

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: FL/A-21:194

APPLICANTS: Owner James Smith
Agent Jaret Smith

SUBJECT PROPERTY: Municipal address **1140 Sodom Rd., Flamborough**

ZONING BY-LAW: Zoning By-law 05-200, as Amended by By-Law 15-173 & 21-070

ZONING: A2 district (Rural)

PROPOSAL: To permit the construction of a one (1) storey building located in the rear yard and accessory to existing single detached dwelling notwithstanding that;

Hamilton Zoning By-Law 05-200 Current Regulations for Accessory Buildings in All Zones under Subsection 4.8, 4.8.2:

1. A maximum 5.5 % total lot coverage shall be permitted instead of the maximum permitted 5%; and
2. A maximum Gross Floor Area of 223.0 m² shall be permitted instead of the maximum permitted gross floor area of 200.0 m².

Hamilton Zoning By-Law 05-200 as amended by By-Law 21-070 – New Accessory Buildings Regulations under Section 4 (Subsection 4.8, 4.8.1 & 4.8.2) within By-Law 21-070:

1. A maximum 5.5 % total lot coverage shall be permitted instead of the maximum permitted 5%; and
2. A maximum Gross Floor Area of 223.0 m² shall be permitted instead of the maximum permitted gross floor area of 200.0 m².

Notes:

Hamilton Zoning By-Law 05-200 Current Regulations for Accessory Buildings in All Zones under Subsection 4.8, 4.8.2:

The usual projections of window sills, chimney breasts, belt courses, cornices, eaves, troughs and other similar architectural features, ductwork, venting and other similar appurtenances may be permitted in any required yard, provided that no such feature shall project more than 0.6 metres into the required yard, or to a maximum of half the distance

of the required yard, whichever is the lesser. No details provided; therefore, further variances may be required.

Hamilton Zoning By-Law 05-200 as amended by By-Law 21-070 – New Accessory Buildings Regulations under Section 4 (Subsection 4.8, 4.8.1 & 4.8.2) within By-Law 21-070:

Notwithstanding Subsection 4.6 a), an eave or gutter of any Accessory Building may encroach into any required yard to a maximum of 0.45 m. No details provided; therefore, further variances may be required.

This application will be heard by the Committee as shown below:

DATE:	Thursday, June 17th, 2021
TIME:	3:35 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	To be streamed at
	www.hamilton.ca/committeeofadjustment
	for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: June 1st, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

Monday, May 03, 2021

The City of Hamilton
Committee of Adjustment
Planning and Economic Development Department
71 Main Street West, 5th Floor
Hamilton, Ontario
L8P 4Y5

Via Email

Attn: Ms. Jamila Sheffield
Secretary-Treasurer, Committee of Adjustment

RE: Minor Variance Application 1140 Sodom Road

Dear Madam,

We are pleased to provide you with the enclosed submission in support of an application for Minor Variance for 1140 Sodom Road. Please find the following enclosed materials:

1. One (1) electronic copy of signed Minor Variance application form
2. One (1) electronic copy of stamped engineering drawings for the project, Prepared by Kalos Engineering.
3. One (1) electronic copy of signed letter of consent from each neighbor within the specified distance

The proposed building would be built in the south-west corner of the property. The building in this location would be surrounded by a large scale tree/plant nursery including many greenhouses and structures larger than the proposed building. In this location the building will blend into its surroundings. The property has one abutting neighbor to the west, this property has a thick row of cedars on the south side of the property helping to block views to the rear of the subject land and the proposed building location.

Attached in this submission are letters of consent from each neighbor within 60m of 1140 sodom road. The project has been discussed with each neighbor and plans presented to allow for the property owners to remain transparent and respectful to neighbours in the area.

Thank you for your co-operation in this matter. We look forward to being scheduled in the next available committee hearing. Should you have any questions or require any additional information, please do not hesitate to contact us.

Cordially,

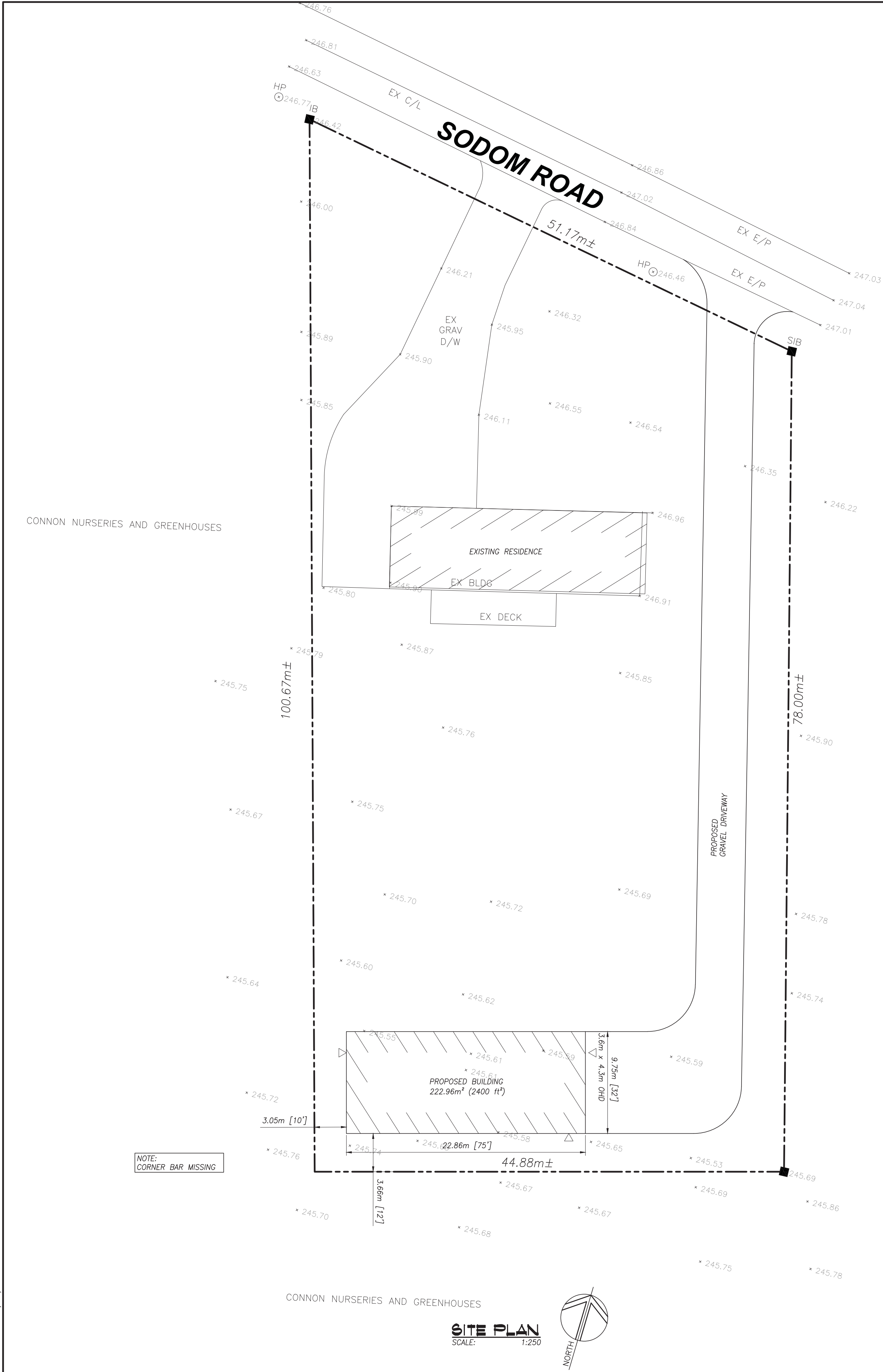


Jaret Smith




James Smith

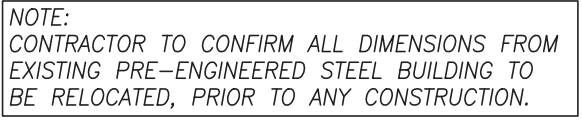
PLOT DATE: 2021/05/03 8:45 AM



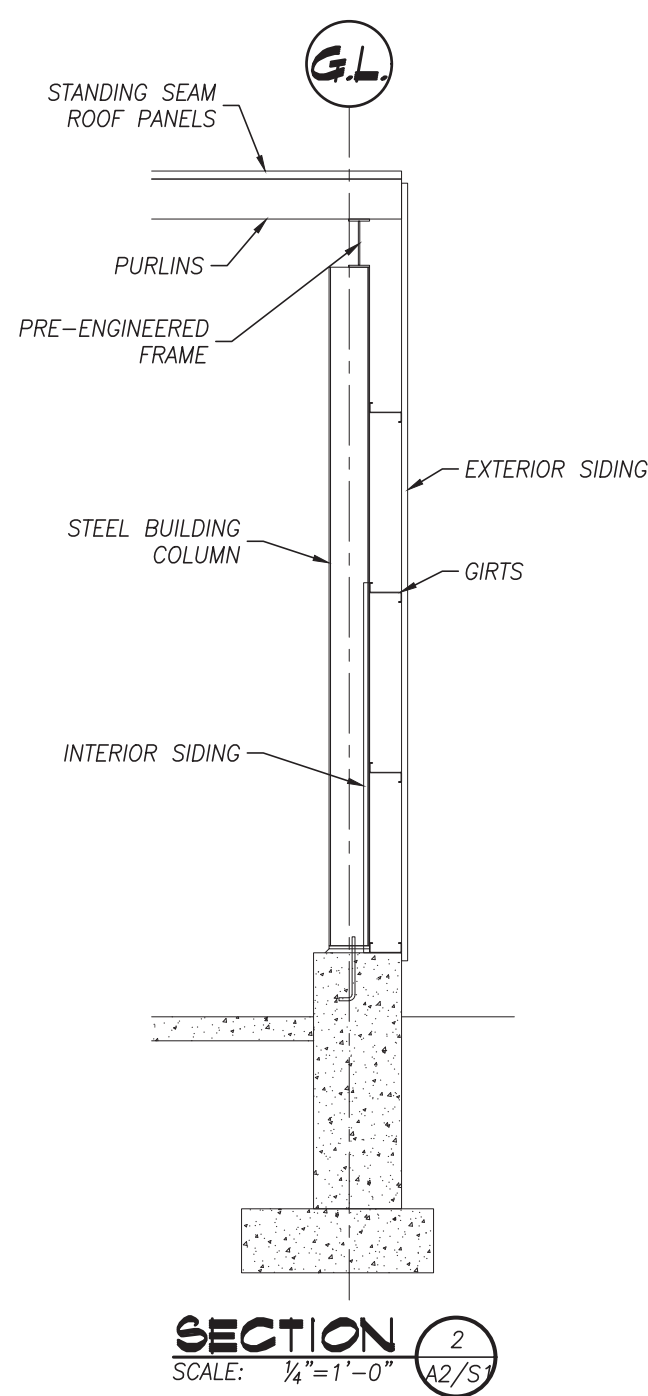
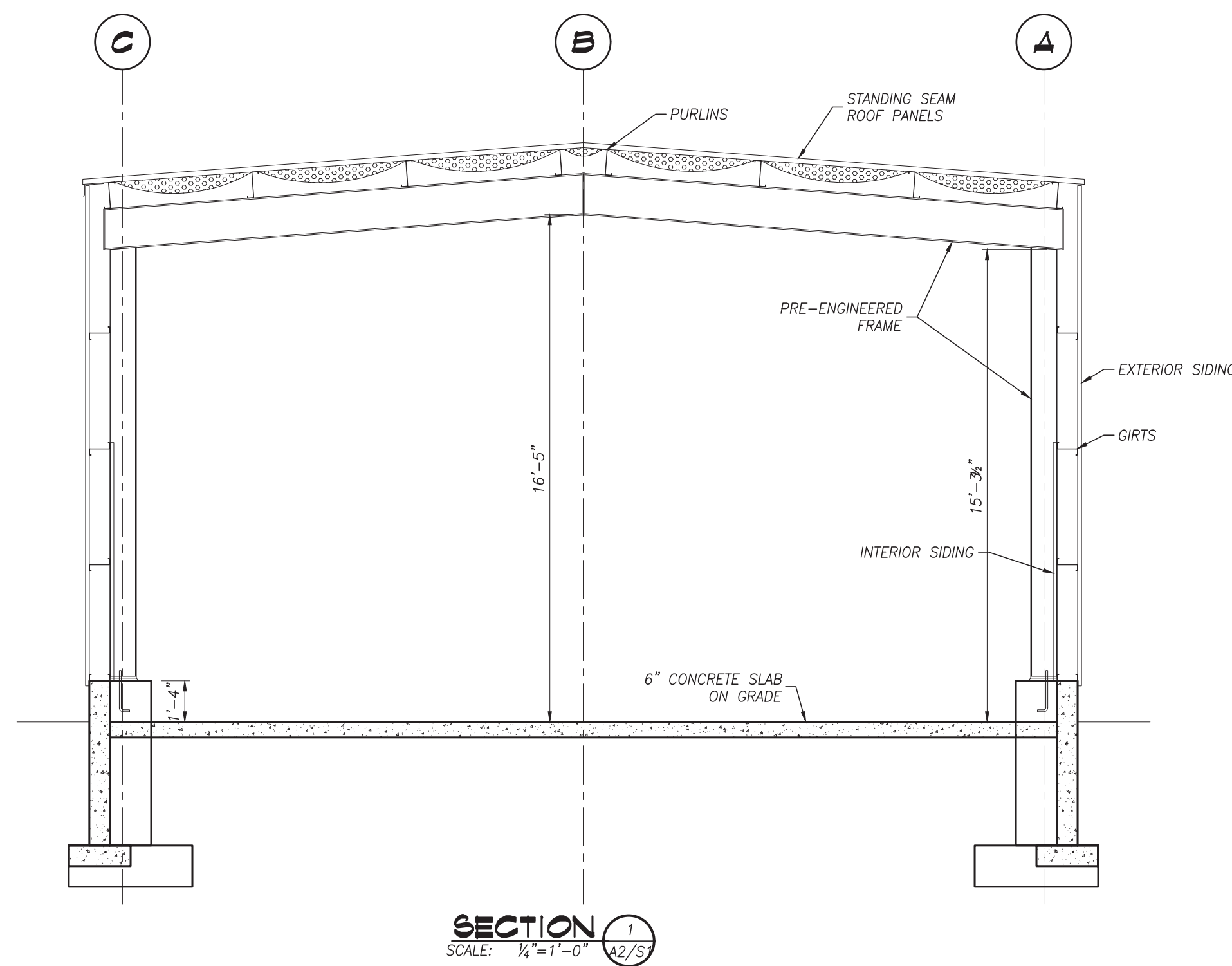
KEY PLAN


1	21-05-03	ISSUED FOR PERMIT
No.	DATE	REVISION
R E V I S I O N S		
		
300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119		
SMITH PRE-ENGINEERED BUILDING RELOCATION		
1140 SODOM ROAD		
DUNDAS ONTARIO		
SITE PLAN		
DATE MARCH 2021	DRAWN BY T.W.	DRAWING No. A1
PROJECT No. 21072	CHECKED BY H.A.P.H.	



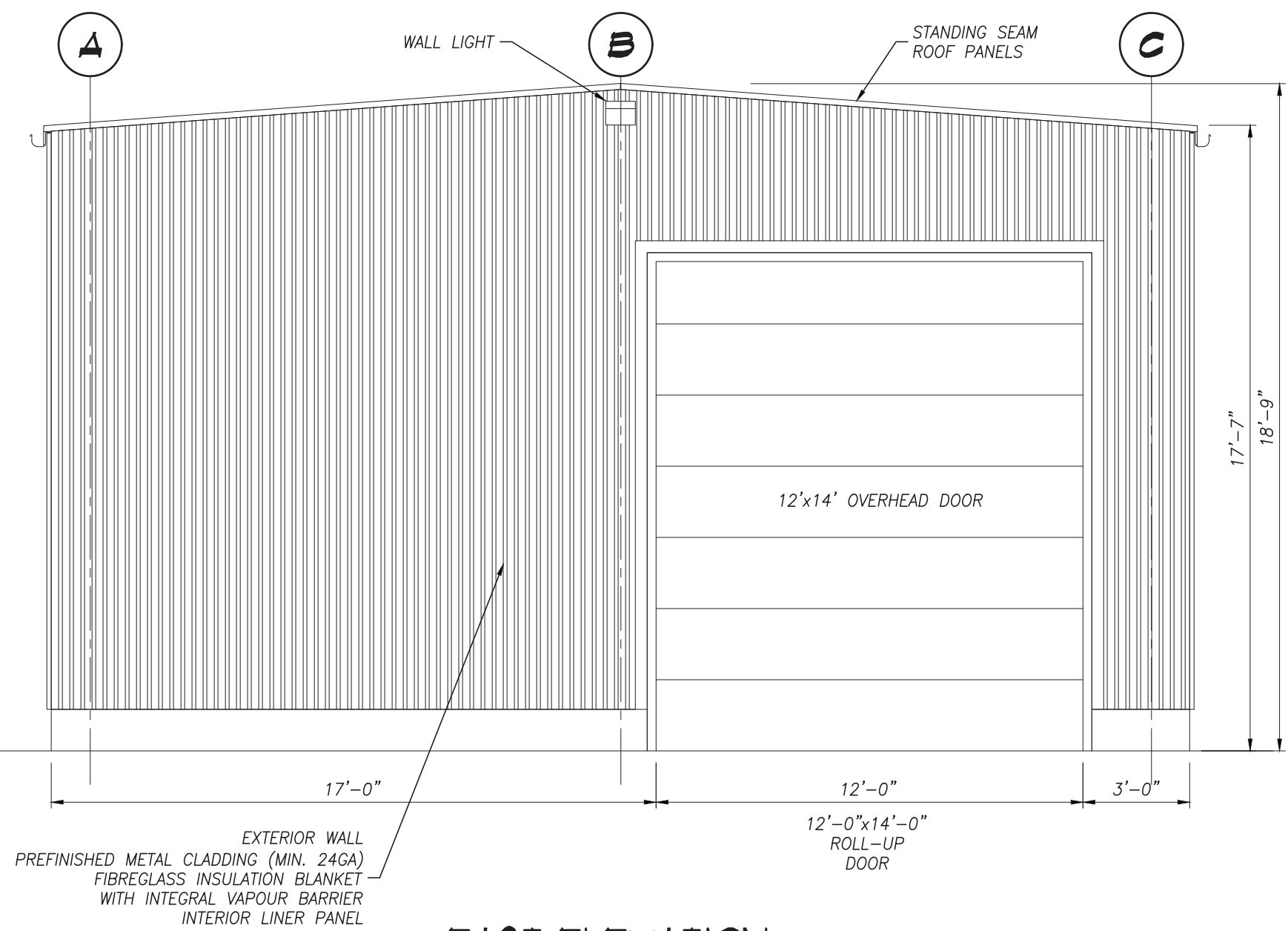


DOOR SCHEDULE															
DOOR											FRAME			REMARKS	HARDWARE
NUMBER	FROM	TO	TYPE	WIDTH	HEIGHT	THICK	MATERIAL	LOUVER	GLAZED	RATING	TYPE	MATERIAL	RATING		
D01	BUILDING	EXTERIOR	EXIST.	3'-4"	7'-0"	EXIST.	EXIST.	—	IG	—	1	HM	—	EXISTING DOOR TO BE REINSTATED	EXISTING HARDWARE TO BE REINSTATED
D02	BUILDING	EXTERIOR	EXIST.	3'-4"	7'-0"	EXIST.	EXIST.	—	IG	—	1	HM	—	EXISTING DOOR TO BE REINSTATED	EXISTING HARDWARE TO BE REINSTATED
D03	BUILDING	EXTERIOR	EXIST.	12'-0"	14'-0"	EXIST.	EXIST.	—	—	—	2	C-CHANNEL	—	EXISTING DOOR TO BE REINSTATED	EXISTING HARDWARE TO BE REINSTATED

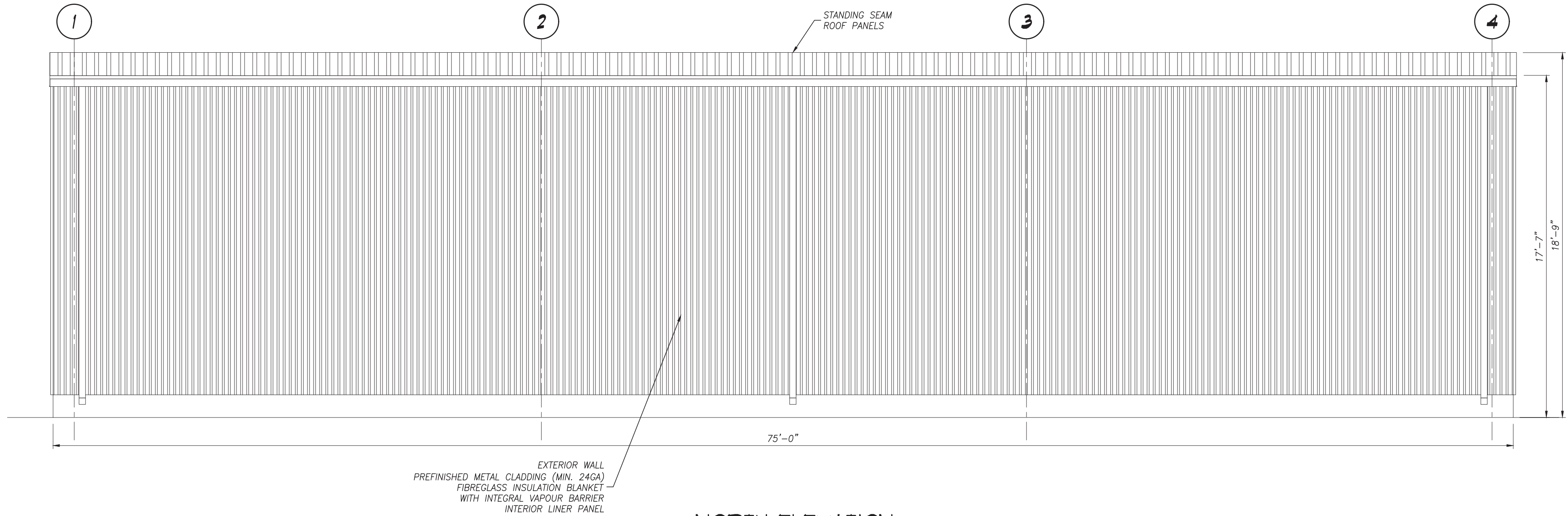


1	21-05-03	ISSUED FOR PERMIT	
No.	DATE	REVISION	
R E V I S I O N S			
			
300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119			
SMITH PRE-ENGINEERED BUILDING RELOCATION			
1140 SODOM ROAD			
DUNDAS		ONTARIO	
FLOOR PLAN			
DATE MARCH 2021	DRAWN BY T.W.		DRAWING No. A2
PROJECT No. 21072	CHECKED BY H.A.P.H.		

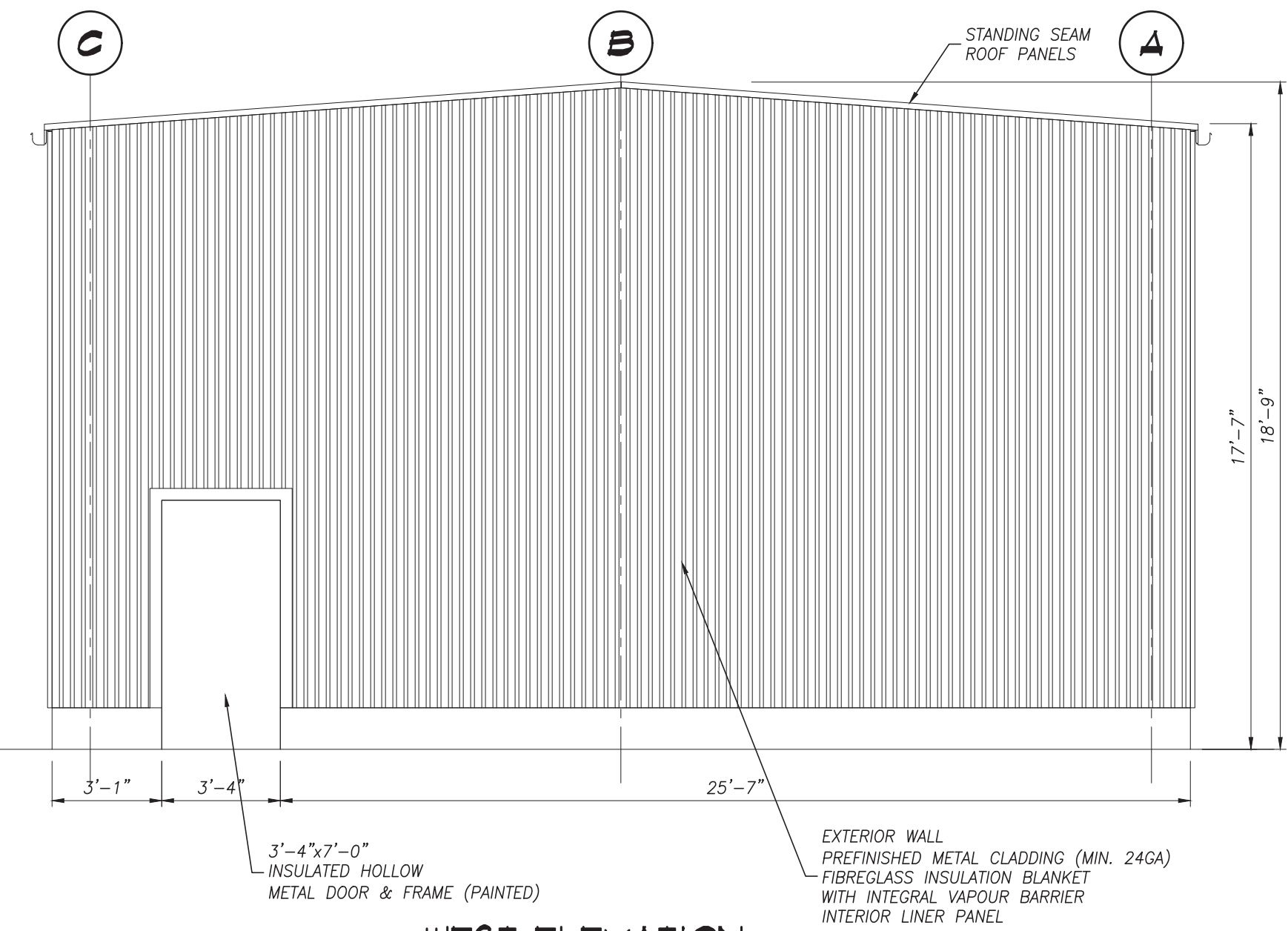
PLOT DATE: 2021/05/03 8:45 AM



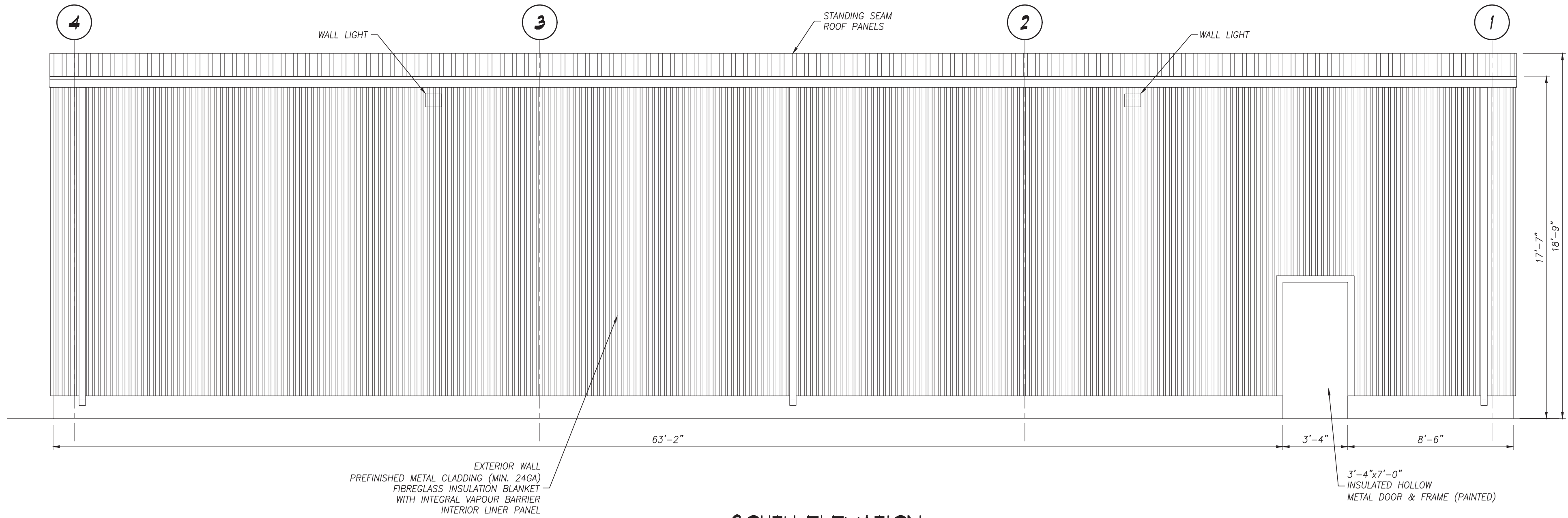
EAST ELEVATION
SCALE: 1/4"=1'-0"



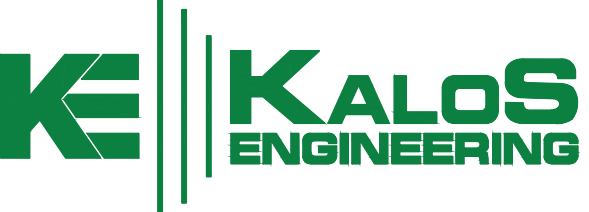
NORTH ELEVATION
SCALE: 1/4"=1'-0"



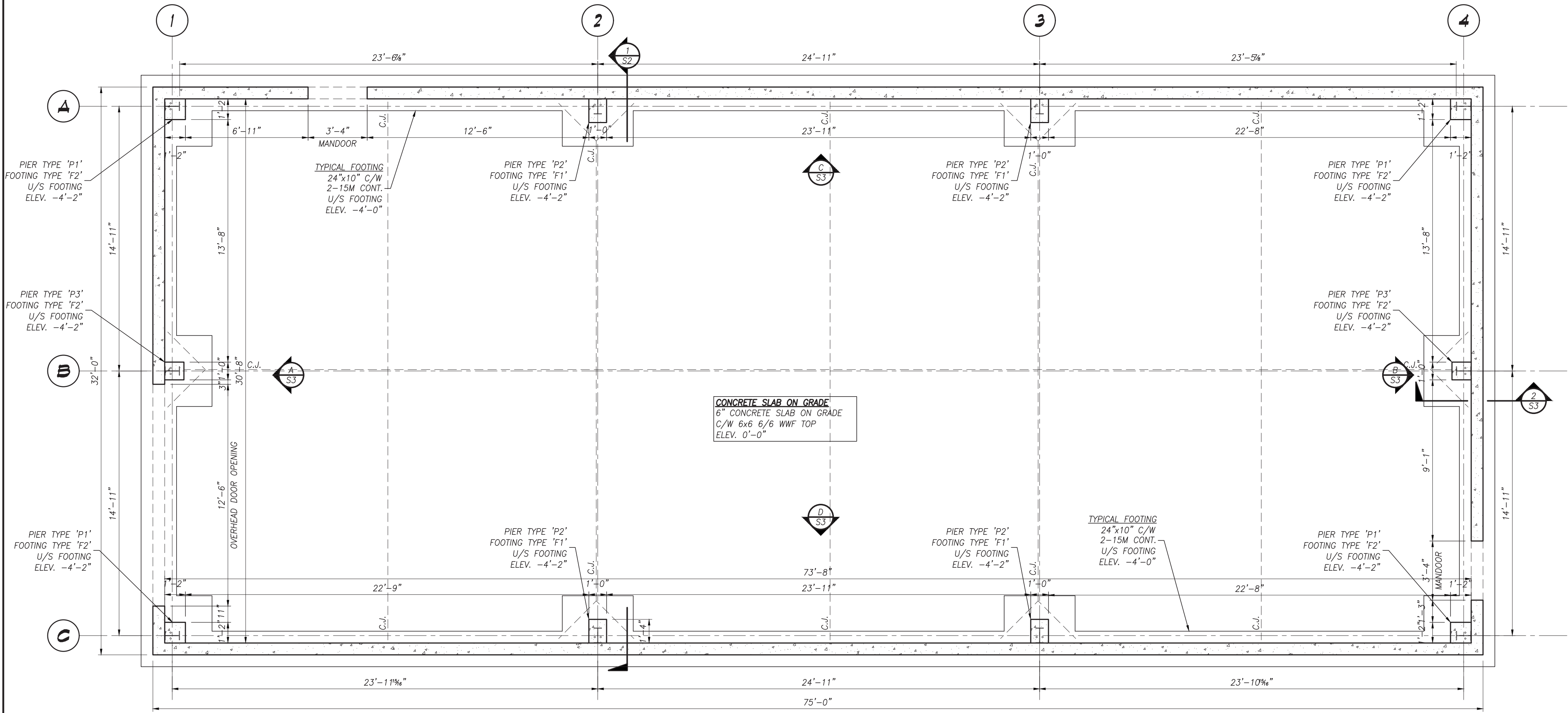
WEST ELEVATION
SCALE: 1/4"=1'-0"



SOUTH ELEVATION
SCALE: 1/4"=1'-0"

1	21-05-03	ISSUED FOR PERMIT
No.	DATE	REVISION
R E V I S I O N S		
 300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119		
SMITH PRE-ENGINEERED BUILDING RELOCATION 1140 SODOM ROAD DUNDAS ONTARIO		
ELEVATIONS		
DATE MARCH 2021	DRAWN BY T.W.	DRAWING No. A3
PROJECT No. 21072	CHECKED BY H.A.P.H.	





FOUNDATION PLAN
SCALE: 1/4"=1'-0"

PIER SCHEDULE			
TYPE	SIZE	REINFORCING	T.O. PIER ELEVATION
'P1'	1'-10" x 1'-10"	4-20M VERT. & 10M TIES @300	+1'-4"
'P2'	2'-0" x 1'-0"	4-20M VERT. & 10M TIES @300	+1'-4"
'P3'	1'-9" x 1'-0"	4-20M VERT. & 10M TIES @300	+1'-4"

NOTE: ELEVATION 00.00mm = (FINISHED GROUND FLOOR ELEVATION)

FOOTING SCHEDULE			
TYPE	SIZE	REINFORCING	U/S FOOTING ELEVATION
'F1'	4'-0" x 4'-0" x 12"	5-20M BOTTOM E.W.	SEE PLAN
'F2'	3'-0" x 3'-0" x 12"	4-20M BOTTOM E.W.	SEE PLAN

LOADING SUMMARY DESIGN STANDARDS

- ONTARIO BUILDING CODE, 2012, PART 4, STRUCTURAL DESIGN
- CAN/CSA-A23.3-14, DESIGN OF CONCRETE STRUCTURES
- CAN/CSA-A23.4-16, DESIGN OF PRECAST CONCRETE STRUCTURES
- CAN/CSA-S304.1-14, MASONRY DESIGN FOR BUILDINGS
- CAN/CSA-S16-14, LIMIT STATES DESIGN OF STEEL STRUCTURES
- CAN/CSA-S136-16, DESIGN OF COLD FORMED STEEL STRUCTURAL MEMBERS
- CAN/CSA-086-14, ENGINEERING DESIGN IN WOOD

SNOW, ICE AND RAIN LOADS

- APPLIED PER OBC, PART 4, SECTION 4.1.6 HAMILTON, WEST OF 403, ABOVE ESCARPMENT
- IMPORTANCE FACTOR, I_s 1.0 (SLS) 1.0 (ULS)
 - GROUND SNOW LOAD, S_g 1.10 kPa (23.0 PSF)
 - ASSOCIATED RAIN LOAD, S_r 0.4 kPa (8.35 PSF)
 - WIND EXPOSURE FACTOR, C_w 1.0
 - ROOF SNOW LOAD, S 1.28 kPa (26.7 PSF)
 - DRIFT LOADS PER CLAUSE 4.1.6.2.8
 - SLOPE FACTORS PER CLAUSE 4.1.6.2.(5) TO (7)

WIND LOADS

- APPLIED PER OBC, PART 4, SECTION 4.1.7
- IMPORTANCE FACTOR, I_w 1.0 (SLS) 1.0 (ULS)
 - REFERENCE VELOCITY PRESSURE FOR STRUCTURAL MEMBERS 0.46 kPa (1/50 YEAR PROBABILITY) (9.6 PSF)
 - REFERENCE VELOCITY PRESSURE FOR CLADDING & NON-STRUCTURAL MEMBERS 0.36 kPa (1/10 YEAR PROBABILITY) (7.5 PSF)
 - GUST FACTORS, C_g :
 - 2.0 FOR WHOLE & MAIN STRUCTURAL MEMBERS
 - 2.5 FOR SMALL ELEMENTS INCLUDING CLADDING
 - 2.0 FOR INTERNAL PRESSURES
 - BUILDING INTERNAL PRESSURE CATEGORY 2, PER NBC 2010 STRUCTURAL COMMENTARY (PART B), COMMENTARY B.

SEISMIC LOADS

- APPLIED PER OBC, PART 4, SECTION 4.1.8
- IMPORTANCE FACTOR, I_e 1.0 (ULS)
 - $S_a(0.2)$ 0.260
 - $S_a(0.5)$ 0.128
 - $S_a(1.0)$ 0.061
 - $S_a(2.0)$ 0.0280
 - PGA 0.168
 - SOIL CLASS C (ASSUMED)
 - F_o 1.0

FLOOR LOADS

- APPLIED PER OBC, PART 4, TABLE 4.1.5.3
- GROUND FLOOR 4.8 kPa (100 PSF)

SEISMIC SWAY BRACING

ARTICLE 4.1.8.18(2) OF THE ONTARIO BUILDING CODE NOTES THAT IF THE PRODUCT OF $I_e \cdot F_o \cdot S_a(0.2)$ IS LESS THAN 0.35, THE REQUIREMENTS NOTED ABOVE NEED NOT APPLY. THESE VALUES ARE EXPLORED BELOW. THIS EXEMPTION IS NOT APPLICABLE TO POST-DISASTER BUILDINGS.

BASED ON THE ABOVE NOTED VALUES, THE PRODUCT OF $I_e \cdot F_o \cdot S_a(0.2) = 1.0 \cdot 1.0 \cdot 0.26 = 0.26$. GIVEN THIS IS LESS THAN THE THRESHOLD OF 0.35, THE APPLICATION OF THE LATERAL FORCE (V_p) TO ALL ELEMENTS AND COMPONENTS AND SWAY BRACING IS NOT REQUIRED.

GENERAL NOTES

- CHECK ALL DIMENSIONS ON THESE DRAWINGS WITH ALL OTHER DRAWINGS, INCLUDING BUT NOT LIMITED TO DRAWINGS PREPARED ARCHITECTURAL, MECHANICAL OR ELECTRICAL CONSULTANTS. REPORT ANY INCONSISTENCIES TO THE ENGINEER PRIOR TO COMMENCING WITH THE WORK. DO NOT SCALE THE DRAWINGS.
- THE DESIGN LIVE LOADS ARE INDICATED ON THE DRAWINGS. CONSTRUCTION LOADS SHALL NOT EXCEED THE DESIGN LOADS.
- THE COMPLETED STRUCTURE IS SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACING, SHORING AND ANY OTHER TEMPORARY OR PERMANENT MEASURES AS REQUIRED DURING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY SUPPORT OF EXISTING OR ADJACENT STRUCTURES AS REQUIRED. ALL BRACING AND SHORING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- CONSTRUCTION FEATURES NOT FULLY SHOWN ARE COMPARABLE TO SIMILAR CONDITION DETAILS.
- REFER TO OTHER CONSULTANTS DRAWINGS FOR DETAILS OF OPENINGS, PITS, CHAMFERS, DEPRESSIONS NOT INDICATED ON THE STRUCTURAL DRAWINGS.
- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST ONTARIO BUILDING CODE, LATEST APPLICABLE REGULATIONS AND GOOD CONSTRUCTION PRACTICES.
- THE STRUCTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DRAWINGS AND SPECIFICATIONS.
- CLARIFY ANY QUERIES WITH THE ENGINEER REGARDING THE INTERPRETATION OF THE DRAWINGS, PRIOR TO THE COMMENCEMENT OF ANY WORK.

NOTE:
CONTRACTOR TO CONFIRM ALL DIMENSIONS FROM EXISTING PRE-ENGINEERED STEEL BUILDING TO BE RELOCATED, PRIOR TO ANY CONSTRUCTION.

CONCRETE NOTES

- ALL STRUCTURAL CONCRETE ELEMENTS HAVE BEEN DESIGNED IN ACCORDANCE WITH CSA STANDARD CAN/CSA A23.3. ALL CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH CSA STANDARD CAN/CSA A23.1.
- MINIMUM CONCRETE STRENGTH AT 28 DAYS SHALL BE:
 - FOOTINGS - 25 MPa TYPE N
 - FOUNDATION WALLS - 25 MPa TYPE F1
 - SLAB ON GRADE - 25 MPa TYPE NSLUMP SHALL BE 3" \pm 1".
AGGREGATE SHALL BE 3/4" MAXIMUM.
AIR ENTRAINMENT TO BE 6% \pm 1% WHEN EXPOSED TO EXTERIOR.
CONTRACTOR TO SUBMIT CONCRETE MIX DESIGN FOR REVIEW
- THE DEFORMED REINFORCING STEEL SHALL CONFORM TO CSA STANDARD G30.18M-09 GRADE 300R FOR STIRRUPS AND TIES AND GRADE 400R FOR ALL OTHER REINFORCING. UNLESS OTHERWISE NOTED THE REINFORCING LAP LENGTH SHALL BE 'CLASS B' IN SPLICES. ALL REINFORCING HOOKS AND BENDS SHALL BE IN ACCORDANCE WITH A23.1.
- WELDED WIRE FABRIC SHALL BE IN ACCORDANCE WITH CSA G30.5. ALL MESH SHALL BE CHAIED PRIOR TO THE CONCRETE POUR. LIFTING OF THE MESH DURING THE CONCRETE POUR WILL NOT BE PERMITTED. ALL SPLICES SHALL BE A MINIMUM OF TWO CROSSWIRE SPACINGS PLUS 2".
- THE REINFORCING COVER FOR CONCRETE SHALL BE:
 - 3" FOR CONCRETE AGAINST EARTH
 - 1/2" FOR FORMED CONCRETE EXPOSED TO EARTH OR WEATHER WHERE THE REINFORCING BAR IS 15M OR SMALLER
 - 2" FOR FORMED CONCRETE EXPOSED TO EARTH OR WEATHER WHERE THE REINFORCING BAR IS 20M OR LARGER
 - 1" FOR INTERIOR CONCRETE. ALL CHAIRS, BOLSTERS, SPACERS AND BAR SUPPORTS SHALL BE IN ACCORDANCE WITH A23.1.
- FOOTINGS SHALL BEAR ON NATIVE UNDISTURBED SOIL OR ENGINEERED FILL WITH A MINIMUM BEARING RESISTANCE OF:
 - 3000 psf (SLS)
 - 4000 psf (ULS).THE CONTRACTOR SHALL VERIFY THE CAPACITY PRIOR TO PLACEMENT OF CONCRETE.
- THE LINE OF SLOPE BETWEEN ADJACENT FOOTINGS OR EXCAVATION OR STEP DOWN FOOTINGS SHALL NOT EXCEED A RISE OF 7 IN A RUN OF 10. STEP HEIGHT SHALL NOT EXCEED 2'-0".
- KEEP EXCAVATIONS DRY BEFORE CONCRETE IS PLACED. REMOVE ALL LOOSE MATERIAL, SOFT SOIL OR WATER PRIOR TO PLACING CONCRETE. PROVIDE A 3" MUD MAT FOR ALL FOOTINGS BELOW THE WATER TABLE.
- ALL FOOTINGS SHALL BE CENTRED ON THE WALL UNLESS OTHERWISE NOTED.
- THE FOOTING DESIGN IS BASED ON INFORMATION AVAILABLE AT THE TIME OF DESIGN. THE FOOTING DESIGN MAY BE ALTERED DURING CONSTRUCTION, IF THE SITE CONDITIONS WARRANT, BUT ONLY WITH THE EXPRESS PERMISSION OF THE ENGINEER.
- PROTECT ALL FOOTINGS, WALLS AND SLABS AGAINST FROST ACTION DURING CONSTRUCTION. ALL EXTERIOR FOOTINGS SHALL FOUNDED BELOW THE FROST LINE, MINIMUM 5'-0" BELOW GRADE.
- DO NOT BACKFILL AGAINST WALLS RETAINING EARTH UNTIL THE ELEMENTS PROVIDING LATERAL SUPPORT ARE COMPLETE. PLACE BACKFILL IN A MANNER WHERE THE ELEVATION DIFFERENCE ON EITHER SIDE OF THE WALL IS NO GREATER THAN 1'-6". PROVIDE TEMPORARY SHORING AS REQUIRED.
- SLAB-ON-GRADE CONSTRUCTION SHALL BE CAPABLE OF SUPPORTING 500 lbs/ft² WITHOUT RELATIVE SETTLEMENT.
- CONSTRUCT CONCRETE WALLS WITHOUT CONTROL JOINTS, UNLESS OTHERWISE NOTED. PROVIDE CHASES AND BEAMS POCKETS IN THE INTERIOR FACE OF THE WALL AS REQUIRED.
- PROVIDE DOWELS TO WALLS AND COLUMNS TO SUIT THE REINFORCING IN THE WALL OR COLUMN ABOVE.
- ALL ADHESIVE ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH THE HILTI HIT-HY200 (OR APPROVED EQUAL) PROCEDURES.

NOTE:

THIS BUILDING STRUCTURE IS BEING RELOCATED FROM BRANTFORD ONTARIO.

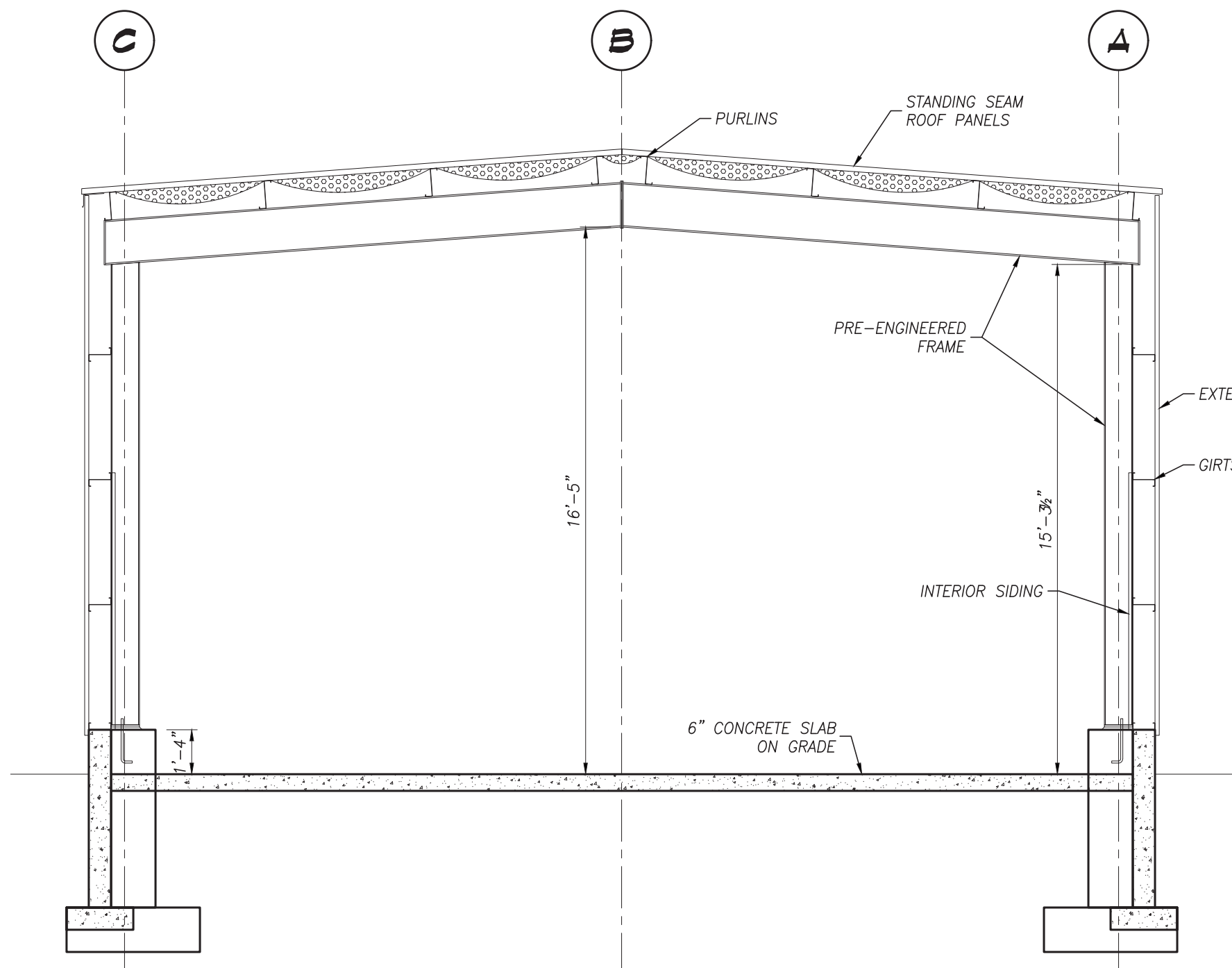
THE ORIGINAL DESIGN LOADS ARE AS FOLLOWS:

SNOW: $SS=1.3kN/m^2$ (27.2 psf)
RAIN: $Sr=0.4kN/m^2$ (9.0 psf)
DESIGN SNOW LOAD: $1.3*0.8+0.4=1.44kN/m^2$ (30.1 psf)

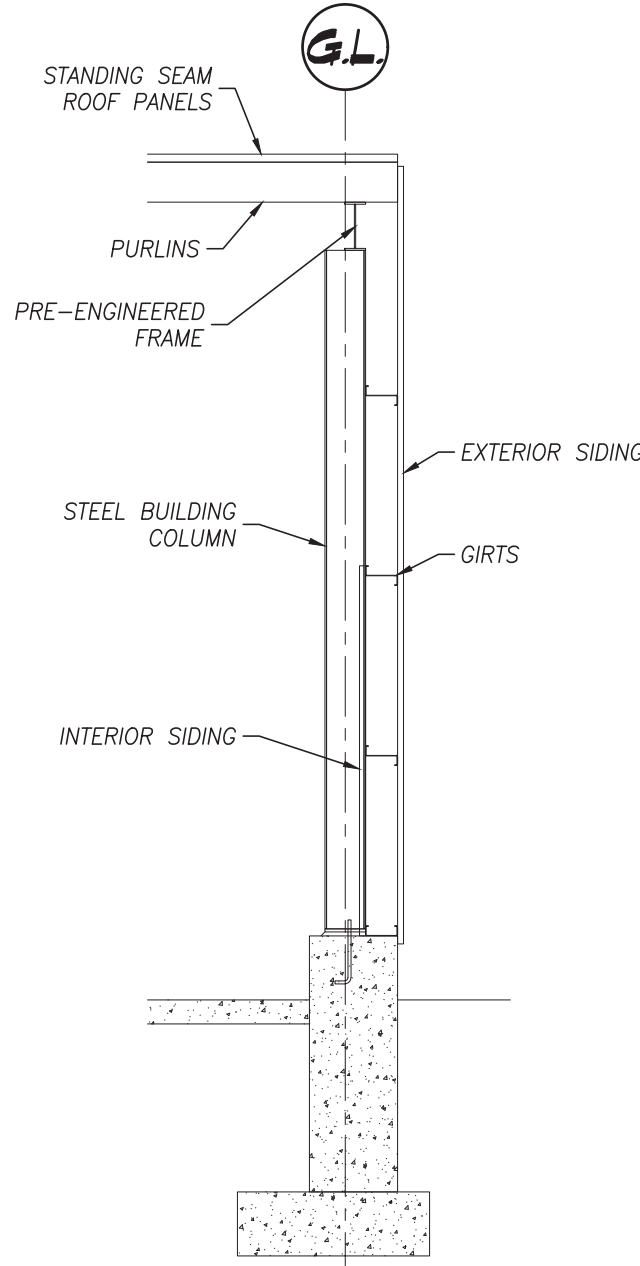
SINCE THE OBC LOADING IN THE NEW LOCATION IS LESS THAN THE ORIGINAL DESIGN, NO REINFORCING IS REQUIRED TO THE EXISTING STRUCTURE.



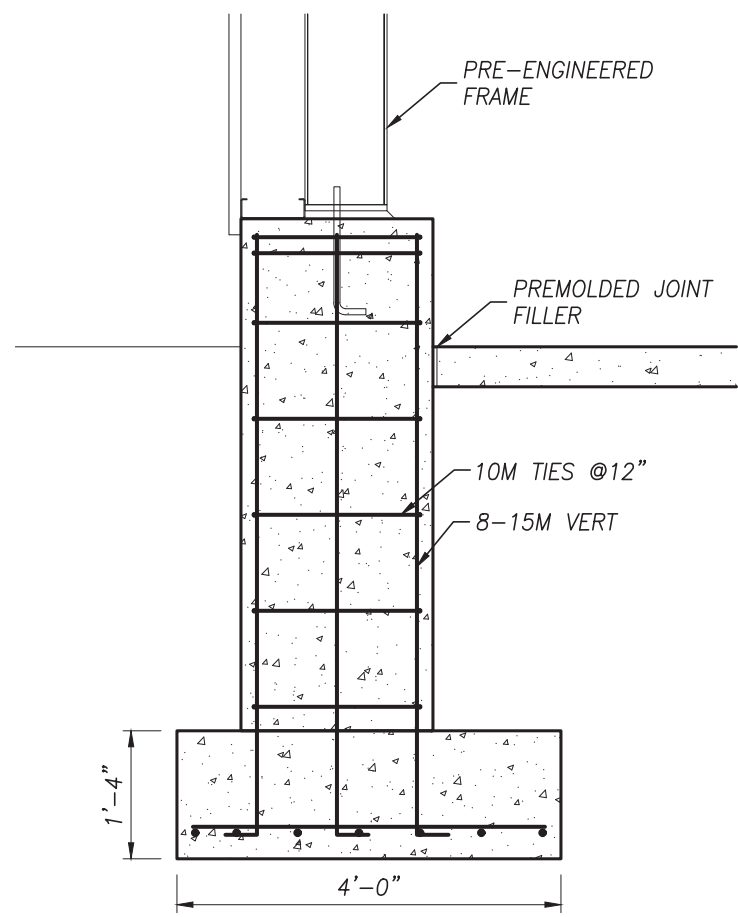
1	21-05-03	ISSUED FOR PERMIT
No.	DATE	REVISION
REVISIONS		
300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119		
SMITH PRE-ENGINEERED BUILDING RELOCATION		
1140 SODOM ROAD		
DUNDAS		ONTARIO
FOUNDATION PLAN		
DATE MARCH 2021	DRAWN BY T.W.	DRAWING No. S1
PROJECT No. 21072	CHECKED BY H.A.P.H.	



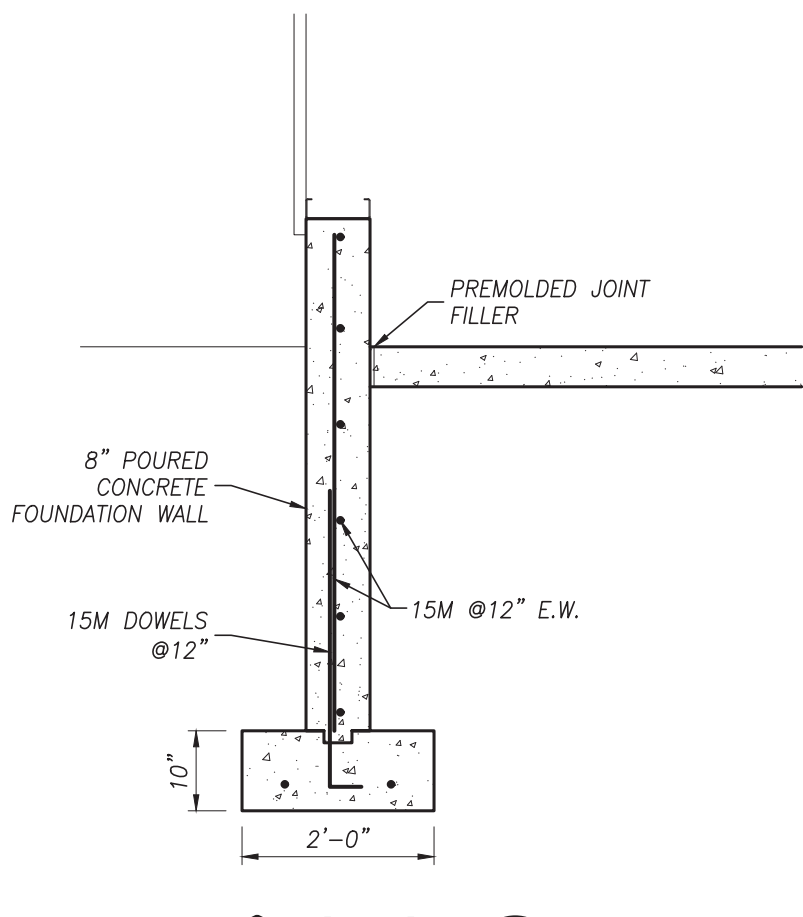
SECTION 1
SCALE: 1/4"=1'-0" (A2/S)



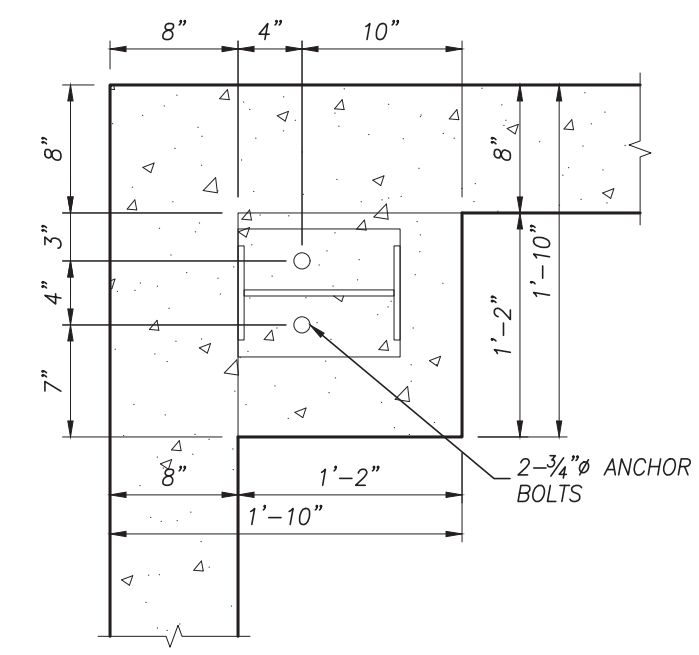
SECTION 2
SCALE: 1/4"=1'-0" (A2/S)



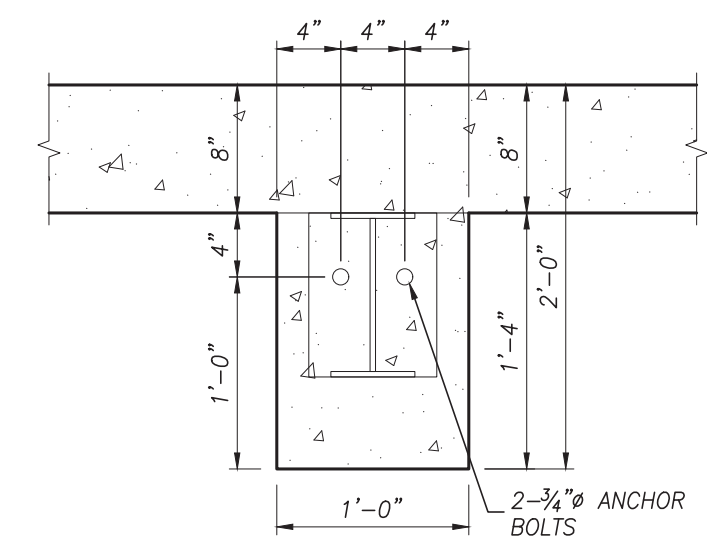
SECTION 3
SCALE: 1/2"=1'-0" (S1)



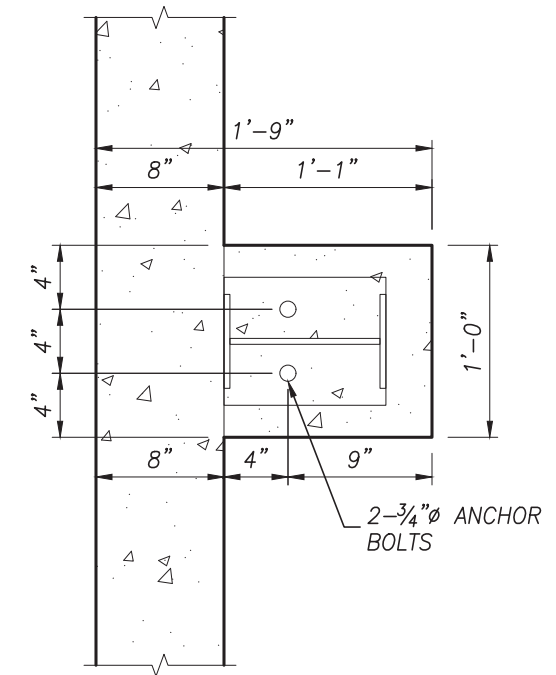
SECTION 4
SCALE: 1/2"=1'-0" (S1)



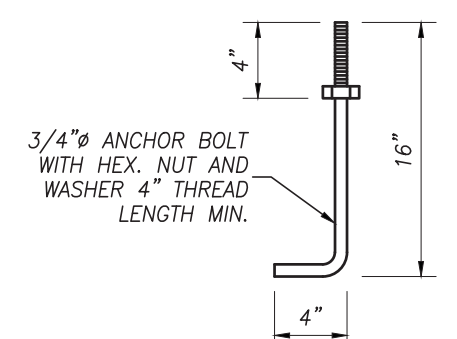
PIER 'P1' DETAIL
SCALE: 1"=1'-0"



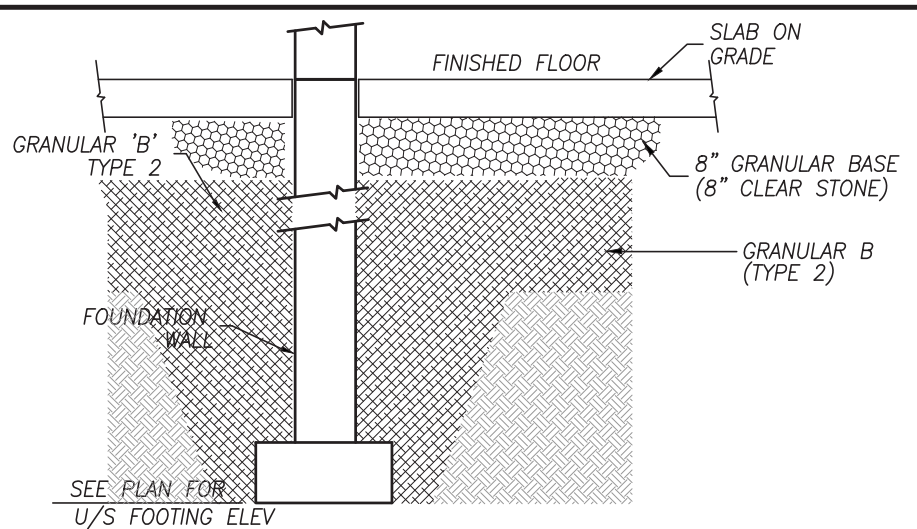
PIER 'P2' DETAIL
SCALE: 1"=1'-0"



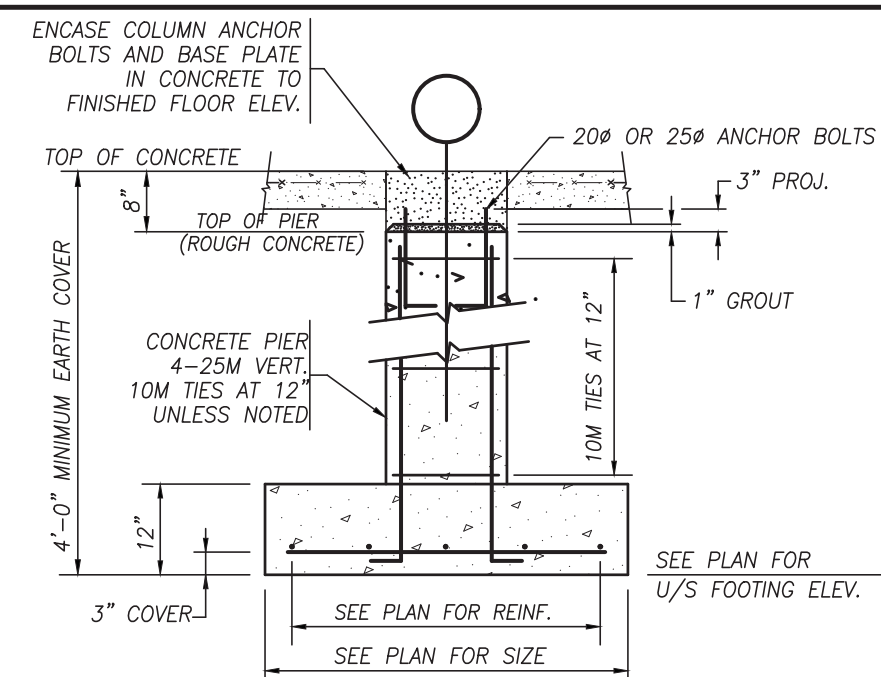
PIER 'P3' DETAIL
SCALE: 1"=1'-0"



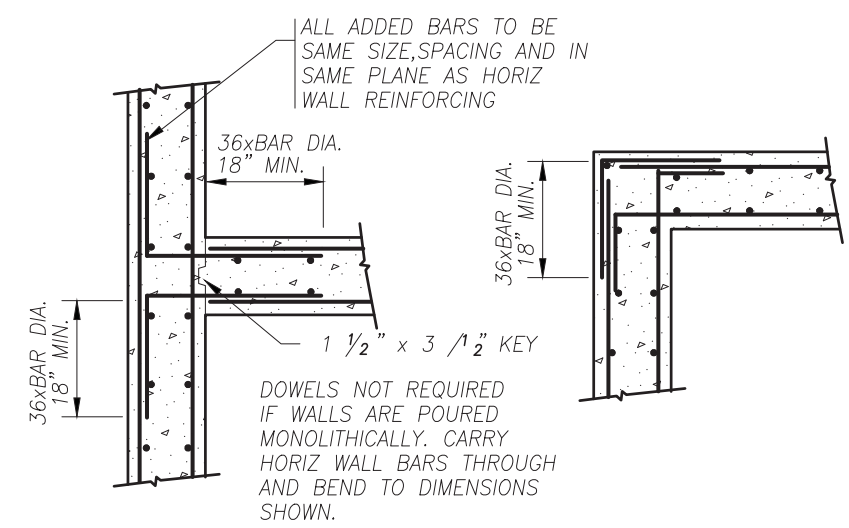
TYPICAL ANCHOR BOLT DETAIL
NOT TO SCALE



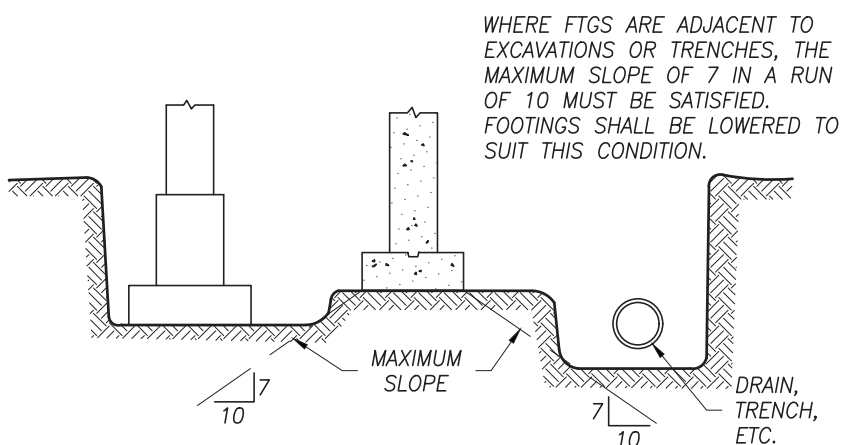
TYPICAL EXCAVATION AND BACKFILL AT FOUNDATION WALLS
NOT TO SCALE
(REQUIRED BOTH SIDES OF ALL INTERIOR AND EXTERIOR FOUNDATION WALLS)
(REINFORCING NOT SHOWN FOR CLARITY)
NOTE: NATIVE SOIL IS UNSUITABLE FOR BACKFILL



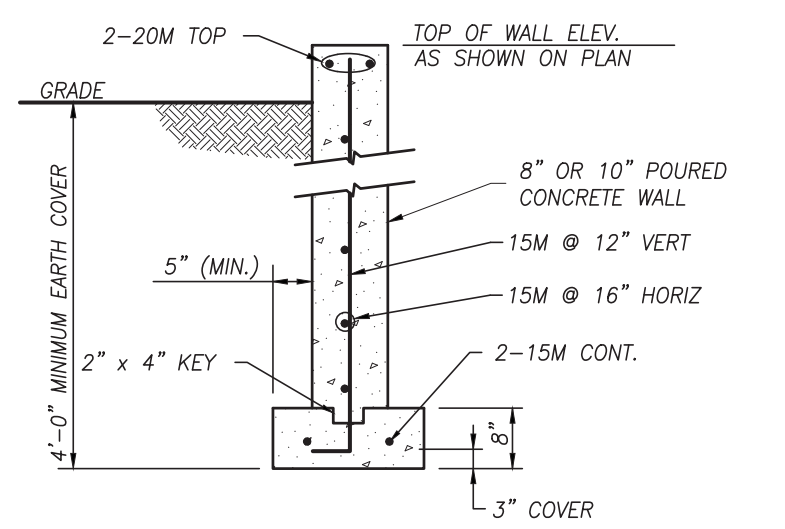
TYPICAL PIER FOOTING
NOT TO SCALE



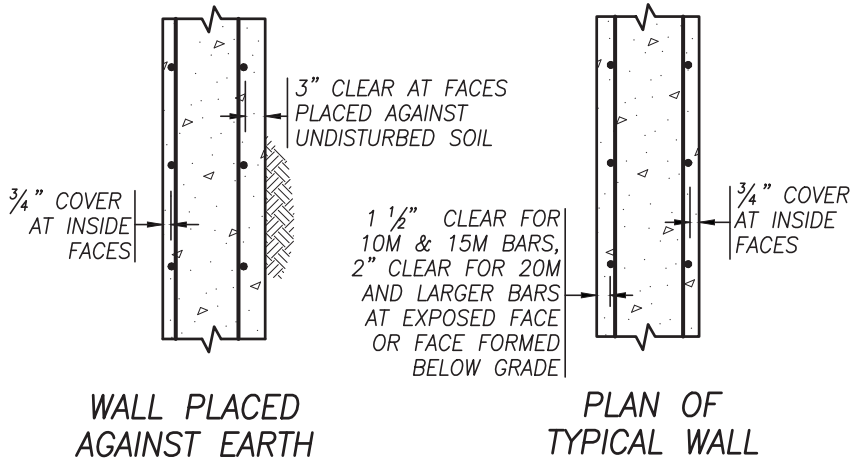
TYPICAL CORNER DETAILS
NOT TO SCALE



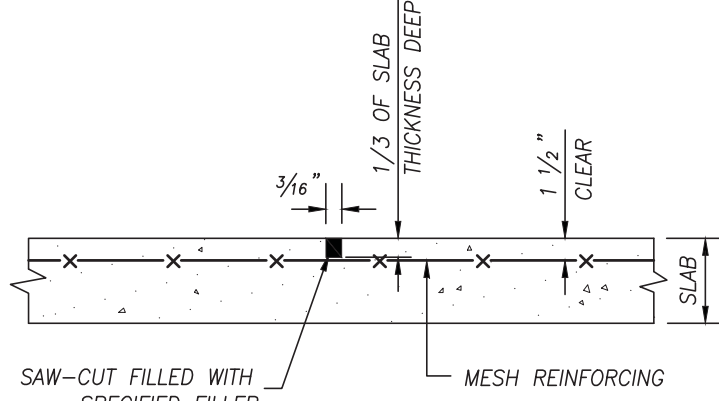
ELEVATIONS OF ADJACENT FOOTINGS AND EXCAVATIONS
NOT TO SCALE



TYPICAL POURED CONCRETE STRIP FOOTING
NOT TO SCALE



TYPICAL WALL REINFORCING COVER
NOT TO SCALE



TYPICAL SAW-CUT CONTROL JOINT IN SLAB-ON-GRADE
NOT TO SCALE

No.	DATE	REVISION
1	21-05-03	ISSUED FOR PERMIT



300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119

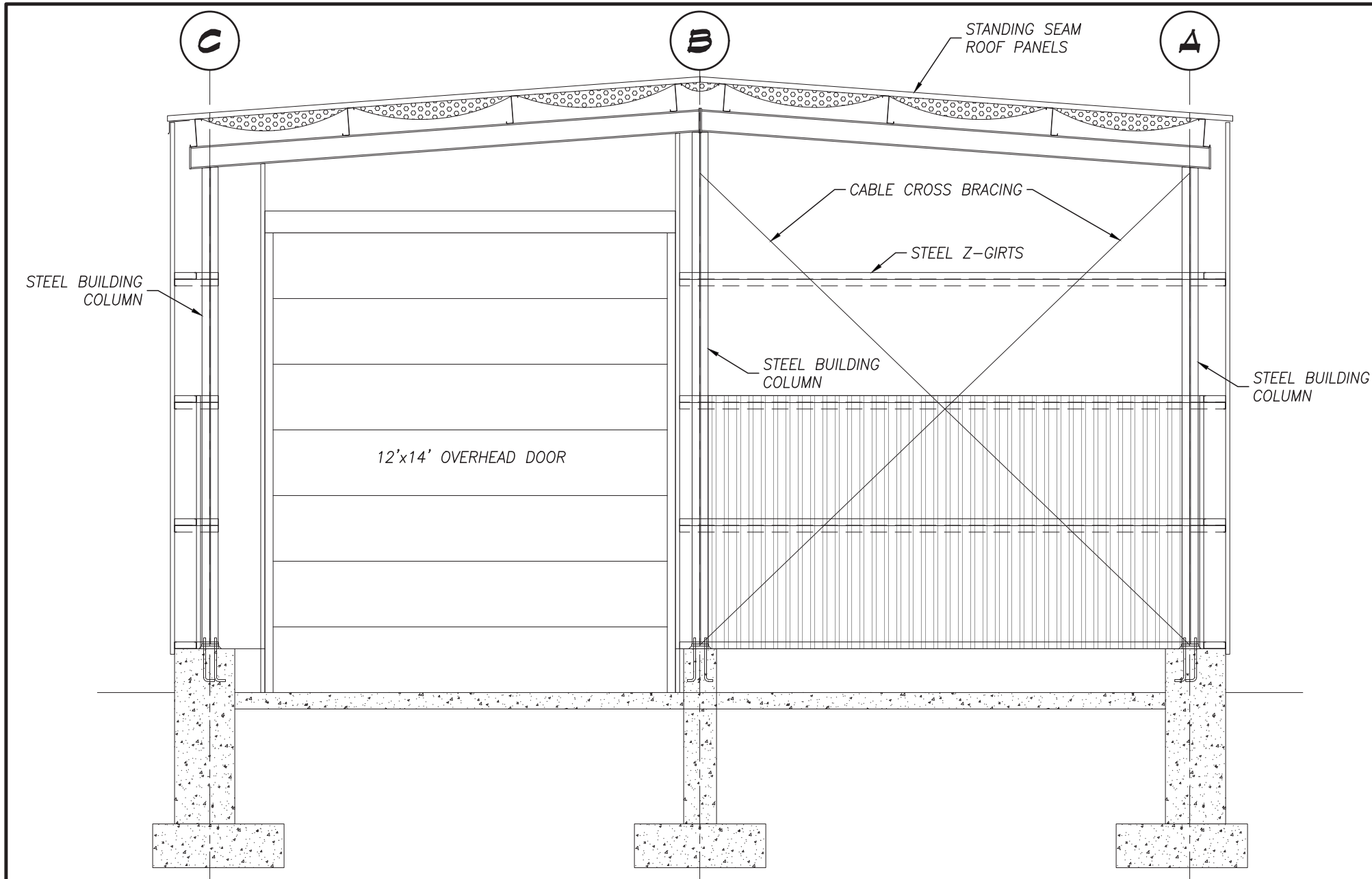
SMITH
PRE-ENGINEERED
BUILDING RELOCATION
1140 SODOM ROAD
DUNDAS ONTARIO

SECTIONS & DETAILS

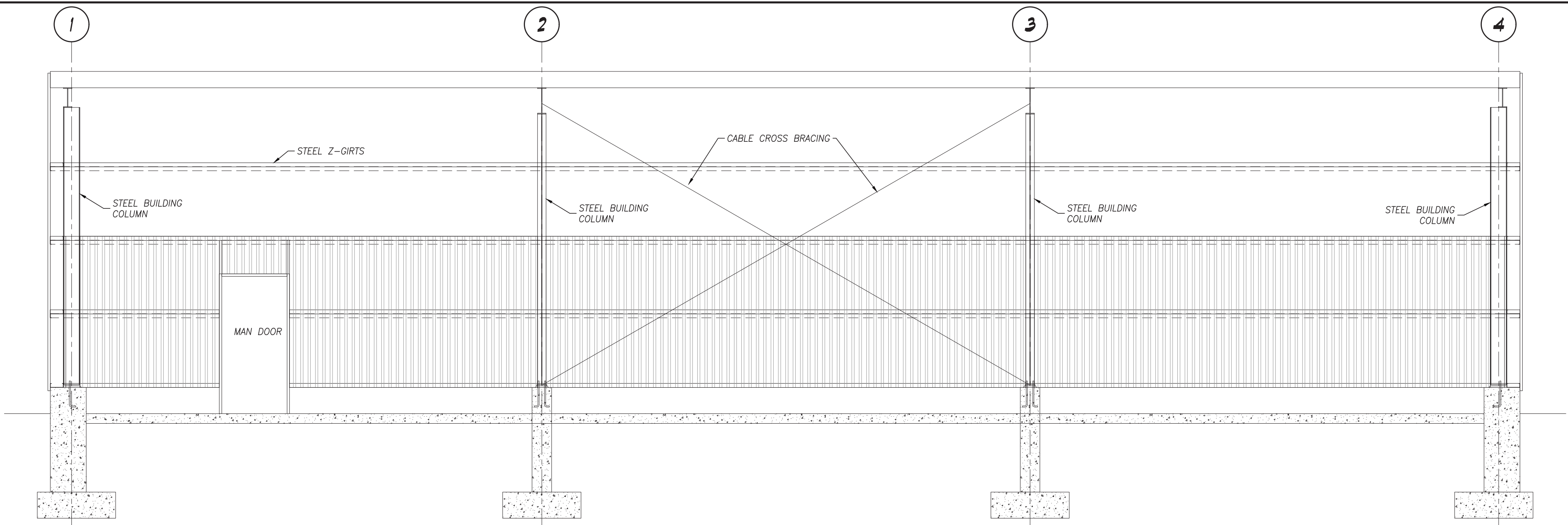
DATE MARCH 2021	DRAWN BY T.W.	DRAWING No. S2
PROJECT No. 21072	CHECKED BY H.A.P.H.	



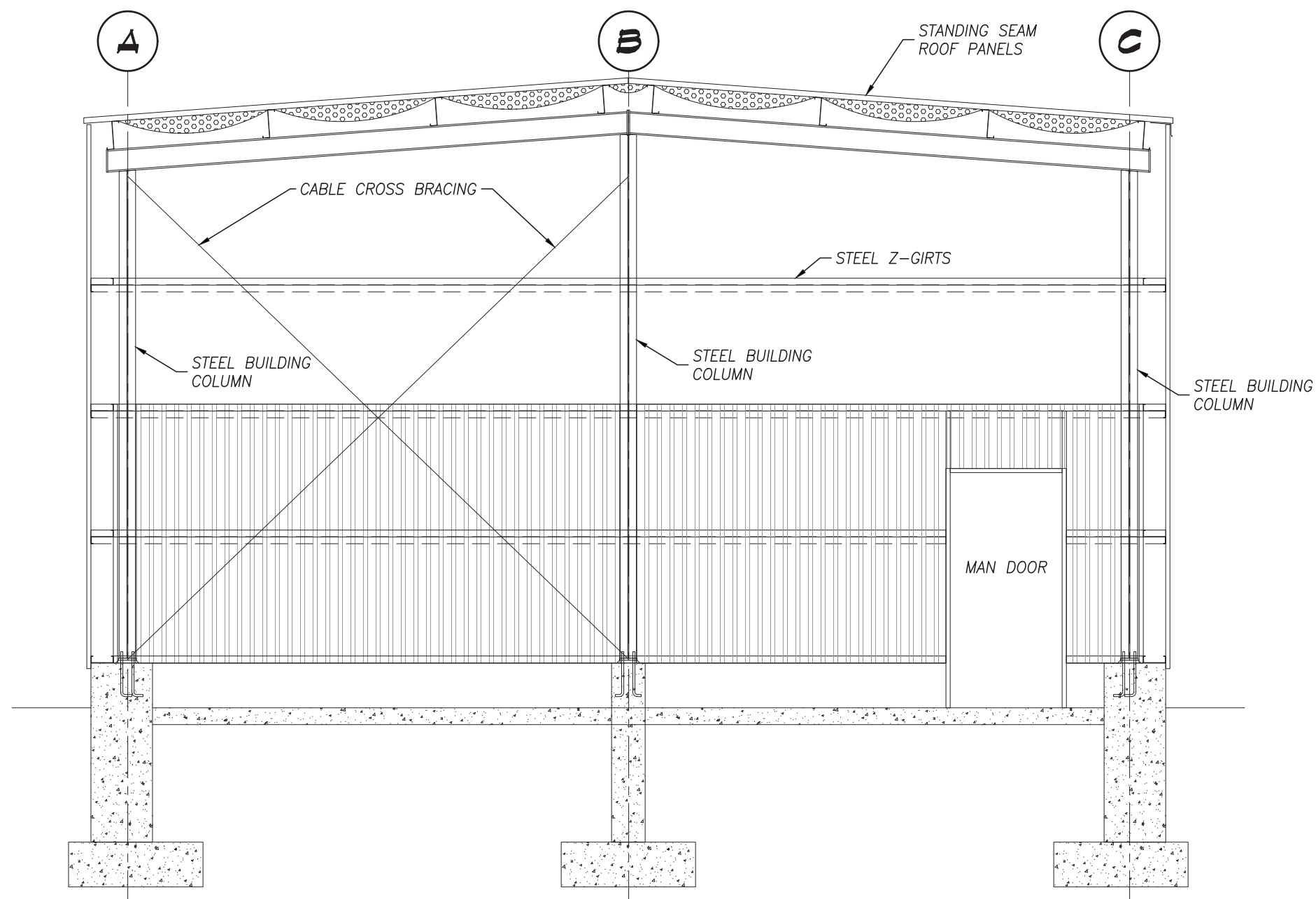
PLOT DATE: 2021/05/03 8:45 AM



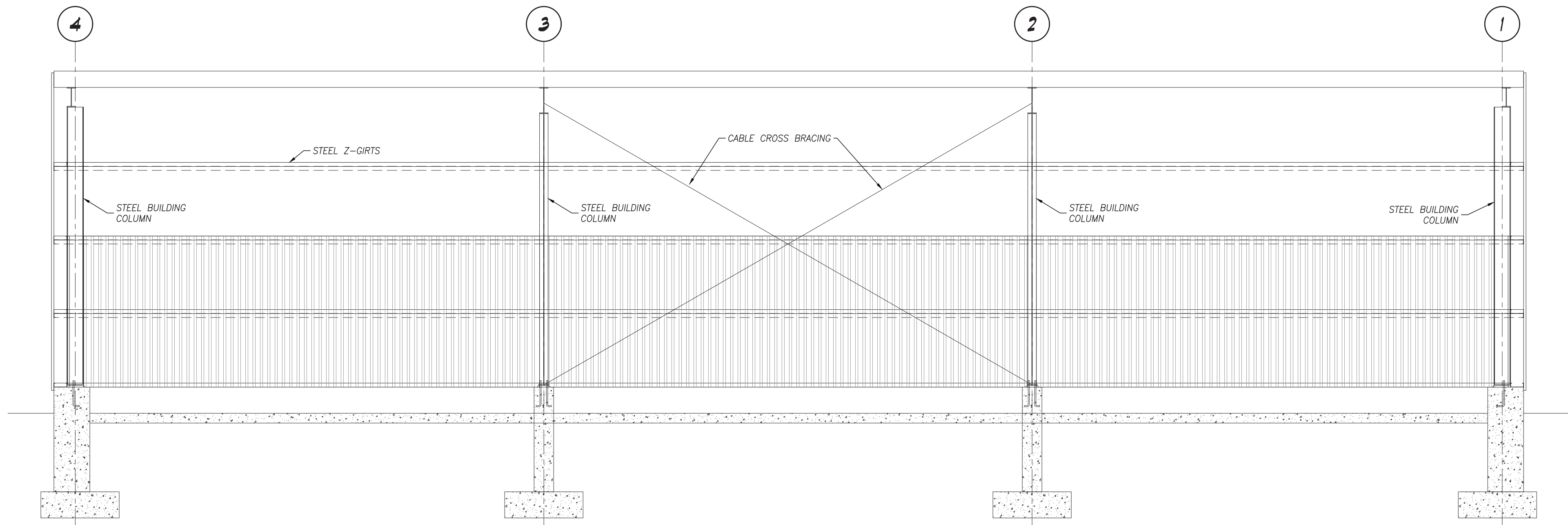
ELEVATION A
SCALE: 1/4"=1'-0" S1



ELEVATION C
SCALE: 1/4"=1'-0" S1



ELEVATION B
SCALE: 1/4"=1'-0" S1



ELEVATION D
SCALE: 1/4"=1'-0" S1

No.	DATE	REVISION
1	21-05-03	ISSUED FOR PERMIT



300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119

SMITH
PRE-ENGINEERED
BUILDING RELOCATION

DUNDAS 1140 SODOM ROAD ONTARIO

FRAMING ELEVATIONS

DATE MARCH 2021	DRAWN BY T.W.	DRAWING No. S3
PROJECT No. 21072	CHECKED BY H.A.P.H.	



LETTER OF CONSENT/NON-CONSENT FROM NEIGHBOURING PROPERTY WITHIN 60M (200FT)
OF THE SUBJECT LANDS FOR REQUEST OF MINOR VARIANCE FOR PROPOSED ACCESSORY
BUILDING.

To be completed by The Applicant

Owner: Jaret Smith & James Michael Smith

Project Address: 1140 Sodom Rd, Dundas, Ontario, L9H5E2

Scope of Work: Relocation and erection of a pre-engineered steel building as an accessory building measuring 9.75m (32ft) x 22.86m (75ft).

Plan: Site Plan A1, Revision 21-04-26.

Request: The property is zoned RURAL A2 with a maximum accessory building size of 200m² and 5.0% Lot coverage. The proposed building for this minor variance application measures 222.96 m² and 5.5% Lot coverage. Details of the zoning review are outlined in Zoning Statistics table:

ZONING STATISTICS- 1140 SODOM RD, DUNDAS, ON			
RURAL (A2) ZONE			
Accessory Building - In accordance with the requirements of section 4.8 and 4.8.2 of this By-Law			
Item	Allowed	Proposed	Compliance
Lot Area	1.0ac [4046.86m ²]		Existing
Lot Coverage	5.0% [Max 200m ²]	5.5% [222.96m ²]	N
Minimum Setback [West]	1.0m	3.05m	Y
Minimum Setback [South]	1.0m	3.66m	Y
Maximum Building Height	6.0m	5.72m	Y
Not permitted within front yard	--	Backyard	Y

I certify that the plans presented to the neighbour for his/her review are identical to those plans for which a minor variance and a building permit are being requested.

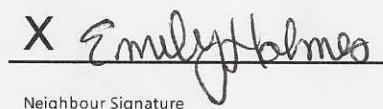

Signature

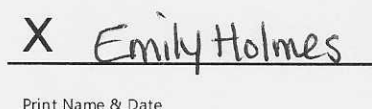
To be completed by Neighbour

I, Emily Holmes am the legal owner of property located at 1115 Sodom Rd which is a neighbouring property within 60m (200ft) of the project address. I am aware that a Minor Variance is being applied for at the subject property and have reviewed the plans presented to me by the applicant for the proposed construction.

☒ I have NO OBJECTION to granting my consent for the aforementioned request for Minor Variance.

☐ I OBJECT to this request for a Minor Variance (Note: Neighbours are under no obligation to sign)


Neighbour Signature


Print Name & Date

LETTER OF CONSENT/NON-CONSENT FROM NEIGHBOURING PROPERTY WITHIN 60M (200FT)
OF THE SUBJECT LANDS FOR REQUEST OF MINOR VARIANCE FOR PROPOSED ACCESSORY
BUILDING.

To be completed by The Applicant

Owner: Jaret Smith & James Michael Smith

Project Address: 1140 Sodom Rd, Dundas, Ontario, L9H5E2

Scope of Work: Relocation and erection of a pre-engineered steel building as an accessory building measuring 9.75m (32ft) x 22.86m (75ft).

Plan: Site Plan A1, Revision 21-04-26.

Request: The property is zoned RURAL A2 with a maximum accessory building size of 200m² and 5.0% Lot coverage. The proposed building for this minor variance application measures 222.96 m² and 5.5% Lot coverage. Details of the zoning review are outlined in Zoning Statistics table:

ZONING STATISTICS- 1140 SODOM RD, DUNDAS, ON			
RURAL (A2) ZONE			
Accessory Building - In accordance with the requirements of section 4.8 and 4.8.2 of this By-Law			
Item	Allowed	Proposed	Compliance
Lot Area	1.0ac [4046.86m ²]		Existing
Lot Coverage	5.0% [Max 200m ²]	5.5% [222.96m ²]	N
Minimum Setback [West]	1.0m	3.05m	Y
Minimum Setback [South]	1.0m	3.66m	Y
Maximum Building Height	6.0m	5.72m	Y
Not permitted within front yard	--	Backyard	Y

I certify that the plans presented to the neighbour for his/her review are identical to those plans for which a minor variance and a building permit are being requested.

Signature

To be completed by Neighbour

I, Christopher Howard am the legal owner of property located at 1143 Sodom Rd, Dundas which is a neighbouring property within 60m (200ft) of the project address. I am aware that a Minor Variance is being applied for at the subject property and have reviewed the plans presented to me by the applicant for the proposed construction.

☒ I have NO OBJECTION to granting my consent for the aforementioned request for Minor Variance.

☐ I OBJECT to this request for a Minor Variance (Note: Neighbours are under no obligation to sign)

X CH

Neighbour Signature

X Chris Howard May 1, 2021

Print Name & Date

LETTER OF CONSENT/NON-CONSENT FROM NEIGHBOURING PROPERTY WITHIN 60M (200FT)
OF THE SUBJECT LANDS FOR REQUEST OF MINOR VARIANCE FOR PROPOSED ACCESSORY
BUILDING.

To be completed by The Applicant

Owner: Jaret Smith & James Michael Smith

Project Address: 1140 Sodom Rd, Dundas, Ontario, L9H5E2

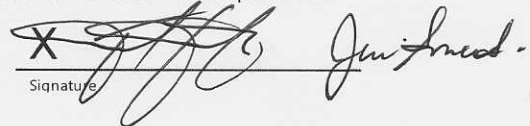
Scope of Work: Relocation and erection of a pre-engineered steel building as an accessory building measuring 9.75m (32ft) x 22.86m (75ft).

Plan: Site Plan A1, Revision 21-04-26.

Request: The property is zoned RURAL A2 with a maximum accessory building size of 200m² and 5.0% Lot coverage. The proposed building for this minor variance application measures 222.96 m² and 5.5% Lot coverage. Details of the zoning review are outlined in Zoning Statistics table:

ZONING STATISTICS- 1140 SODOM RD, DUNDAS, ON			
RURAL (A2) ZONE			
Accessory Building - In accordance with the requirements of section 4.8 and 4.8.2 of this By-Law			
Item	Allowed	Proposed	Compliance
Lot Area	1.0ac [4046.86m ²]		Existing
Lot Coverage	5.0% [Max 200m ²]	5.5% [222.96m ²]	N
Minimum Setback [West]	1.0m	3.05m	Y
Minimum Setback [South]	1.0m	3.66m	Y
Maximum Building Height	6.0m	5.72m	Y
Not permitted within front yard	--	Backyard	Y

I certify that the plans presented to the neighbour for his/her review are identical to those plans for which a minor variance and a building permit are being requested.

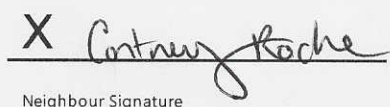

Signature

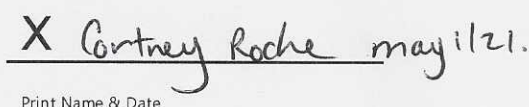
To be completed by Neighbour

I, Courtney Roche am the legal owner of property located at 1139 Sodom Rd. which is a neighbouring property within 60m (200ft) of the project address. I am aware that a Minor Variance is being applied for at the subject property and have reviewed the plans presented to me by the applicant for the proposed construction.

☒ I have NO OBJECTION to granting my consent for the aforementioned request for Minor Variance.

☐ I OBJECT to this request for a Minor Variance (Note: Neighbours are under no obligation to sign)


Neighbour Signature

 may 1/21.
Print Name & Date

LETTER OF CONSENT/NON-CONSENT FROM NEIGHBOURING PROPERTY WITHIN 60M (200FT)
OF THE SUBJECT LANDS FOR REQUEST OF MINOR VARIANCE FOR PROPOSED ACCESSORY
BUILDING.

To be completed by The Applicant

Owner: Jaret Smith & James Michael Smith

Project Address: 1140 Sodom Rd, Dundas, Ontario, L9H5E2

Scope of Work: Relocation and erection of a pre-engineered steel building as an accessory building measuring 9.75m (32ft) x 22.86m (75ft).

Plan: Site Plan A1, Revision 21-04-26.

Request: The property is zoned RURAL A2 with a maximum accessory building size of 200m² and 5.0% Lot coverage. The proposed building for this minor variance application measures 222.96 m² and 5.5% Lot coverage. Details of the zoning review are outlined in Zoning Statistics table:

ZONING STATISTICS- 1140 SODOM RD, DUNDAS, ON			
RURAL (A2) ZONE			
Accessory Building - In accordance with the requirements of section 4.8 and 4.8.2 of this By-Law			
Item	Allowed	Proposed	Compliance
Lot Area	1.0ac [4046.86m ²]		Existing
Lot Coverage	5.0% [Max 200m ²]	5.5% [222.96m ²]	N
Minimum Setback [West]	1.0m	3.05m	Y
Minimum Setback [South]	1.0m	3.66m	Y
Maximum Building Height	6.0m	5.72m	Y
Not permitted within front yard	--	Backyard	Y

I certify that the plans presented to the neighbour for his/her review are identical to those plans for which a minor variance and a building permit are being requested.

Signature

To be completed by Neighbour

I, JOE HESLOP am the legal owner of property located at 1144 Sodom Rd which is a neighbouring property within 60m (200ft) of the project address. I am aware that a Minor Variance is being applied for at the subject property and have reviewed the plans presented to me by the applicant for the proposed construction.

☒ I have NO OBJECTION to granting my consent for the aforementioned request for Minor Variance.

☐ I OBJECT to this request for a Minor Variance (Note: Neighbours are under no obligation to sign)

X Joe Heslop
Neighbour Signature

X JOE HESLOP MAY 1/21
Print Name & Date

LETTER OF CONSENT/NON-CONSENT FROM NEIGHBOURING PROPERTY WITHIN 60M (200FT)
OF THE SUBJECT LANDS FOR REQUEST OF MINOR VARIANCE FOR PROPOSED ACCESSORY
BUILDING.

To be completed by The Applicant

Owner: Jaret Smith & James Michael Smith

Project Address: 1140 Sodom Rd, Dundas, Ontario, L9H5E2

Scope of Work: Relocation and erection of a pre-engineered steel building as an accessory building measuring 9.75m (32ft) x 22.86m (75ft).

Plan: Site Plan A1, Revision 21-04-26.

Request: The property is zoned RURAL A2 with a maximum accessory building size of 200m² and 5.0% Lot coverage. The proposed building for this minor variance application measures 222.96 m² and 5.5% Lot coverage. Details of the zoning review are outlined in Zoning Statistics table:

ZONING STATISTICS- 1140 SODOM RD, DUNDAS, ON			
RURAL (A2) ZONE			
Accessory Building - In accordance with the requirements of section 4.8 and 4.8.2 of this By-Law			
Item	Allowed	Proposed	Compliance
Lot Area	1.0ac [4046.86m ²]		Existing
Lot Coverage	5.0% [Max 200m ²]	5.5% [222.96m ²]	N
Minimum Setback [West]	1.0m	3.05m	Y
Minimum Setback [South]	1.0m	3.66m	Y
Maximum Building Height	6.0m	5.72m	Y
Not permitted within front yard	--	Backyard	Y

I certify that the plans presented to the neighbour for his/her review are identical to those plans for which a minor variance and a building permit are being requested.

Signature

To be completed by Neighbour

I, Russell + Janice Burns am the legal owner of property located at 1145 Sodom Rd. which is a neighbouring property within 60m (200ft) of the project address. I am aware that a Minor Variance is being applied for at the subject property and have reviewed the plans presented to me by the applicant for the proposed construction.

☒ I have NO OBJECTION to granting my consent for the aforementioned request for Minor Variance.

☐ I OBJECT to this request for a Minor Variance (Note: Neighbours are under no obligation to sign)

X Janice Burns

Neighbour Signature

X Janice Burns
Russ Burns May 2/2021

Print Name & Date

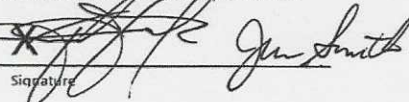
LETTER OF CONSENT/NON-CONSENT FROM NEIGHBOURING PROPERTY WITHIN 60M (200FT)
OF THE SUBJECT LANDS FOR REQUEST OF MINOR VARIANCE FOR PROPOSED ACCESSORY
BUILDING.

To be completed by The Applicant

Owner: Jaret Smith & James Michael Smith
Project Address: 1140 Sodom Rd, Dundas, Ontario, L9H5E2
Scope of Work: Relocation and erection of a pre-engineered steel building as an accessory building measuring 9.75m (32ft) x 22.86m (75ft).
Plan: Site Plan A1, Revision 21-04-26.
Request: The property is zoned RURAL A2 with a maximum accessory building size of 200m² and 5.0% Lot coverage. The proposed building for this minor variance application measures 222.96 m² and 5.5% Lot coverage. Details of the zoning review are outlined in Zoning Statistics table:

ZONING STATISTICS- 1140 SODOM RD, DUNDAS, ON			
RURAL (A2) ZONE			
Accessory Building - In accordance with the requirements of section 4.8 and 4.8.2 of this By-Law			
Item	Allowed	Proposed	Compliance
Lot Area	1.0ac [4046.86m ²]		Existing
Lot Coverage	5.0% [Max 200m ²]	5.5% [222.96m ²]	N
Minimum Setback [West]	1.0m	3.05m	Y
Minimum Setback [South]	1.0m	3.66m	Y
Maximum Building Height	6.0m	5.72m	Y
Not permitted within front yard	--	Backyard	Y


I certify that the plans presented to the neighbour for his/her review are identical to those plans for which a minor variance and a building permit are being requested.


Signature

JAMES SMITH
LINDA SMITH am the legal owner of property located at 1130 SODOM RD, DUNDAS
which is a neighbouring property within 60m (200ft) of the project address. I am aware that a Minor Variance is being applied for at the subject property and have reviewed the plans presented to me by the applicant for the proposed construction.

☒ I have NO OBJECTION to granting my consent for the aforementioned request for Minor Variance.

☐ I OBJECT to this request for a Minor Variance (Note: Neighbours are under no obligation to sign)


X Linda Smith
Neighbour Signature

Jim Smith
X LINDA SMITH
Print Name & Date

May 2, 2021

**LETTER OF CONSENT/NON-CONSENT FROM NEIGHBOURING PROPERTY WITHIN 60M (200FT)
OF THE SUBJECT LANDS FOR REQUEST OF MINOR VARIANCE FOR PROPOSED ACCESSORY
BUILDING.**

To be completed by The Applicant

Owner: Jaret Smith & James Michael Smith

Project Address: 1140 Sodom Rd, Dundas, Ontario, L9H5E2

Scope of Work: Relocation and erection of a pre-engineered steel building as an accessory building measuring 9.75m (32ft) x 22.86m (75ft).

Plan: Site Plan A1, Revision 21-04-26.

Request: The property is zoned RURAL A2 with a maximum accessory building size of 200m² and 5.0% Lot coverage. The proposed building for this minor variance application measures 222.96 m² and 5.5% Lot coverage. Details of the zoning review are outlined in Zoning Statistics table:

ZONING STATISTICS- 1140 SODOM RD, DUNDAS, ON			
RURAL (A2) ZONE			
Accessory Building - In accordance with the requirements of section 4.8 and 4.8.2 of this By-Law			
Item	Allowed	Proposed	Compliance
Lot Area	1.0ac [4046.86m ²]		Existing
Lot Coverage	5.0% [Max 200m ²]	5.5% [222.96m ²]	N
Minimum Setback [West]	1.0m	3.05m	Y
Minimum Setback [South]	1.0m	3.66m	Y
Maximum Building Height	6.0m	5.72m	Y
Not permitted within front yard	--	Backyard	Y

I certify that the plans presented to the neighbour for his/her review are identical to those plans for which a minor variance and a building permit are being requested.

Signature

To be completed by Neighbour

I, Mark Vanderkruk am the legal owner of property located at 491 Middletown Road, Dundas, Ontario
1168 Sodom Road, Dundas, Ontario
which is a neighbouring property within 60m (200ft) of the project address. I am aware that a Minor Variance is being applied for at the subject property and have reviewed the plans presented to me by the applicant for the proposed construction.

☒ I have NO OBJECTION to granting my consent for the aforementioned request for Minor Variance.

☐ I OBJECT to this request for a Minor Variance (Note: Neighbours are under no obligation to sign)

X

Neighbour Signature

X

Mark Vanderkruk

Print Name & Date



Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS	
Registered Owners(s)	Smith Jaret Smith James Michael		
Applicant(s)*	Smith Jaret Smith James Michael		
Agent or Solicitor	N/A		Phone:
			E-mail:

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

TD Canada Trust
82 King Street West
Dundas, Ontario
L9H 1T9
905-627-3559

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Proposing an Accessory Building with gross floor area of 222.96m² which is more than maximum gross floor area as per the zoning by-law of 200m².

Proposing a building accessory to a single detached dwelling with total lot coverage of 5.5% which is more than the maximum as per the zoning by-law of 5%.

5. Why it is not possible to comply with the provisions of the By-law?

The building was an existing building that was purchased, dismantled and I now seek to build on my property. Due to the building being existing the dimensions of the building are fixed and the structural components have been designed for this size.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

1140 SODOM ROAD, FLAMBOROUGH, ONTARIO, L9H 5E2

PIN: 17550-0088

PT LT 36, CON 3 BEVERLY , AS IN CD171388 ; FLAMBOROUGH CITY OF HAMILTON

7. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☐

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☒ Unknown ☐

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?
Yes ☐ No ☒ Unknown ☐

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?
Information used to answer questions 8.1 to 8.10 include current ownership history (~5 years), knowledge of the property for the last 32 years and discussion with neighbours adjacent to the property.

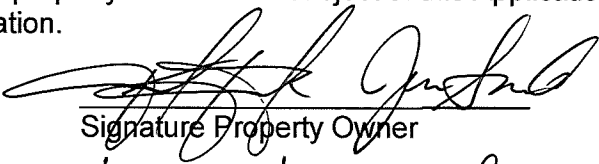
8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☐

9. **ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

May 3rd / 2021
Date


Signature Property Owner
Jason Smith Tim Smith
Print Name of Owner

10. Dimensions of lands affected:	
Frontage	<u>167.88ft [51.17m]</u>
Depth	<u>330.29ft [100.67m]</u>
Area	<u>1 acre [4046.86m²]</u>
Width of street	<u>20ft [6.096m]</u>

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

Existing Primary Residence (Single Family) & Attached Garage:
Ground Floor Area: ~2006 sq ft [186m²]
1 Story, Length: ~78ft [23.77m], Width: ~24ft [7.32m], Height: ~17ft [5.18m]

Proposed

Accessory Building to be used for storage of applicants tractors, snowmobiles, trailers, and vehicles. All items are solely owned by applicant.
Gross Floor Area: 2400 sq. ft [222.96m²], 1 Story
Length: 75ft [22.86m], Width: 32ft [9.75m], Height: 18ft-9in [5.72m] above grade.

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Primary Residence & Attached Garage: Distance from West Lot Line: ~26ft [7.92m]. Distance from East Lot Line: ~46ft [14.02m], Distance from North Lot Line: ~85ft [25.91m]@90° to Lot Line, Distance from South Lot Line: ~179ft [54.56m]

Proposed:

Accessory Storage Building:
Distance from West Lot Line: 10ft [3.05m], Distance from East Lot Line: 63ft [19.20m], Distance from North Lot Line: ~235ft [71.63m], Distance from South Lot Line: 12ft [3.66m]

13. Date of acquisition of subject lands:
October 28, 2016
-
14. Date of construction of all buildings and structures on subject lands:
Existing structure was constructed in 1959.
-
15. Existing uses of the subject property:
The property is applicant Jaret Smith's primary residence (Single Family).
16. Existing uses of abutting properties:
Abutting properties are a large scale tree/plant nursery, and (1) residential home
17. Length of time the existing uses of the subject property have continued:
50+ Years the property has served as residential living space on rural zoning.
18. Municipal services available: (check the appropriate space or spaces)
Water No Connected _____
Sanitary Sewer No Connected _____
Storm Sewers No
19. Present Official Plan/Secondary Plan provisions applying to the land:
N/A
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
N/A
21. Has the owner previously applied for relief in respect of the subject property?
☐ Yes ☒ No
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
☐ Yes ☒ No
23. Additional Information
The proposed building would be surrounded by greenhouses and large structures on the abutting nursery property. The building will blend in to its surroundings.
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.