

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: GL/A-21:214

APPLICANTS: Owner W. & J. Bryck

SUBJECT PROPERTY: Municipal address **95 Donald Bell Dr. Unit 52, Glanbrook**

ZONING BY-LAW: Zoning By-law 464, as Amended

ZONING: RM2-201 district (Residential Multiple)

PROPOSAL: To permit the construction of a new 34.2m² deck in the rear yard notwithstanding that:

1. A northerly side yard setback of 0.0m shall be provided instead of the minimum 1.0m side yard setback required for a deck.

This application will be heard by the Committee as shown below:

DATE: Thursday, July 8th, 2021
TIME: 1:25 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

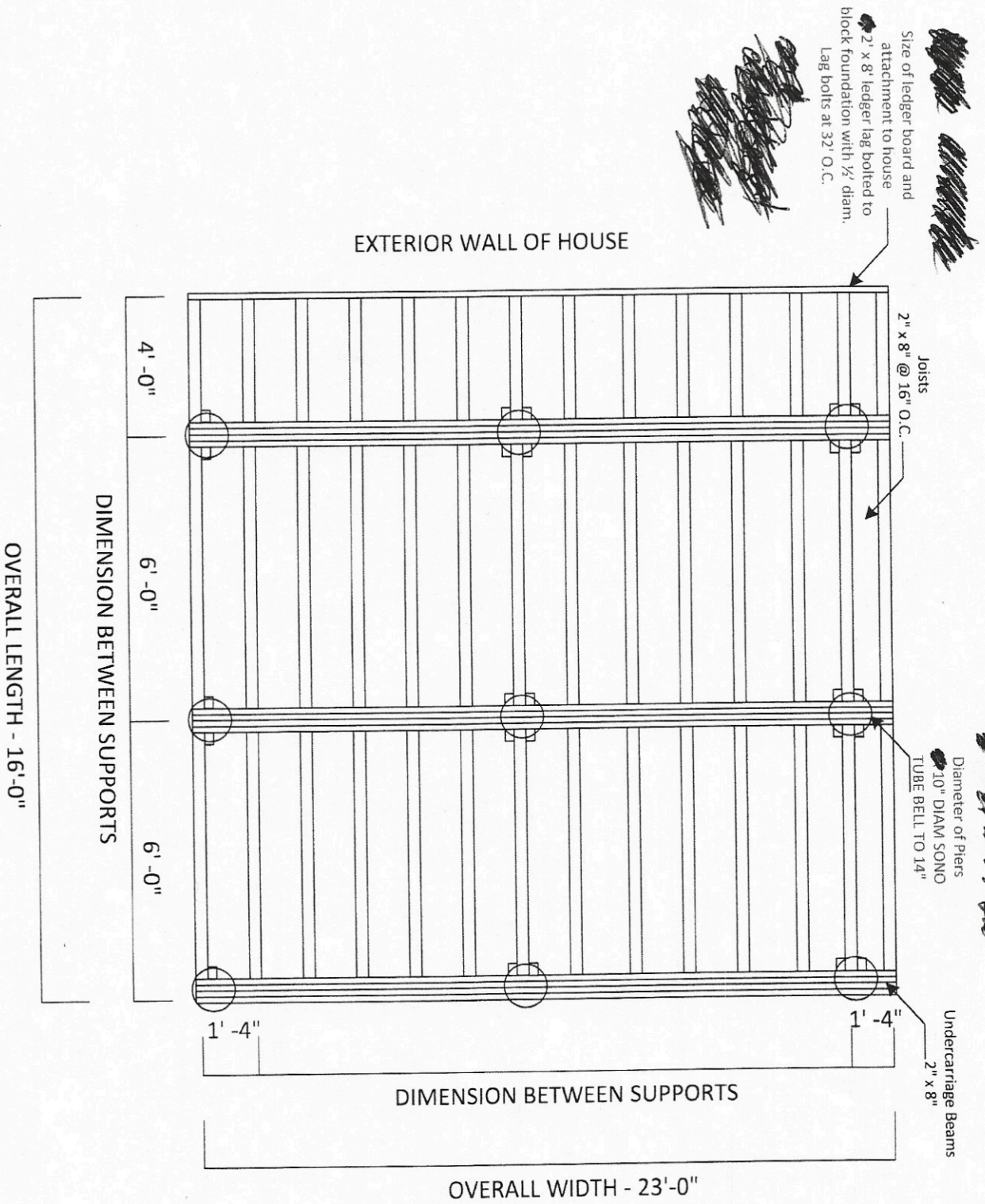
- Visit www.hamilton.ca/committeeofadjustment

- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: June 22nd, 2021.

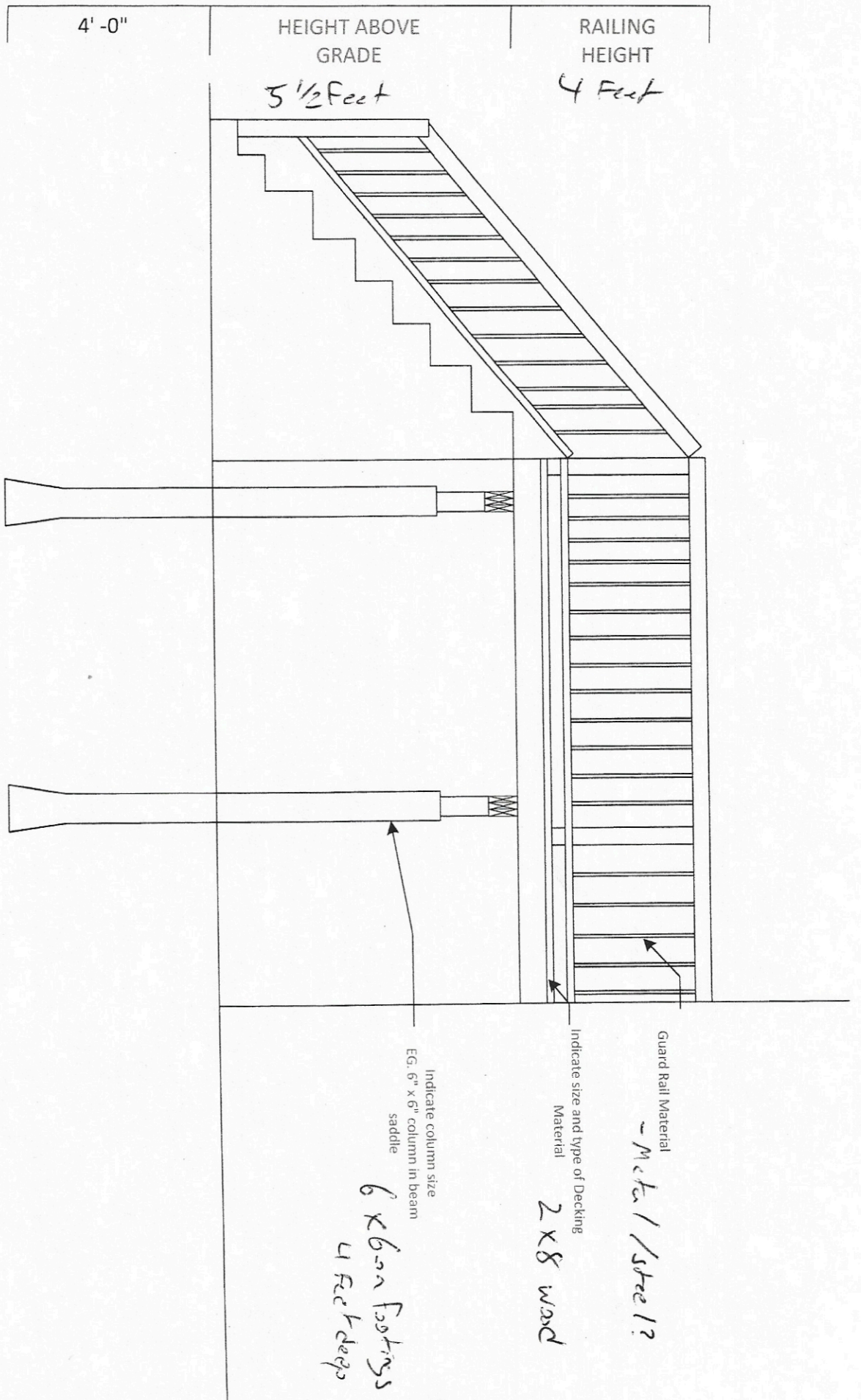
Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

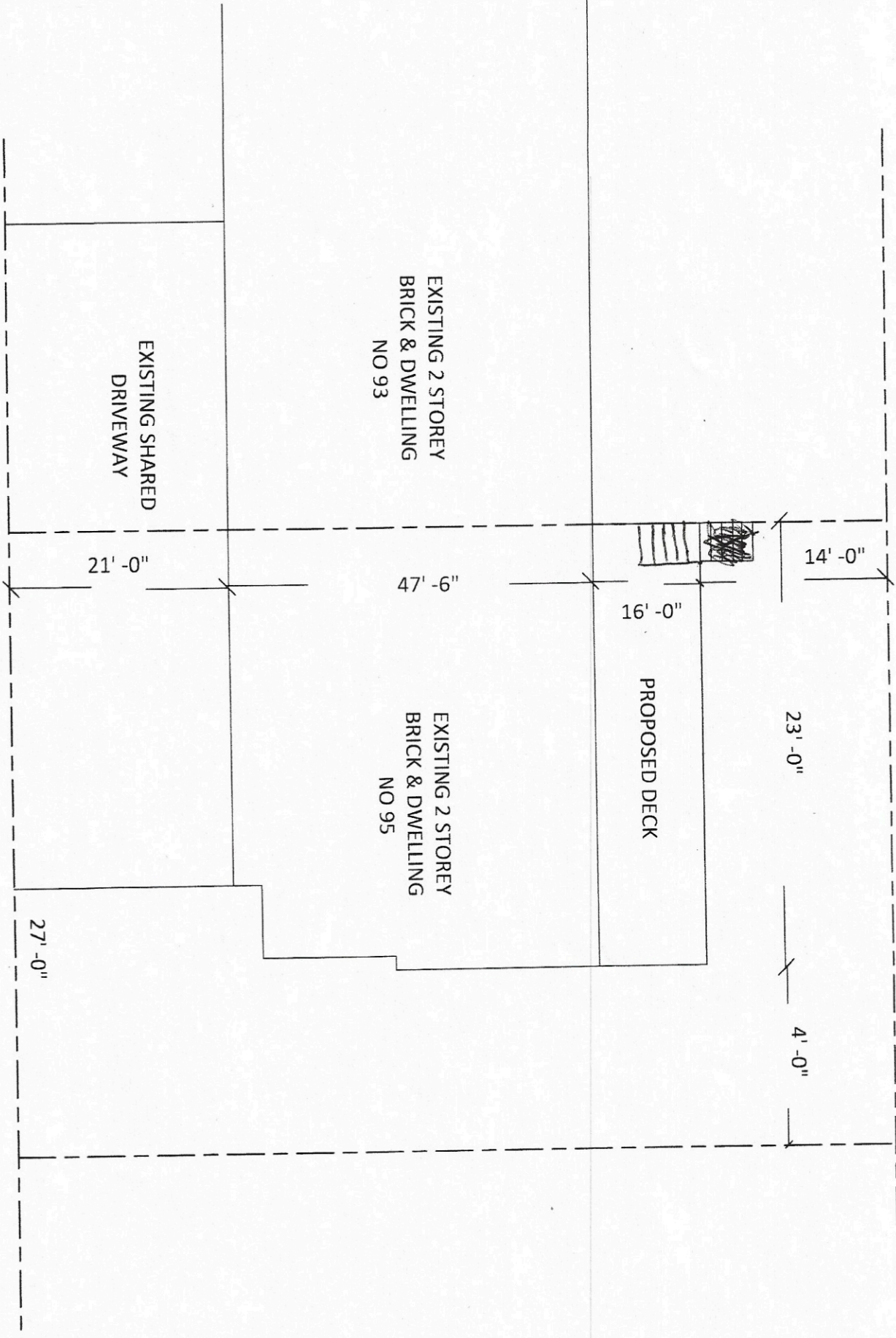
Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



95 DONALD BELL DR

PLAN VIEW





95 DONALD BELL DR

DONALD BELL DR

SITE PLAN



Hamilton

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

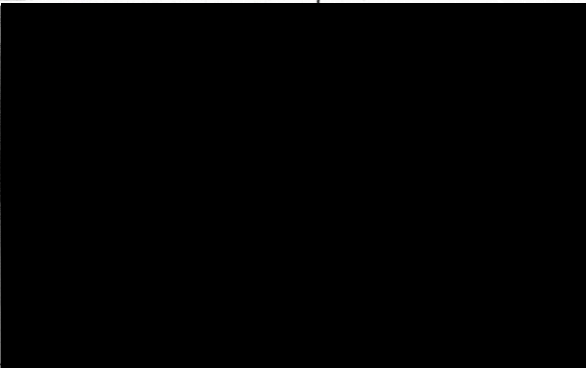
PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS	
Registered Owners(s)	JENNIFER (MOORE) BRYCK		
Applicant(s)*	WALTER BRYCK		
Agent or Solicitor			Phone:
			E-mail:

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Application for permit requires minor variance for backyard deck built next to property line. Deck is not 1m. away from property line

5. Why it is not possible to comply with the provisions of the By-law?

The back yard deck is currently built.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

~~95 Donald Bell Dr.~~

95 DONALD BELL DRIVE, BINBROOK, ONTARIO, L0R1C0

7. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☐

Other _____

- 8.1 If Industrial or Commercial, specify use _____

- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☐ Unknown ☒

- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☒ Unknown ☐

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☒ Unknown ☐

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?

None of the above was mentioned during the purchase of the home

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☒

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

May 14/21
Date

Jennifer Bryck
Signature Property Owner

Jennifer Bryck
Print Name of Owner

10. Dimensions of lands affected:

Frontage 8.21 m
Depth 30 m
Area 246.3 m²
Width of street 18 m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

N/A

Proposed

Side: 16 Ft
Front: 23 Ft.
Height: 5 1/2 Feet (plus 4 Foot railing)

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

N/A

Proposed:

From side lot line: 4 Ft.
back lot line: 14 Ft.

13. Date of acquisition of subject lands:

July 9 2020

14. Date of construction of all buildings and structures on subject lands:

JUNE 2020

15. Existing uses of the subject property:

Backyard

16. Existing uses of abutting properties:

Backyard of Neighbors

17. Length of time the existing uses of the subject property have continued:

16 years

18. Municipal services available: (check the appropriate space or spaces)

Water ✓ Connected ✓

Sanitary Sewer ✓ Connected ✓

Storm Sewers ✓

19. Present Official Plan/Secondary Plan provisions applying to the land:

Residential

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

7.13 c) iv) of Township of Glenbrook Zoning By-law No. 464

21. Has the owner previously applied for relief in respect of the subject property?

☐ Yes

☒ No

If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

☐ Yes

☒ No

23. Additional Information

24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.