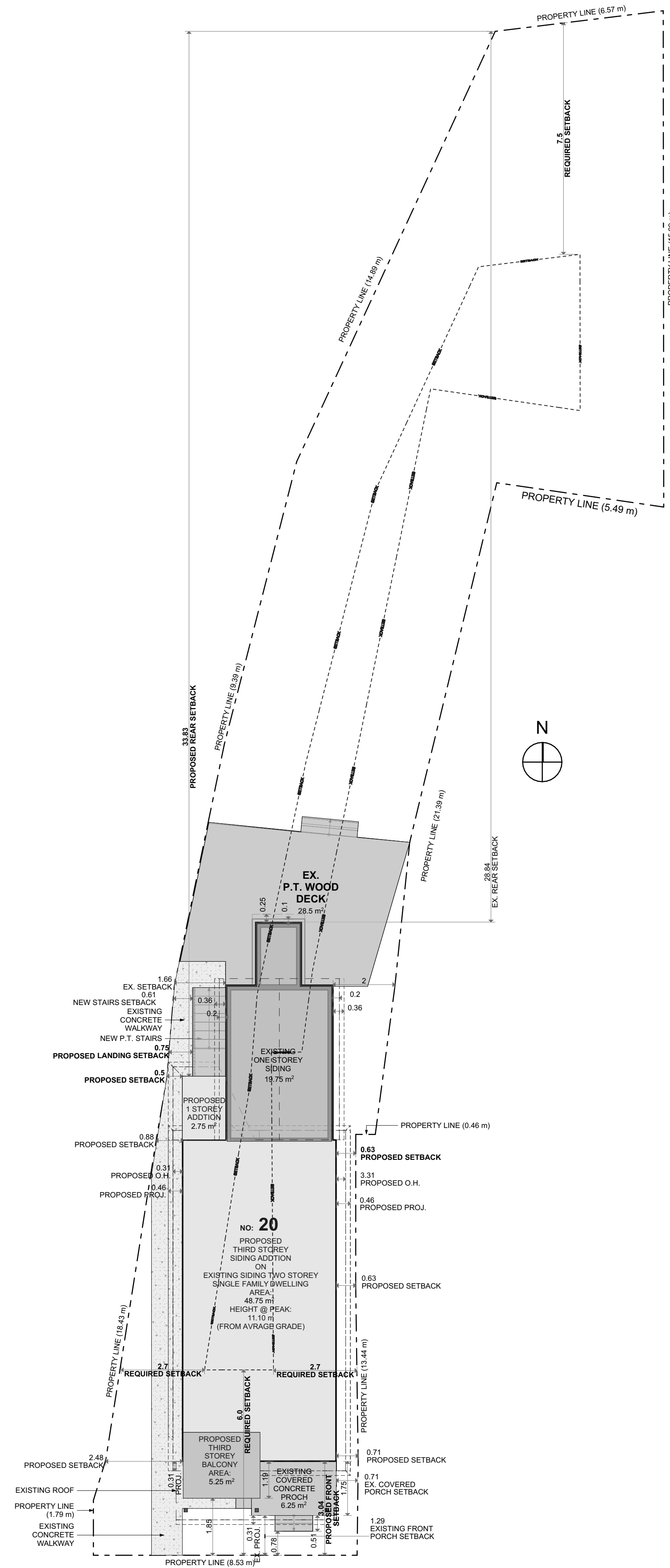
	Required	Existing	Proposed	Conforms
LOT AREA (m <sup>2</sup> ):	360 min	404.69	AS EX.	●
LOT WIDTH (m):	12 min	8.53	AS EX.	●
LOT DEPTH (m):	N/A	50.14	AS EX.	●
LOT FRONTAGE:	12 min	8.53	AS EX.	●
LOT COVERAGE (%):	N/A	-	-	●
FLOOR AREA RATIO <sup>1</sup> :	N/A	-	-	●
GROSS FLOOR AREA <sup>2</sup> :	N/A	-	-	●
GROUND FLOOR AREA:	N/A	-	-	●
BUILDING HEIGHT (m):	14	9.55	11.10	●
PARKING SPACES <sup>3</sup> :	0	0	0	○
Habitable Rooms:	6	6	9	○
SETBACKS (m)	Required	Existing	Proposed	Conforms
FRONT:	6.00	3.54	3.04	○
REAR:	7.50	28.84	33.83	●
RIGHT SIDE (EAST):	2.70	0.63	0.63	○
LEFT SIDE (WEST):	2.70	0.88	0.50	○

	Required	Existing	Proposed	Conforms
ENCROACHMENTS (m)	0.6	0.41	0.46	○
ROOF PROJECTION:	1.5	2.04	EX. NON-CON.	○
UNCOVERED PORCH:	1.5	N/A	N/A	○
DECK:	1.5	2.7	EX. NON-CON.	○

	Required	Existing	Proposed	Conforms
ACCESSORY BUILDINGS:	N/A	N/A	N/A	○
SIZE:	N/A	N/A	N/A	○
HEIGHT:	N/A	N/A	N/A	○

	Req.	Not Req.
OTHER RETRICTIONS:	○	●
CONSERVATION AUTHORITY	○	●
NIAGARA ESCARPMENT CONTROL	○	●
MTO	○	●
SEPTIC	○	●
SITE PLAN CONTROL	○	●
TREE PROTECTION	○	●

**REFERENCES**  
<sup>1</sup> Proposed lot coverage calculations = Proposed Footprint area / Lot Area  
<sup>2</sup> Floor Area Ratio Calculation: Total GFA / Lot Area  
<sup>3</sup> Parking space sizing as follows:  
 - Hamilton: 2.7m x 6.0m  
 - Burlington: 2.7m x 6.0m  
<sup>4</sup> Area of all floors excluding the following:  
 1. 100sf for laundry if possible  
 2. 70sf for mechanical if possible  
 3. Attic spaces  
 4. Any area that is uninhabitable



WOOD ST W

**1 SITE PLAN**  
SCALE: 1:100

CONTRACTOR



790 SHAVER RD. ANCASTER  
L9G 3K9 ON

**NOT FOR CONSTRUCTION**

NO.	REVISION	DATE
1	ISSUED FOR DESIGN 1 REVIEW	2021.03.29
2	ISSUED FOR DESIGN 2 REVIEW	2021.04.08
3		
4		
5		

DRAWING:

**SITE PLAN**

PROJECT NAME:

**BURNEY-SUGGITT**

PROJECT ADDRESS:

20 WOOD ST W HAMILTON ON L8L 1E9

DATE: 2021-04-16

SCALE:

AS NOTED

PROJECT NO:

DRAWING NO:

**SP0.01**

---





Hamilton

**Committee of Adjustment**

City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**APPLICATION FOR A MINOR VARIANCE**

**FOR OFFICE USE ONLY.**

APPLICATION NO. \_\_\_\_\_ DATE APPLICATION RECEIVED \_\_\_\_\_

PAID \_\_\_\_\_ DATE APPLICATION DEEMED COMPLETE \_\_\_\_\_

SECRETARY'S  
SIGNATURE \_\_\_\_\_

**The Planning Act**

**Application for Minor Variance or for Permission**

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS
Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

**Note:** Unless otherwise requested all communications will be sent to the agent, if

and addresses of any mortgagees, holders of charges or other encumbrances:

**Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled**

4. Nature and extent of relief applied for:  
1-To permit 3.04m front (south) yard setback for the proposed third storey addition instead of 6.0m with 0.31 roof projection.  
2-To permit 0.60 right (east) side yard setback instead of 2.7m with roof projection of 0.46m for the proposed third storey addition.  
3-To permit 0.50m left (west) side yard setback instead of 2.7m with roof projection of 0.46m for the proposed rear addition.  
4-To permit no parking spaces instead of the required 3 parking spaces.  
5- To permit 1.2 balcony projection from the proposed setback 3.04m
5. Why it is not possible to comply with the provisions of the By-law?
6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):
7. PREVIOUS USE OF PROPERTY
- Residential \_\_\_\_\_ Industrial \_\_\_\_\_ Commercial \_\_\_\_\_
- Agricultural \_\_\_\_\_ Vacant \_\_\_\_\_
- Other \_\_\_\_\_
- 8.1 If Industrial or Commercial, specify use \_\_\_\_\_
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?  
Yes \_\_\_\_\_ No \_\_\_\_\_ Unknown \_\_\_\_\_
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?  
Yes \_\_\_\_\_ No \_\_\_\_\_ Unknown \_\_\_\_\_
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?  
Yes \_\_\_\_\_ No \_\_\_\_\_ Unknown \_\_\_\_\_
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?  
Yes \_\_\_\_\_ No \_\_\_\_\_ Unknown \_\_\_\_\_
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?  
Yes \_\_\_\_\_ No \_\_\_\_\_ Unknown \_\_\_\_\_
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?  
Yes \_\_\_\_\_ No \_\_\_\_\_ Unknown \_\_\_\_\_
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?  
Yes \_\_\_\_\_ No \_\_\_\_\_ Unknown \_\_\_\_\_
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?  
Yes \_\_\_\_\_ No \_\_\_\_\_ Unknown \_\_\_\_\_

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes \_\_\_\_\_ No \_\_\_\_\_ Unknown \_\_\_\_\_

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes \_\_\_\_\_ No \_\_\_\_\_ (N/A)

**9. ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

\_\_\_\_\_ Date

\_\_\_\_\_ Signature Property Owner

\_\_\_\_\_ Print Name of Owner

10. Dimensions of lands affected:

Frontage \_\_\_\_\_

Depth \_\_\_\_\_

Area \_\_\_\_\_

Width of street \_\_\_\_\_

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: \_

Proposed

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

FRONT (SOUTH) SIDE:3.04 m  
RIGHT SIDE (EAST) SIDE:0.63 m  
LEFT SIDE (WEST) SIDE:0.88 m  
REAR (NORTH) SIDE:28.84m

Proposed:

FRONT (SOUTH) SIDE:3.04 m  
RIGHT SIDE (EAST) SIDE:0.63 m  
LEFT SIDE (WEST) SIDE:0.50m  
REAR (NORTH) SIDE:33.83m

13. Date of acquisition of subject lands:  
\_\_\_\_\_
14. Date of construction of all buildings and structures on subject lands:  
\_\_\_\_\_
15. Existing uses of the subject property:
16. Existing uses of abutting properties:
17. Length of time the existing uses of the subject property have continued:
18. Municipal services available: (check the appropriate space or spaces)  
 Water \_\_\_\_\_ Connected \_\_\_\_\_  
 Sanitary Sewer \_\_\_\_\_ Connected \_\_\_\_\_  
 Storm Sewers \_\_\_\_\_
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
21. Has the owner previously applied for relief in respect of the subject property?  
   Yes  No  
 If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?  
   Yes  No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.