

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: AN/A-21:215

APPLICANTS: Agent Peter Treen
Owners A. & D. Taylor

SUBJECT PROPERTY: Municipal address **101 Pine St., Ancaster**

ZONING BY-LAW: Zoning By-law 97-57, as Amended 18-105

ZONING: "ER" (Existing Residential) district

PROPOSAL: To permit the construction of a one storey rear garage addition to the existing single detached dwelling notwithstanding that;

1. A minimum rear yard of 0.6 m shall be provided instead of the minimum required rear yard of 8.9 m; and

2. A minimum of 0.6 m within the rear yard shall be unobstructed whereas the By-Law states that a minimum of 1.0 m within the rear yard shall be unobstructed and shall not contain structures, walkways, side walks, hard surfaced material and landscaping other than sod.

Notes:

Variances have been written based on Elm Hill being the front lot line as it is the shorter street line as per the definition of front lot line, the side lot lines are the lot lines that meet the front lot line and the case of an irregular lot, the rear lot lines are the lot lines remaining after the determination of the side lot lines.

A maximum building height for one storey shall not be greater than 7.5 m. Insufficient details have been provided; therefore, if the proposed height exceeds the maximum permitted, further variances shall be required.

A minimum parking size of 3.5 m in width by 6.0 m in length, insufficient details provided to determine if the size conforms; therefore, further variances may be required.

Eaves and Gutters may project into any minimum side yard a distance of not more than 60 cms, or into any minimum front or minimum rear yard a distance of not more than 1.5 m. No details provided; therefore, further variances may be required.

This application will be heard by the Committee as shown below:

DATE: Thursday, July 8th, 2021
TIME: 1:30 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: June 22nd, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

101 PINE ST.
ANCASTER, ON
L9G 2T8

SITE STATISTICS

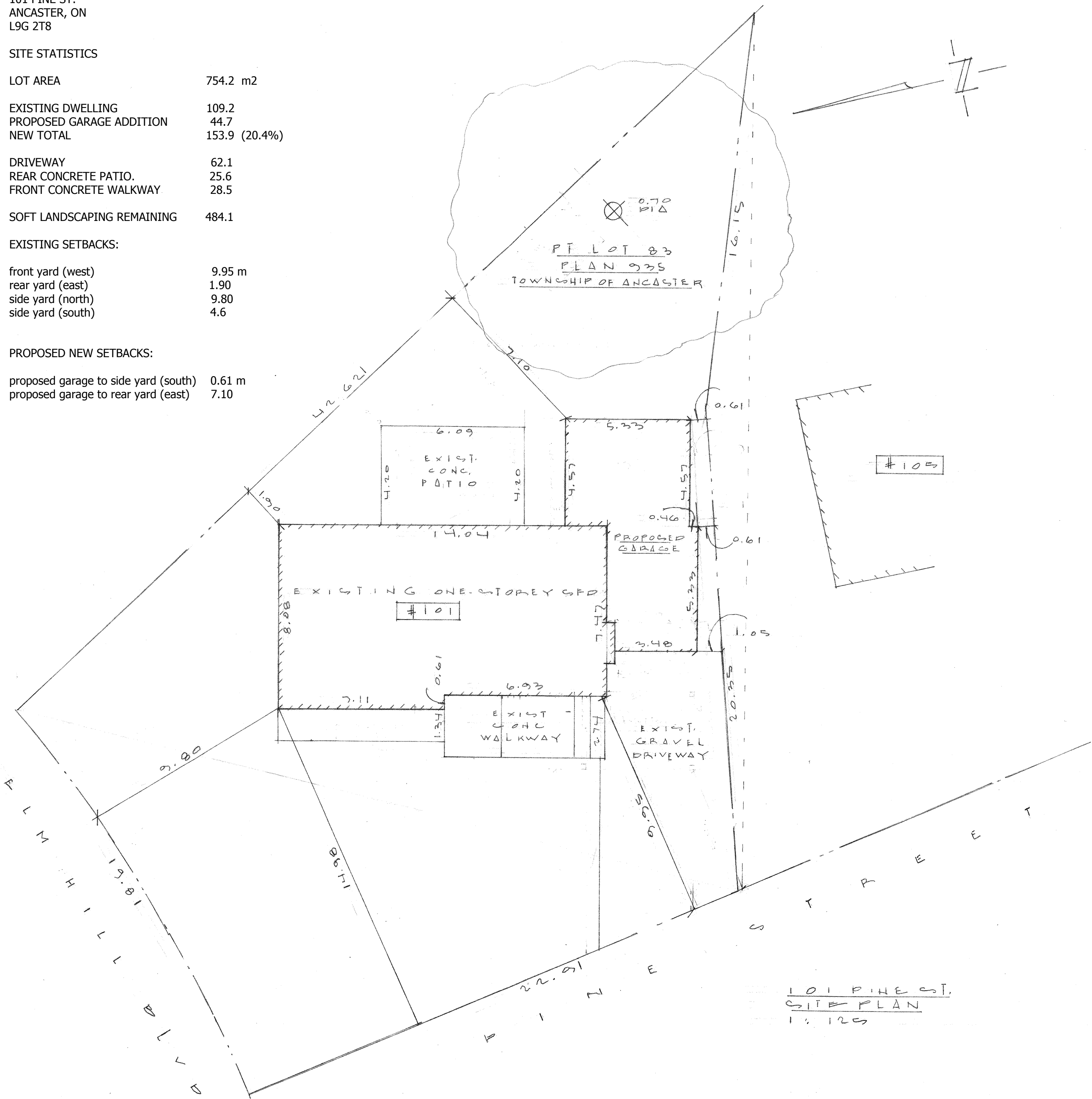
LOT AREA	754.2 m2
EXISTING DWELLING	109.2
PROPOSED GARAGE ADDITION	44.7
NEW TOTAL	153.9 (20.4%)
DRIVEWAY	62.1
REAR CONCRETE PATIO.	25.6
FRONT CONCRETE WALKWAY	28.5
SOFT LANDSCAPING REMAINING	484.1

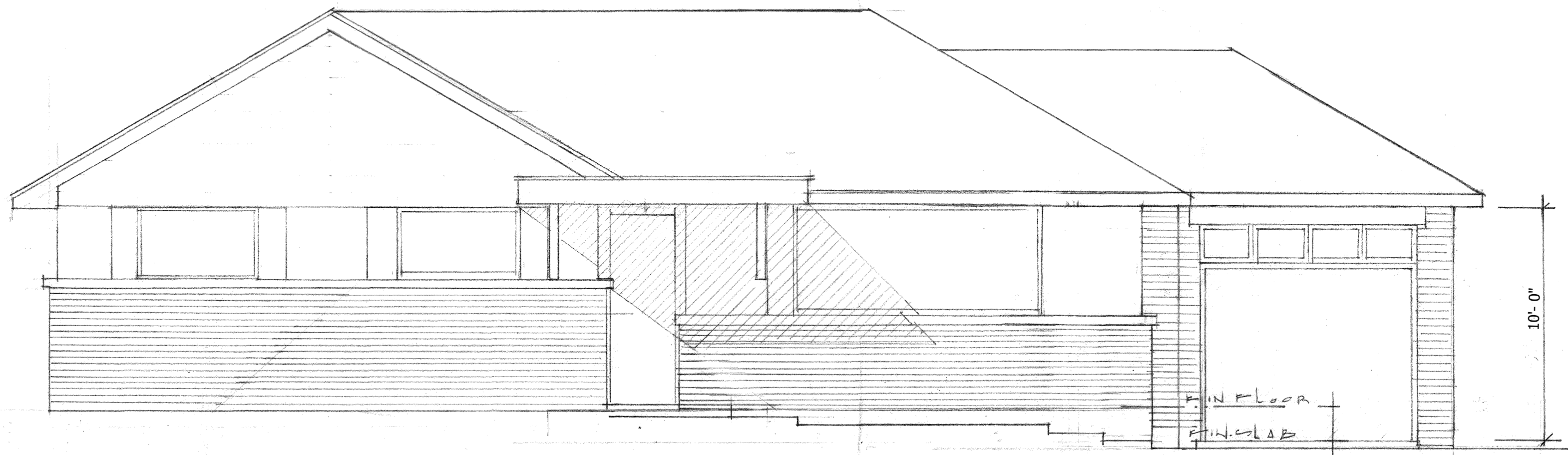
EXISTING SETBACKS:

front yard (west)	9.95 m
rear yard (east)	1.90
side yard (north)	9.80
side yard (south)	4.6

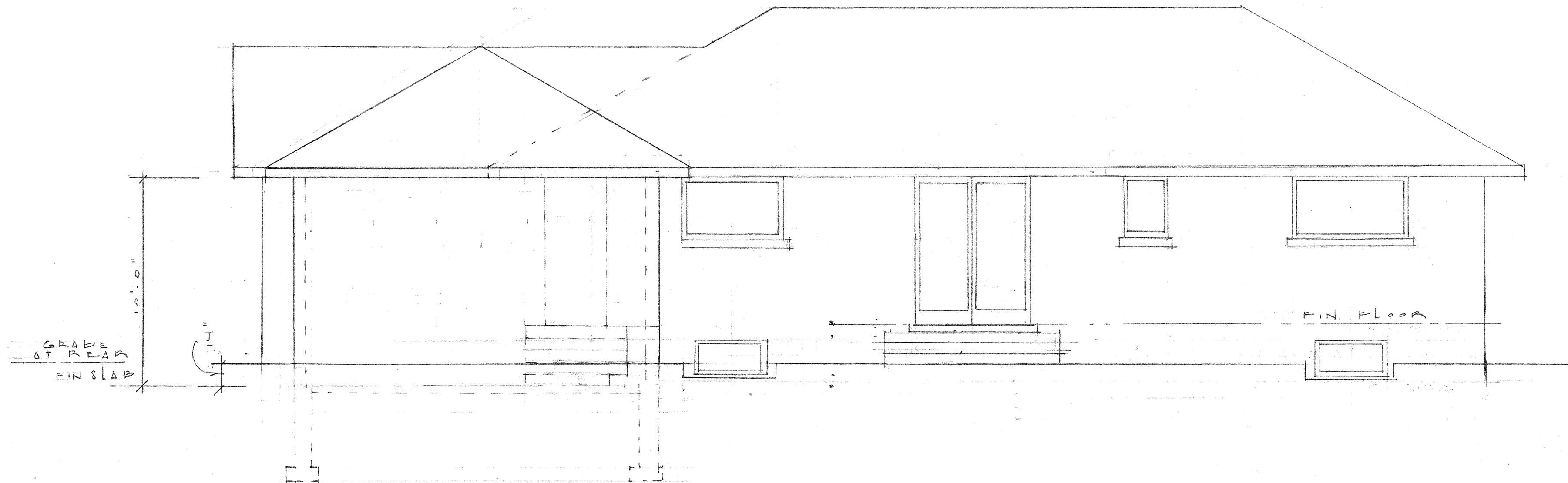
PROPOSED NEW SETBACKS:

proposed garage to side yard (south)	0.61 m
proposed garage to rear yard (east)	7.10

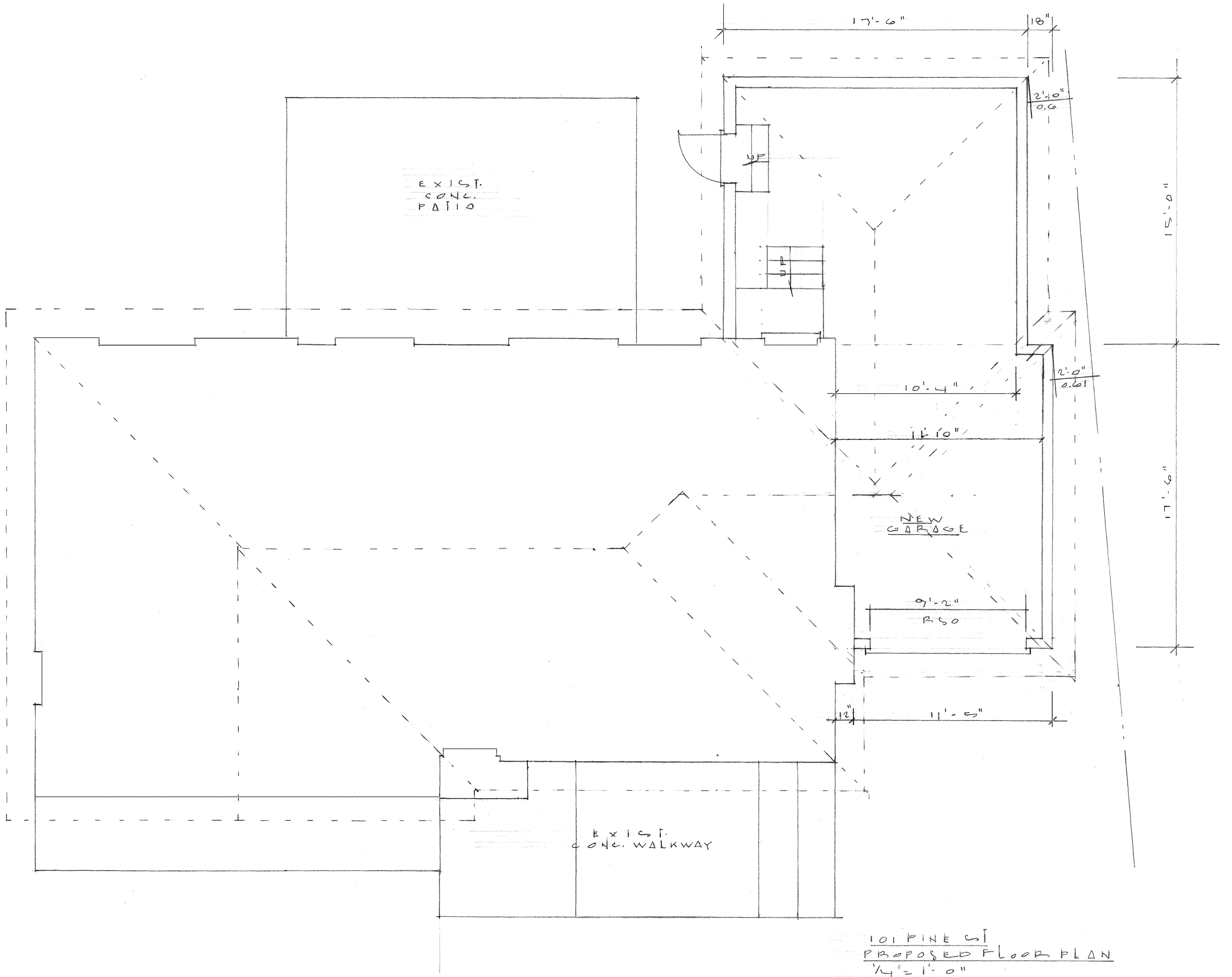


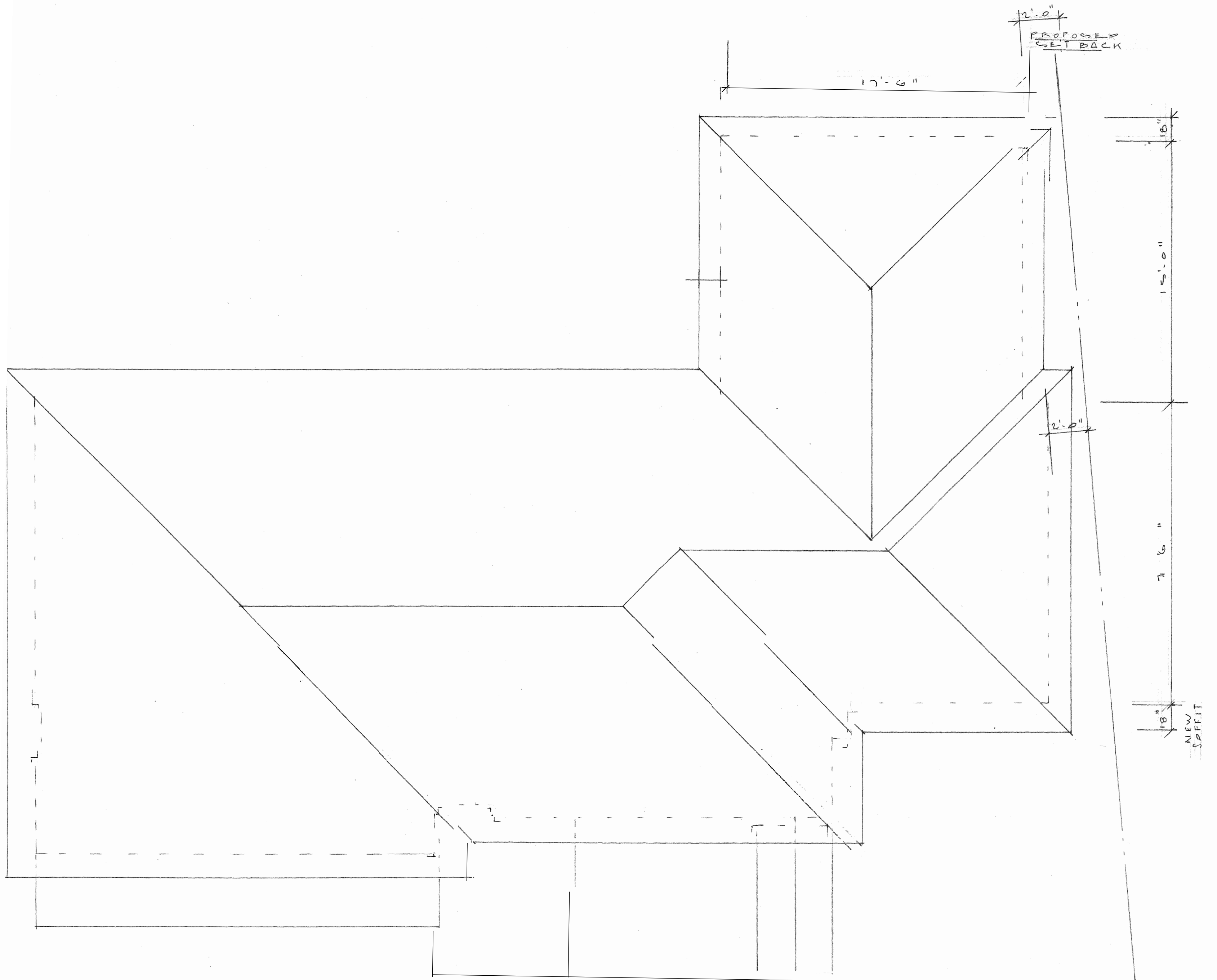


FRONT ELEVATION
1/4" = 1'-0"

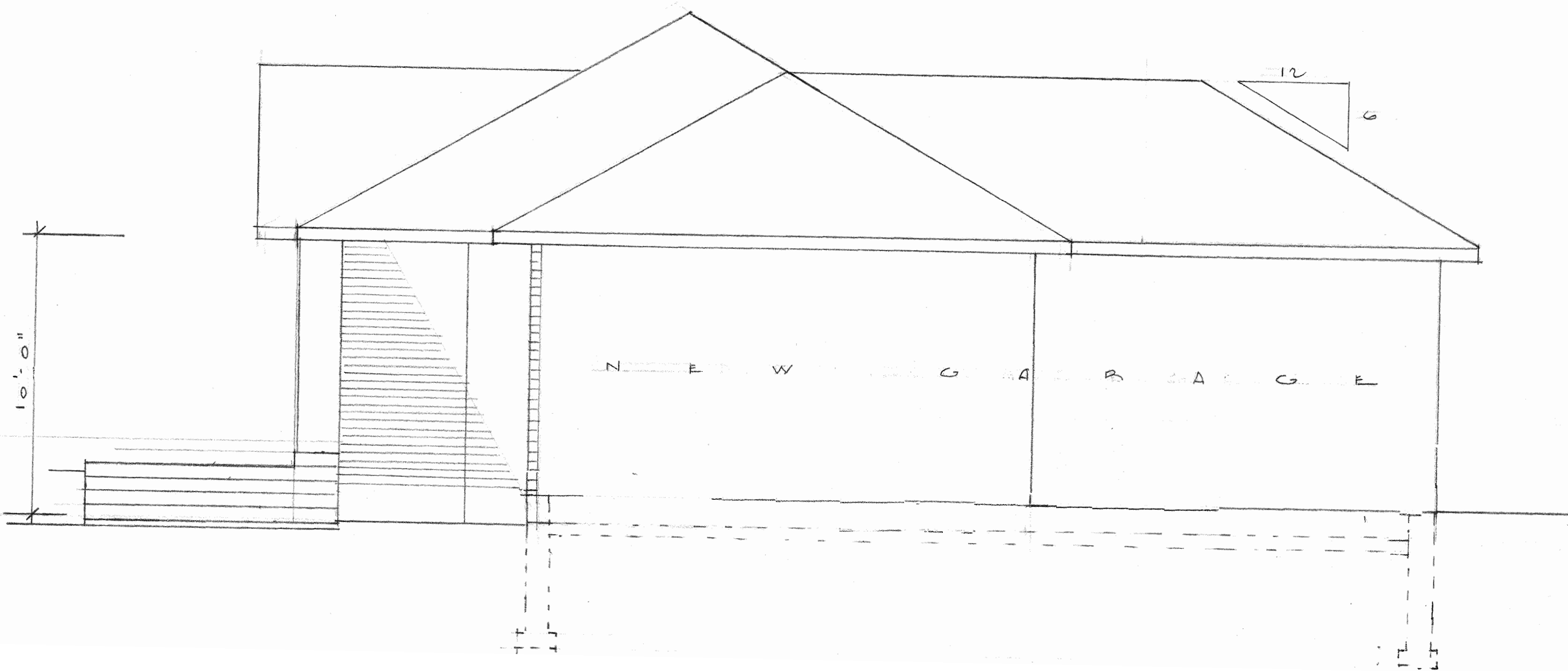


REAR ELEVATION
1/4" = 1'-0"



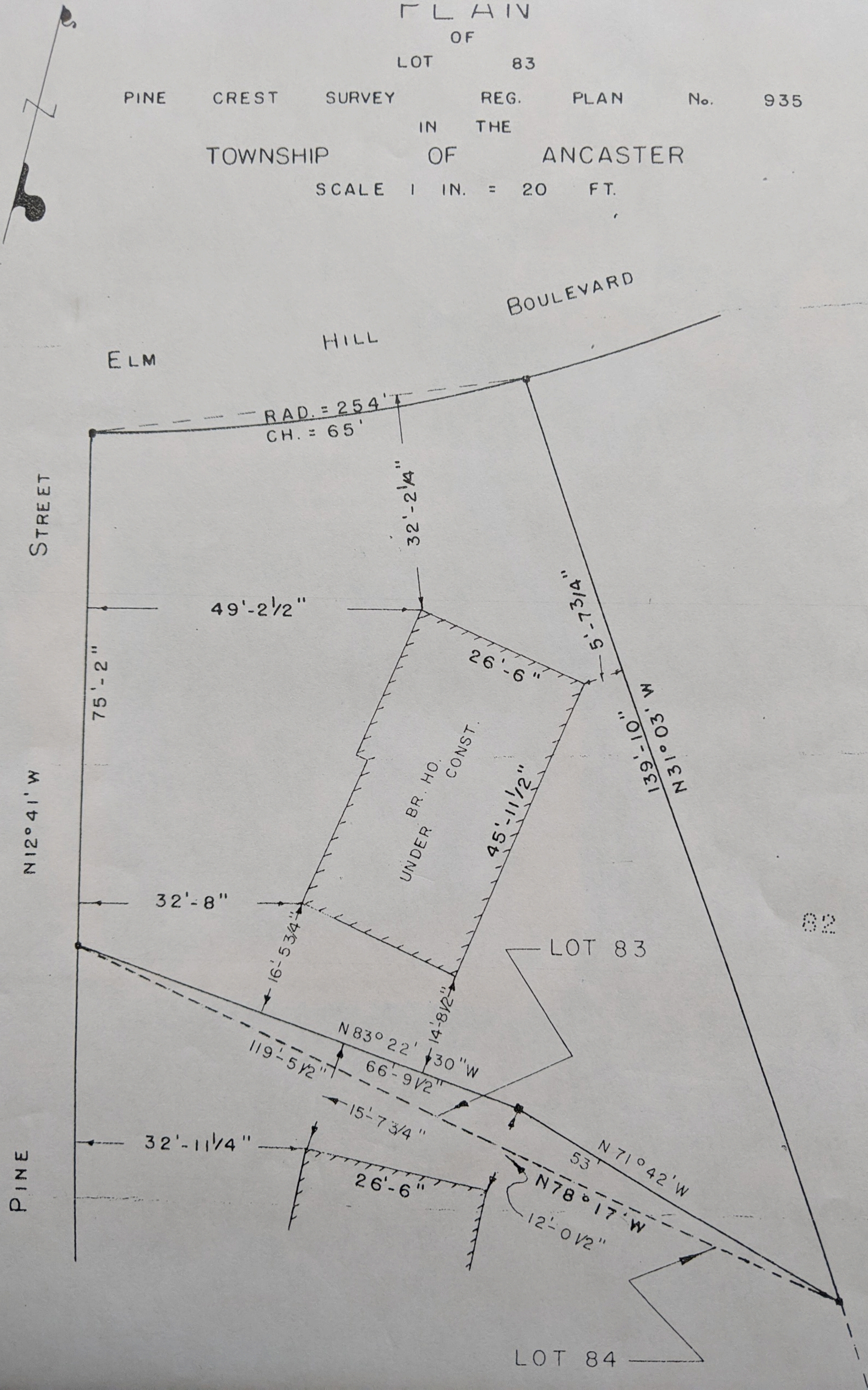


101 PINE ST.
PROPOSED FLOOR PLAN
1/4" = 1'-0"



SIDE (SOUTH) ELEVATION
 $\frac{1}{4}" = 1'-0"$

SCALE 1 IN. = 20 FT.





Hamilton

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS	
Registered Owners(s)	Del Taylor Annie Taylor		
Applicant(s)*	Peter Treen		
Agent or Solicitor			Phone:
			E-mail:

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

i) allow south yard setback of. 0.61 m

5. Why it is not possible to comply with the provisions of the By-law?

irregular shape of lot creates restrictive conditions.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

101 Pine St
Ancaster, ON
L9G 2T8

pt. LOT 83
plan 935

7. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☐

Other _____

8.1 If Industrial or Commercial, specify use n.a

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☒ Unknown ☐

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐

No ☒

Unknown ☐

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?

It is an existing residential area

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed. *n/a*

Is the previous use inventory attached?

Yes

☐

No

☐

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

March 27, 2021

Date

Signature Property Owner

Del Taylor

Print Name of Owner

Del Taylor
Ann Taylor

10. Dimensions of lands affected:

Frontage

9.95

Depth

754.2 m

Area

754.2 m²

Width of street

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: one-storey SFD

14.04 wide x 8.08 deep

109.2 m² in area

Proposed

construct attached garage to
the south side 44.7 m² in area.

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: front (west) setback: 9.95
rear (east) 1.90
side (north) 9.80
side (south) 4.6

Proposed: front (west) setback: 9.95
rear (east) 1.90
side (north) 9.80
side (south) 0.61

13. Date of acquisition of subject lands:

14. Date of construction of all buildings and structures on subject lands:

15. Existing uses of the subject property:
S F D
16. Existing uses of abutting properties:
S F D
17. Length of time the existing uses of the subject property have continued:
Since construction
18. Municipal services available: (check the appropriate space or spaces)
Water ✓ Connected ✓
Sanitary Sewer ✓ Connected ✓
Storm Sewers ✓
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
21. Has the owner previously applied for relief in respect of the subject property?
☐ Yes ☒ No
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
☐ Yes ☐ No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.