

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: FL/A-21:181

APPLICANTS: Owners A. & B. Dykman

SUBJECT PROPERTY: Municipal address **1126 Centre Rd., Flamborough**

ZONING BY-LAW: Zoning By-law 05-200, as Amended 21-070 (not yet final & binding)

ZONING: "A2" and P8" (Rural (A2) Zone and Conservation/Hazard Lands - Rural (P8) Zone

PROPOSAL: To permit the construction of a 3.05m (10'0") x 9.144m (30'0") detached building (pool shed) accessory to the existing single detached dwelling notwithstanding that all accessory buildings shall have a maximum/aggregate gross floor area of 245m² instead of the requirement that the maximum/aggregate gross floor area of all accessory buildings shall not exceed a 200m².

NOTE: The maximum gross floor area for all accessory buildings is composed of:

- The existing 153m² accessory building;
- The existing 64m² detached garage; and
- The proposed 28m² pool shed

This application will be heard by the Committee as shown below:

DATE: Thursday, June 17th, 2021
TIME: 3:05 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

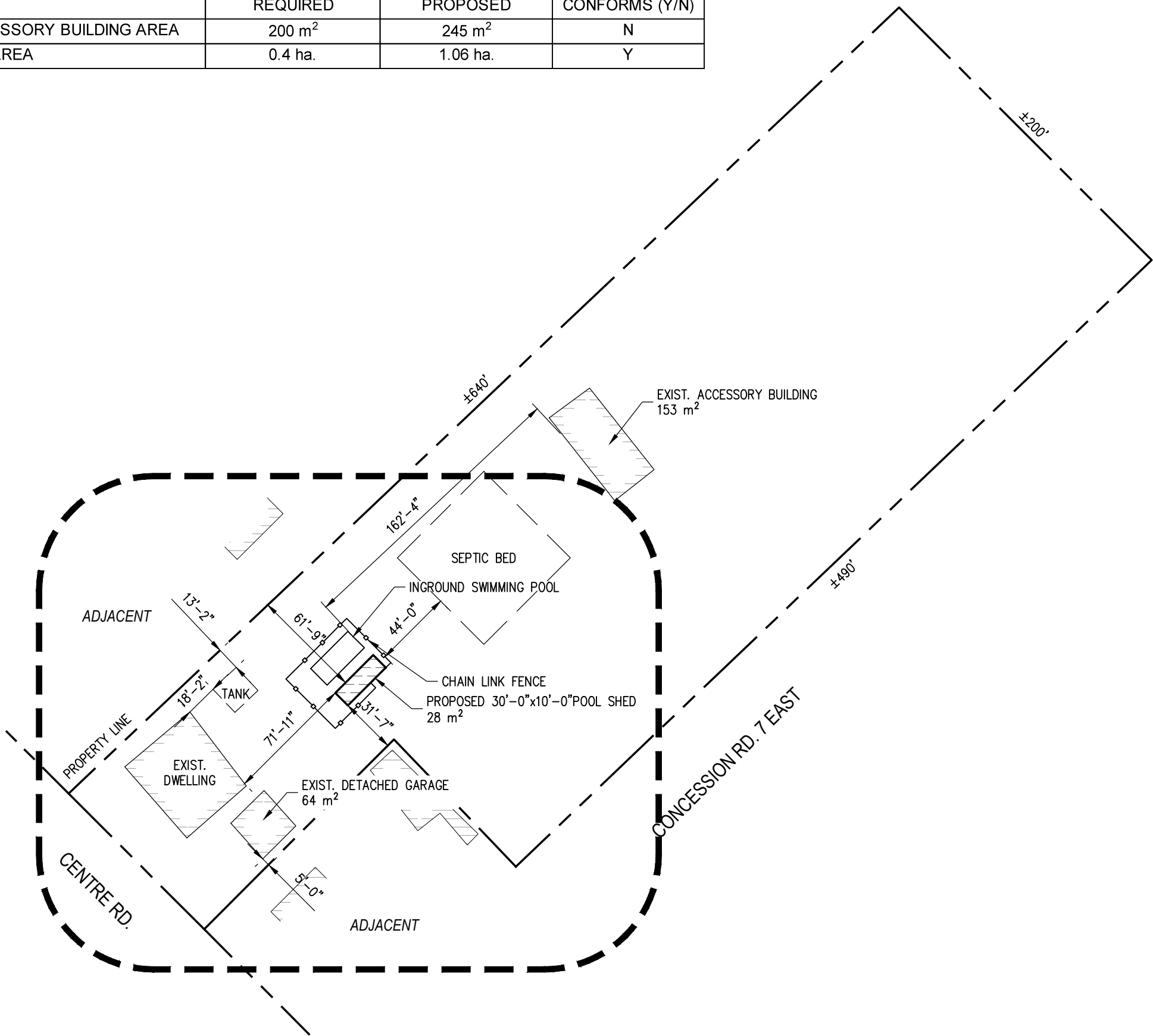
- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: June 1st, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

ZONING STATISTICS - 1126 CENTRE ROAD. HAMILTON, ON.			
RURAL "A2" ZONE (ZONING BY-LAW 05-200)			
	REQUIRED	PROPOSED	CONFORMS (Y/N)
ACCESSORY BUILDING AREA	200 m ²	245 m ²	N
LOT AREA	0.4 ha.	1.06 ha.	Y



CLIMATIC DATA (HAMILTON ESCARPMENT, WEST OF AIRPORT)	
Ss =	1.5kPa
Sr =	0.4kPa
q(½g) =	0.46kPa
DESIGN LOADS	
SNOW LOAD =	25.6psf
DEAD LOAD =	10psf

- GENERAL**
- THE DESIGN AND CONSTRUCTION OF ALL WORK ON THIS PROJECT IS TO CONFORM TO THE ONTARIO BUILDING CODE – 2012 INCLUDING ALL AMENDMENTS, AND THE RELEVANT LISTED CSA STANDARDS INCLUDING THE LATEST REVISIONS.
 - READ STRUCTURAL DRAWINGS IN CONJUNCTION WITH ALL RELEVANT ARCHITECTURAL AND SERVICES DRAWINGS AND OTHER CONTRACT DOCUMENTS.
 - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONED DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
 - DO NOT EXCEED DESIGN LIVE LOAD DURING CONSTRUCTION.
 - ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS – O.REG. 213/91.

- TIMBER**
- ALL WOOD MATERIALS, FABRICATION, BRACING, AND ERECTION PROCEDURES TO BE IN ACCORDANCE WITH CSA 086-14. ALL TIMBER GRADING TO BE IN ACCORDANCE WITH NLGA.
 - ALL TIMBER FOR RAFTERS, LINTELS, AND BEAMS TO BE SPF #2 UNLESS NOTED ON PLAN.
 - ALL TIMBER SHALL CONFORM TO RECOGNIZE NOMINAL SIZES SHOWN ON PLAN AND STRESS RATINGS FOR APPROPRIATE SPECIES. NO TIMBER SHALL BE USED THAT DOES NOT CONFORM TO DIMENSIONS AND SPECIES.
 - MINIMUM NUMBER OF FASTENERS PER OBC 9.23.3.4
 - THE USE OF AIR NAILS ARE ACCEPTABLE TO SUBSTITUTING 2-3" COMMON WIRE NAILS WITH 3-3"x120 PROSTRIP TYPE AIR NAILS
 - ALL JOIST HANGERS TO BE HUS BY SIMPSON STRONG TIE OR APPROVED EQUIVALENT. USE HOT-DIPPED GALVANIZED FINISH STEEL FOR EXTERIOR WORK.
 - SHEATHING
 - ROOF SHEATHING: 5/8" PLYWOOD
 - EXTERIOR WALLS: 1/2" EXTERIOR TYPE PLYWOOD
 - ALL SHEATHING SHALL BE FASTENED TO THE STUD FRAMING WITH MINIMUM 3" COMMON NAILS AT 12" O.C. IN THE FIELD, AND AT 6" O.C. AT SUPPORTED EDGES. REFER TO PLANS FOR ALL ADDITIONAL SHEAR WALL/DIAPHRAGM BLOCKING AND NAILING.
 - BOLTS AND THREADED RODS TO BE A307 OR 300W GRADE
 - ALL WOOD TO BE PRESSURE TREATED MATERIAL PER CAN/CSA-080 "WOOD PRESERVATION" INCLUDING BUT NOT LIMITED TO THE FOLLOWING LOCATIONS:
 - INSTALLED EXTERIOR TO BUILDING
 - INCORPORATED WITH ROOFING SYSTEMS
 - INSTALLED AT EXTERIOR IN CONTACT WITH ROOFING SYSTEM
 - INSTALLED IN CONTACT WITH CONCRETE AND MASONRY

- CONCRETE**
- ALL CONCRETE WORK TO CONFORM TO CSA STANDARDS A23.1-14, A23.2-14, & A23.3-14
 - CONCRETE FLOOR AND FOUNDATIONS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 25 MPA AT 28 DAYS UNLESS NOTED OTHERWISE ON PLANS.
 - ALL REINFORCING STEEL SHALL CONFORM TO CSA SPECIFICATION G30.18-M92 GRADE 400. FOR CONCRETE PROTECTION TO BARS SEE PLAN.
 - SPACING AND CONCRETE COVER FOR REINFORCING STEEL SHALL CONFORM TO CSA A23.1 & CSA A23.2 UNLESS NOTED OTHERWISE:
 - CONCRETE CAST AGAINST EARTH: 75MM (3")
 - PIERS AND WALL: 40MM (1½")
 - EXPOSED TO DE-ICING CHEMICALS: 60MM (2½")
 - INTERIOR SLABS AND BEAMS: (1½")
 - CONCRETE PROPERTIES:
 - ALL CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 25 MPA MINIMUM UNLESS OTHERWISE SPECIFIED.
 - EXTERIOR CONCRETE SLABS TO BE CLASS C-2 CONCRETE (28 DAY COMPRESSIVE STRENGTH OF 32 MPA) WITH AIR ENTRAINMENT.
 - INTERIOR CONCRETE SLABS SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 25 MPA, 0.55 MAX. WATER-CEMENT RATIO.
 - CONCRETE MIX DESIGN SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO USE AT JOB SITE.
 - LAP ALL REINFORCING BARS AT LEAST 20 DIAMETERS OR MINIMUM OF 1'-0" (300 MM) UNLESS NOTED OTHERWISE ON ALL PLANS.
 - SLUMP OF CONCRETE TO BE 75 MM ± 25 MM (3" ± 1") OR AS OTHERWISE SPECIFIED. CONCRETE WITH 110 MM (4½") SLUMP OR MORE IS TO BE REJECTED.
 - INSTALL ANCHOR BOLTS OR MISCELLANEOUS ITEMS SUPPLIED BY OTHERS FOR INSTALLATION IN THE CONCRETE WORK.

- SLAB ON GRADE**
- PRIOR TO CONSTRUCTION OF A SLAB-ON-GRADE, ALL TOPSOIL, ORGANIC, SOFT OR OTHERWISE COMPRESSIBLE MATERIAL, MUST BE REMOVED FROM THE GROUND SURFACE. THE SLAB MUST BE CONSTRUCTED ON A MINIMUM THICKNESS OF 6 INCHES OF GRANULAR "A" OR CRUSHED STONE FILL (¾" MAX). THE GRANULAR BASE MUST BE COMPACTED TO AT LEAST 95% OF ITS MAXIMUM STANDARD PROCTOR DRY DENSITY TO PROVIDE A UNIFORM SUPPORT FOR THE SLAB.
 - IF THERE IS EXISTING SILTY CLAY SUBSOIL, IT IS NOT CONSIDERED SUITABLE FOR RE-USE AS BACKFILL FOR INTERIOR FOOTING EXCAVATIONS, AND IT IS RECOMMENDED THAT APPROVED GRANULAR PIT-RUN MATERIAL BE USED FOR THIS PURPOSE. INTERIOR FOOTING BACKFILL MUST ALSO BE COMPACTED TO 95% OF ITS MAXIMUM STANDARD PROCTOR DRY DENSITY TO REDUCE DIFFERENTIAL SETTLEMENT BELOW THE FLOOR SLABS.
 - PLACE SLAB ON GRADE MATERIAL CAPABLE OF SUSTAINING 500 PSF (24 kN/m²) WITHOUT SETTLEMENT RELATIVE TO THE BUILDING FOOTINGS.

THESE DESIGN DOCUMENTS ARE PREPARED SOLELY FOR THE USE BY THE PARTY WITH WHOM THE DESIGN PROFESSIONAL HAS ENTERED INTO A CONTRACT AND THERE ARE NO REPRESENTATIONS OF ANY KIND MADE BY THE DESIGN PROFESSIONAL TO ANY PARTY WITH WHOM THE DESIGN PROFESSIONAL HAS NOT ENTERED INTO A CONTRACT.

DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY ERRORS AND OMISSIONS TO THE ENGINEER. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS MARKED AS "ISSUED FOR CONSTRUCTION", CERTIFIED AND DATED.

REV.	DATE	REMARKS
3	12APR21	REVISED FOR MINOR VARIANCE
2	22DEC20	REVISED FOR PERMIT
1	09NOV20	ISSUED FOR PERMIT
0	28AUG20	ISSUED SLAB

ZOLTAN
ENGINEERING

25-4380 SOUTH SERVICE ROAD
BURLINGTON, ON L7L 5Y6
(905) 331 - 8307
WWW.ZOLTANENGINEERING.COM

PROJECT TITLE

DYKMAN RESIDENCE
POOL SHED

1126 CENTRE RD.
HAMILTON, ON.

DRAWING TITLE

LOT PLAN, NOTES

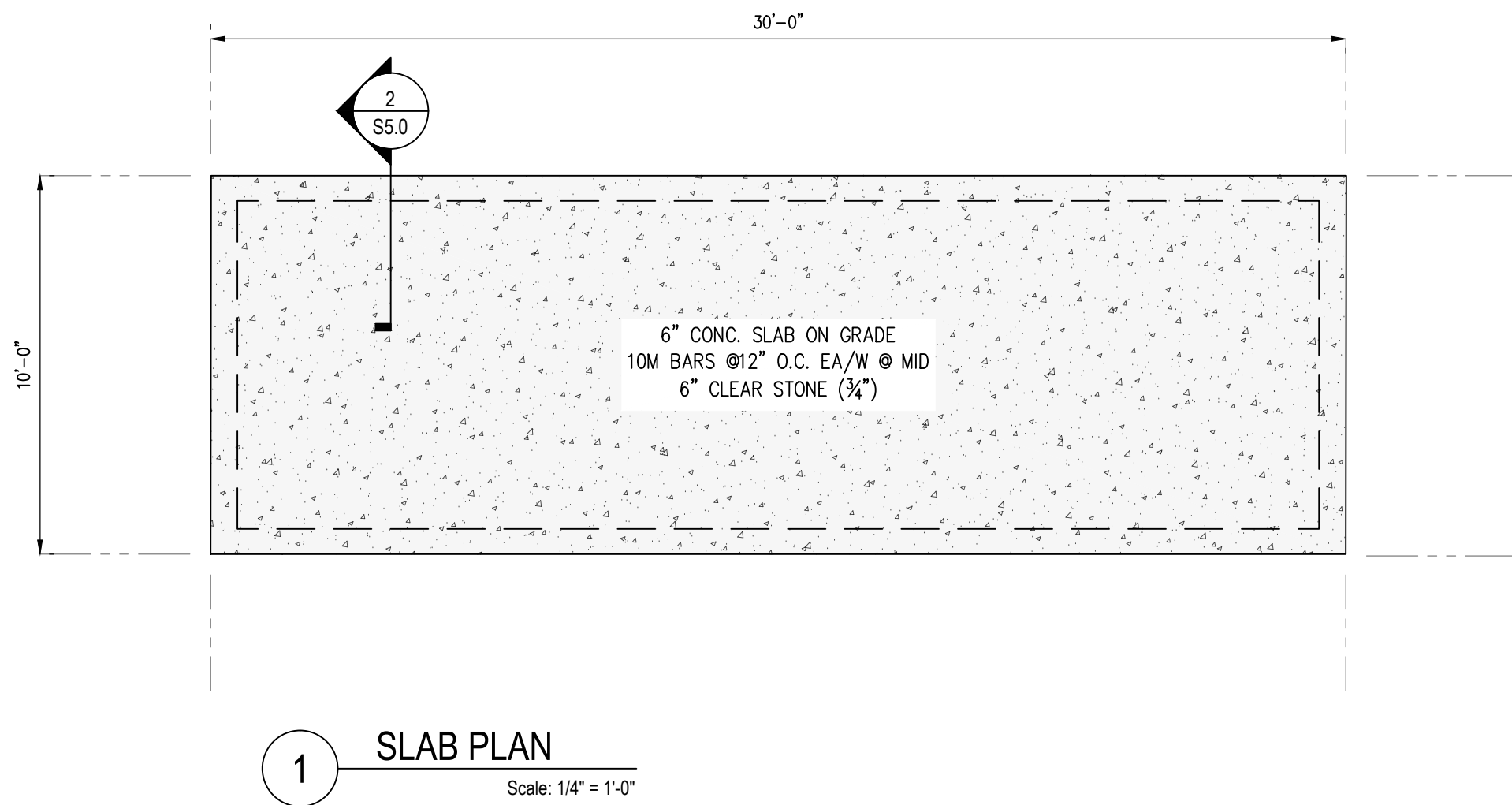
SCALE	AS NOTED
DATE	12APR21
DRAWN	JA
DESIGNED	ZL
CHECKED	ZL



PROJECT NO.	SHEET NO.
20-181	S1.0

1 LOT PLAN
Scale: 1/64" = 1'-0"

2 LOT PLAN (DETAIL)
Scale: 1/32" = 1'-0"



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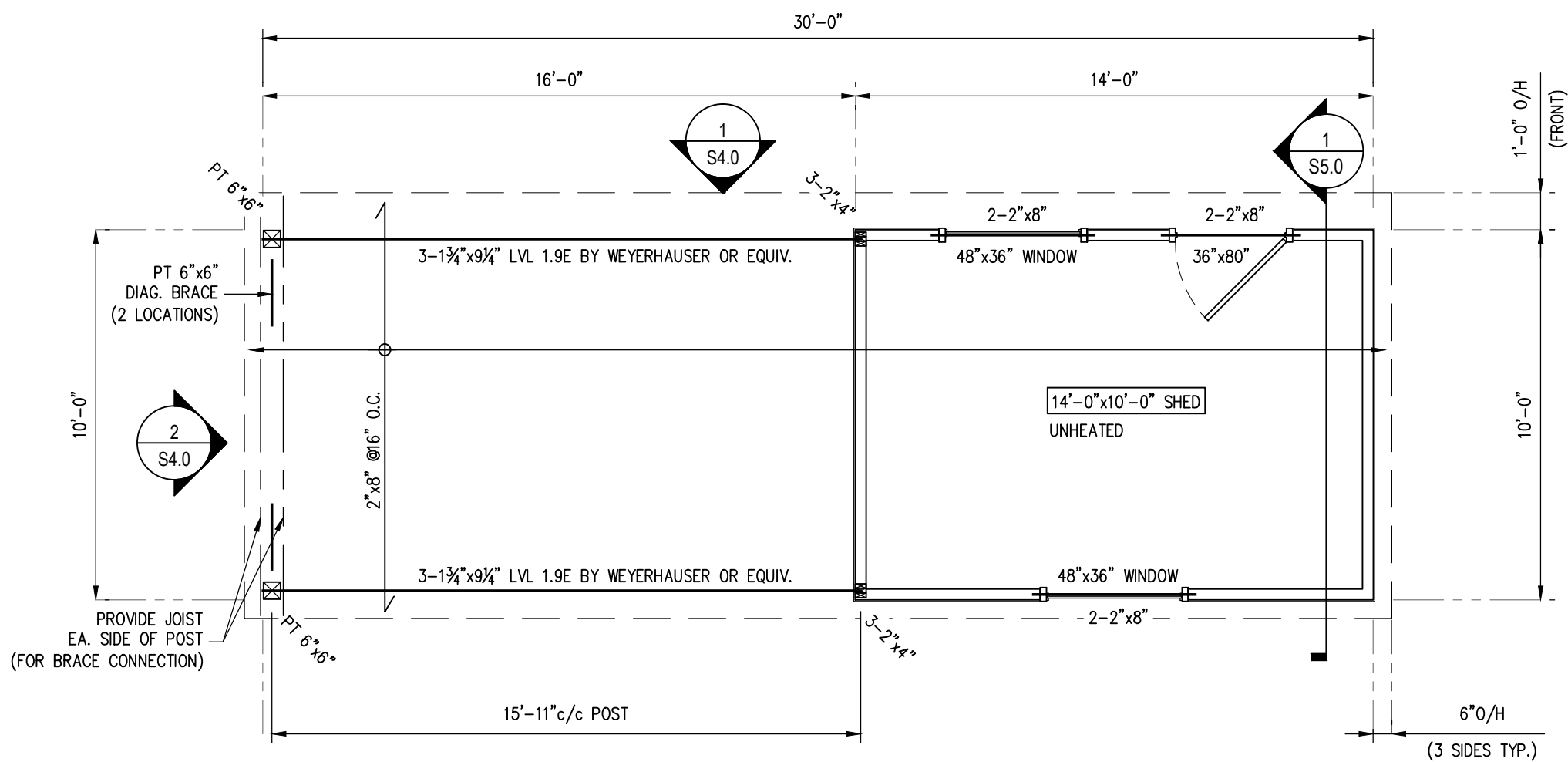
DRAWING TITLE

SLAB PLAN

SCALE	AS NOTED
DATE	12APR21
DRAWN	JA
DESIGNED	ZL
CHECKED	ZL



PROJECT NO.	SHEET NO.
20-181	S2.0



1 FRAMING PLAN
Scale: 1/4" = 1'-0"

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REV.	DATE	REMARKS

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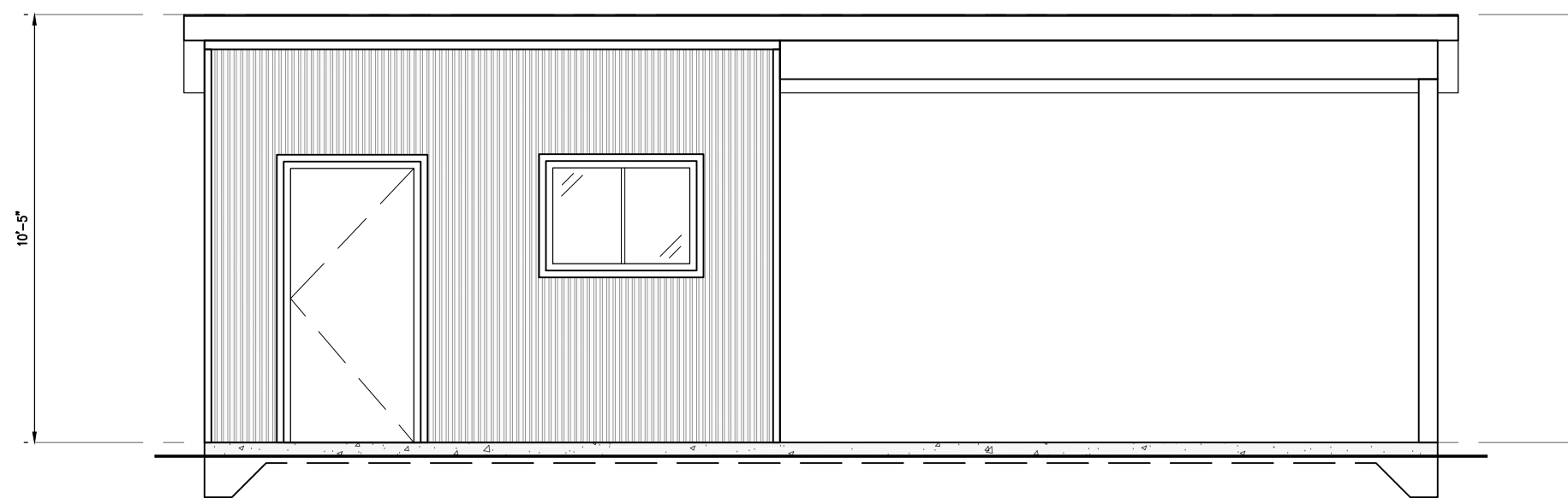
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FRAMING PLAN

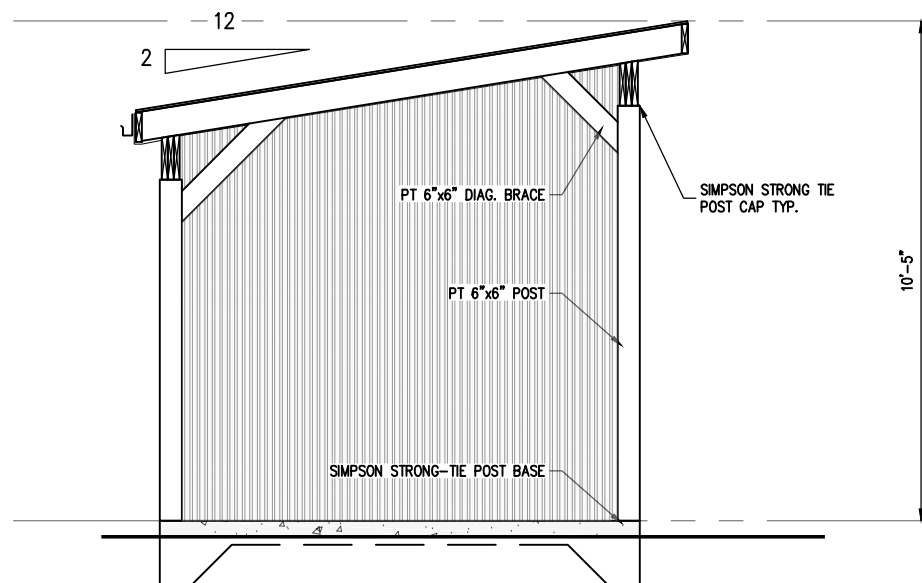
SCALE	AS NOTED
DATE	12APR21
DRAWN	JA
DESIGNED	ZL
CHECKED	ZL



PROJECT NO.	SHEET NO.
20-181	S3.0



1 FRONT ELEVATION
Scale: 1/4" = 1'-0"



2 SIDE ELEVATION
Scale: 1/4" = 1'-0"

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REV.	DATE	REMARKS

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HAMILTON, ON.

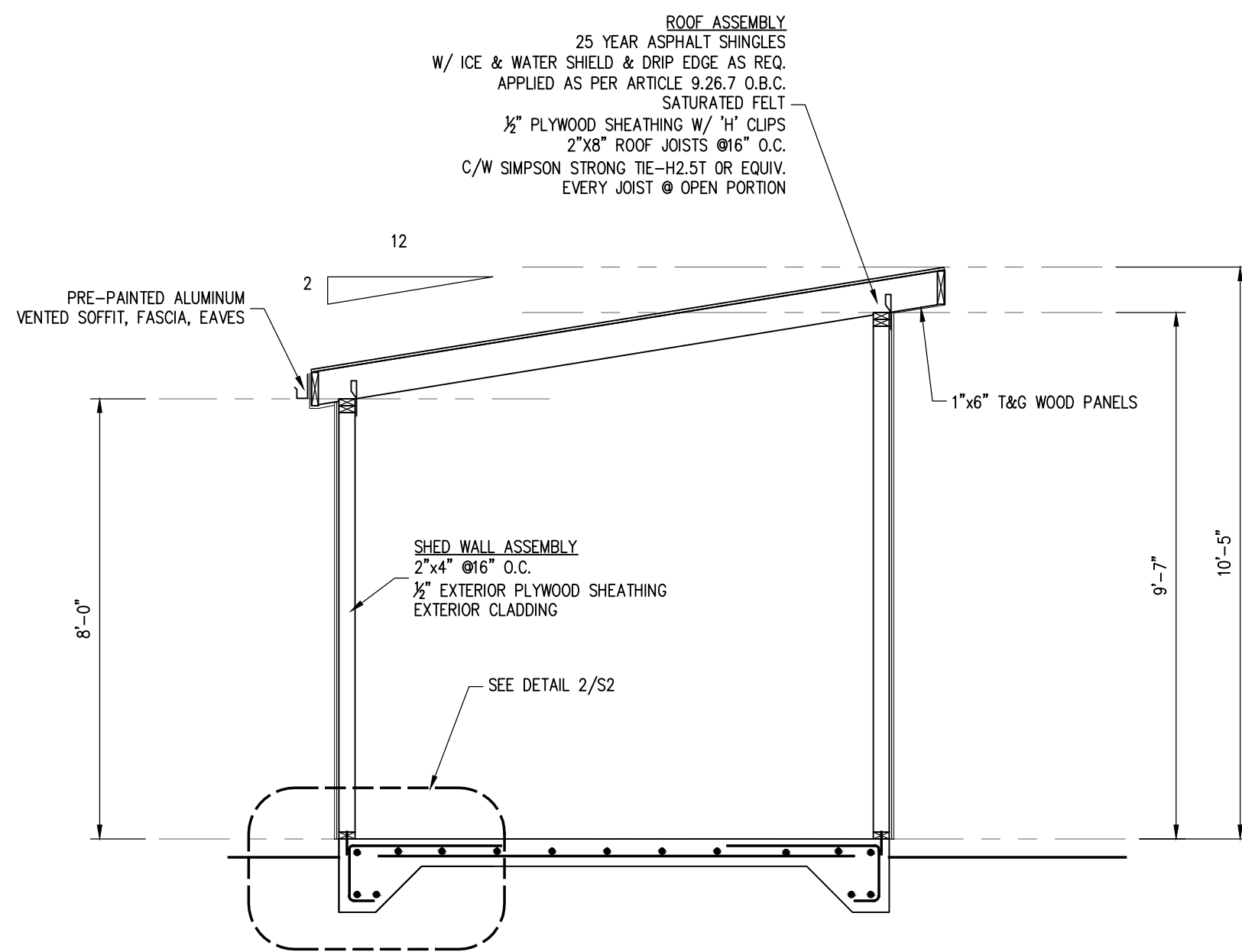
DRAWING TITLE

ELEVATIONS

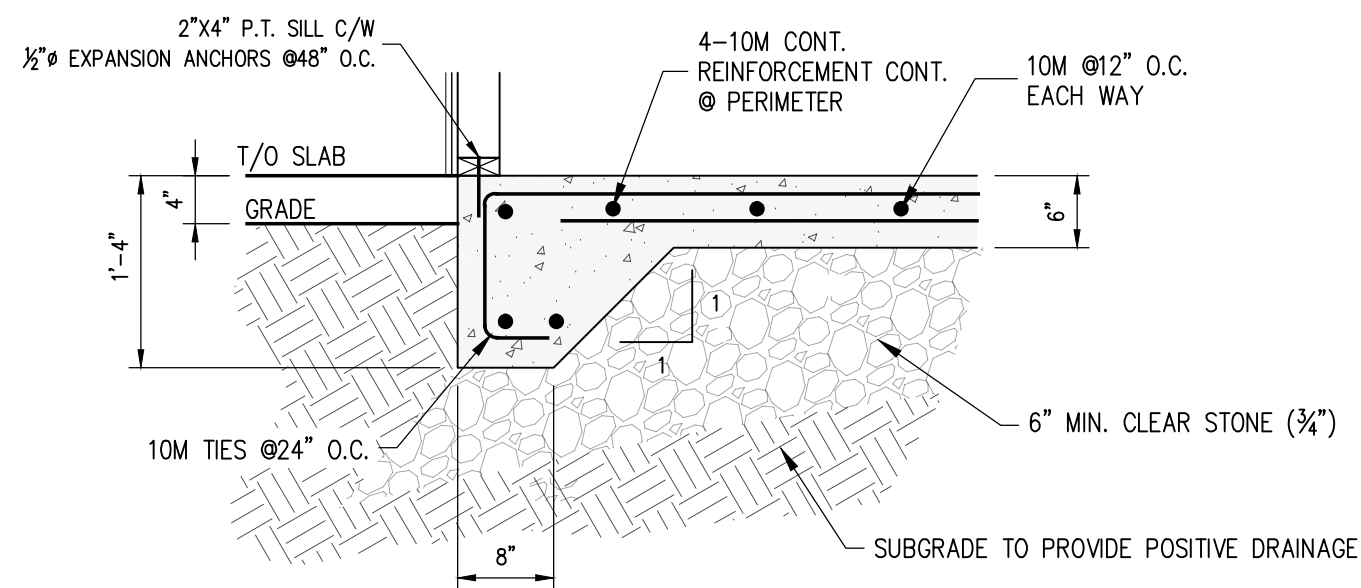
SCALE	AS NOTED
DATE	12APR21
DRAWN	JA
DESIGNED	ZL
CHECKED	ZL



PROJECT NO.	SHEET NO.
20-181	S4.0



1 CROSS SECTION
Scale: 3/8" = 1'-0"



2 SLAB DETAIL
Scale: 3/4" = 1'-0"

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HAMILTON, ON.

DRAWING TITLE

SECTIONS

SCALE	AS NOTED
DATE	12APR21
DRAWN	JA
DESIGNED	ZL
CHECKED	ZL



PROJECT NO.	SHEET NO.
20-181	S5.0



Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	
Registered Owners(s)	Brad Dykman Andrea Dykman	
Applicant(s)*	THOMAS LUKACS ZOLTAN ENGINEERING INC.	
Agent or Solicitor	Gerrit Vander Meulen ZOLTAN ENGINEERING INC.	

Note: Unless otherwise requested all communications will be sent to the agent, if any. Please mail the sign directly to the owner for them to post. Please direct all email communication to gerrit@zoltanengineering.com

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

The proposal is to add an accessory building to a lot that already has an accessory building area over the allowed area. The current zoning by-law allows a total accessory building area of 200m² and the proposed plans have a total accessory building area of 245m².

5. Why it is not possible to comply with the provisions of the By-law?

The property already has two accessory buildings with a total area of 217m². the proposal is to add a small pool shed with an area of 28m². The by-law specifies total accessory building area should be the lessor of 200m² or 5% of the lot area (530m²). Since this is such a large lot it is reasonable to allow a larger area of accessory buildings.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

1126 Centre Road, Hamilton, ON, L8N 2Z7

7. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐
Agricultural ☐ Vacant ☐

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☒ Unknown ☐

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?
Yes ☐ No ☒ Unknown ☐

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?
Information provided by owner


8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☒

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

2021/04/20
Date


Signature Property Owner
~~Brad Dykman~~ **ANDREA DYKMAN**
Print Name of Owner

10. Dimensions of lands affected:
Frontage 32.7 m
Depth 195m
Area 10624 m2
Width of street 7 m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)
Existing:
223.5 m2 single family dwelling, 1-storey.
64 m2 1 car garage.
153 m2 1-storey storage building.

Proposed
28 m2 pool shed: 3m wide by 9m long, 3.2m high.

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)
Existing:
223.5 m2 dwelling: front setback 9.9m, rear setback 170.6 m, side setback 3.3 m
64 m2 garage: front setback 15.5m, rear setback 171.4 m, side setback 1.5 m
153 m2 Storage Building.: front setback 103 m, rear setback 83.3 m, side setback 10.8 m
Proposed:
28 m2 pool shed: front setback 44.3 m, rear setback 141.6 m, side setback 9.6 m

13. Date of acquisition of subject lands:
May 25th, 2012
-
14. Date of construction of all buildings and structures on subject lands:
More than 50 years ago.
-
15. Existing uses of the subject property:
Residential dwelling
16. Existing uses of abutting properties:
Residential dwellings
17. Length of time the existing uses of the subject property have continued:
More than 50 years ago.
18. Municipal services available: (check the appropriate space or spaces)
Water _____ Connected _____
Sanitary Sewer _____ Connected _____
Storm Sewers _____
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
21. Has the owner previously applied for relief in respect of the subject property?
☒ Yes ☐ No
If the answer is yes, describe briefly.
Minor variance FI/A-18:426 to permit a 45m² addition to the house. The application was approved but the work was never completed.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
☐ Yes ☒ No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.