

NOTICE OF PUBLIC HEARING

Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

| | |
|--------------------------|---|
| APPLICATION NO.: | HM/A-21:100 |
| APPLICANTS: | Agent Yar Takary Owner Maaz Mahmood |
| SUBJECT PROPERTY: | Municipal address 10 Longwood Rd. S., Hamilton |
| ZONING BY-LAW: | Zoning By-law 6593, as Amended 96-109 and 19-307 |
| ZONING: | "C/S-1361 and S-1788" (Urban Protected Residential) district |
| PROPOSAL: | To permit the construction of a two-storey rear addition to the existing single-family dwelling following the conversion of the existing single-family dwelling to contain a maximum of one secondary dwelling unit notwithstanding that; |

Variances for a single-family dwelling:

1. A maximum gross floor area of 56.2% shall be permitted instead of the maximum 45.0% gross floor area permitted.
2. A minimum of one (1) parking space shall be provided on site instead of the minimum required 2 spaces; and
3. A minimum parking space size having a width of 2.6m shall be permitted instead of the minimum 2.7m parking space width required.
4. A minimum access driveway having a width of 2.6m shall be permitted instead of the minimum 2.8m access driveway width required.

Variances for a conversion of a single-family dwelling under Section 19 to contain a maximum of one secondary dwelling unit:

5. No parking space shall be provided on site for the Secondary Dwelling Unit instead of the minimum required 1 space per unit.

Maria Romano HM/A-21: 100 Page 2 of 2 10 Longwood Road South, Hamilton

Notes:

Variances have been written based on the information provided by the applicant.

The applicant shall ensure that the requested variance for the gross floor area is correct; otherwise, further variances will be required. Please note that the Gross Floor Area as amended by By-law 96-109 includes the aggregate of the areas of the building including the area of the basement or a cellar.

The elevation plans do not show the height dimension from average grade as defined. Therefore, the applicant shall ensure that the proposed height does not exceed the maximum permitted; otherwise, further variances may be required.

The minimum number of required parking spaces for the single-family dwelling was based on a total of 8 habitable rooms for the existing SFD.

Eaves and gutters may project into a required side yard not more than one-half of its width or 1.0m whichever is lesser. Insufficient details were provided from which to determine compliance.

Approvals through a City of Hamilton Planning process do not confirm or establish conformity with the Ontario Building Code (OBC). It is the owner/applicant's responsibility to ensure compliance with the Ontario Building Code for the proposed Secondary Dwelling Unit.

In addition to other areas, the OBC compliance may include: Fire Department Access, type of construction permitted, maximum area(s) of permitted glazed openings, and distance separation requirements to the property lines for the Secondary Dwelling Unit as well at the principle dwelling on the property. Additional requirements around water and sewer servicing requirements shall also be taken into consideration and must comply with the Ontario Building Code and City of Hamilton municipal standards. Note, water and sewer services may be permitted to be connected through the existing dwelling on the property however this may require additional upgrades to the existing water and or sewer services which could impose additional costs to the owner.

Any proposed construction is also subject to the issuance of building permits in the normal manner and possibly approvals from Growth Management and/or Public Works

This application will be heard by the Committee as shown below:

| | |
|---------------|---|
| DATE: | Thursday, July 8th, 2021 |
| TIME: | 1:55 p.m. |
| PLACE: | Via video link or call in (see attached sheet for details) |
| | To be streamed at |
| | www.hamilton.ca/committeeofadjustment |
| | for viewing purposes only |

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: June 22nd, 2021.

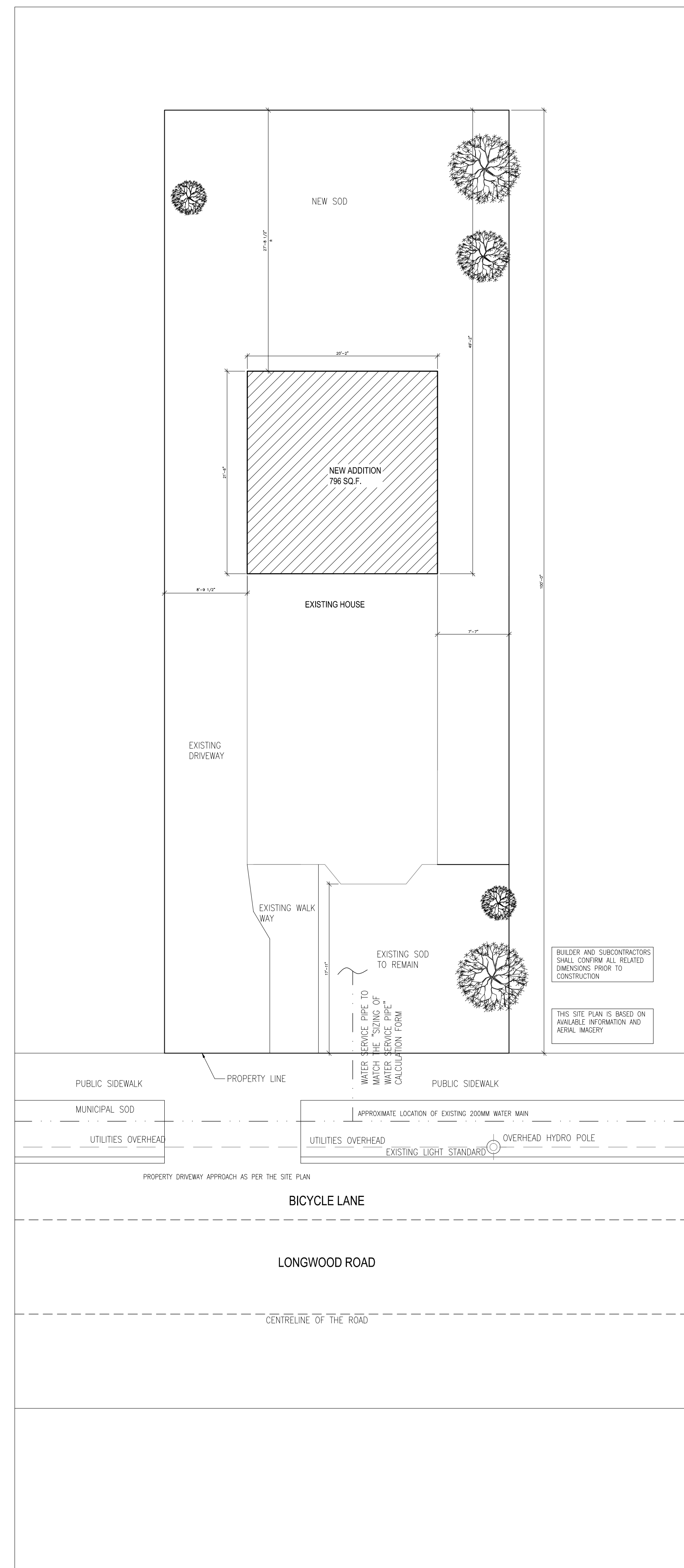
Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



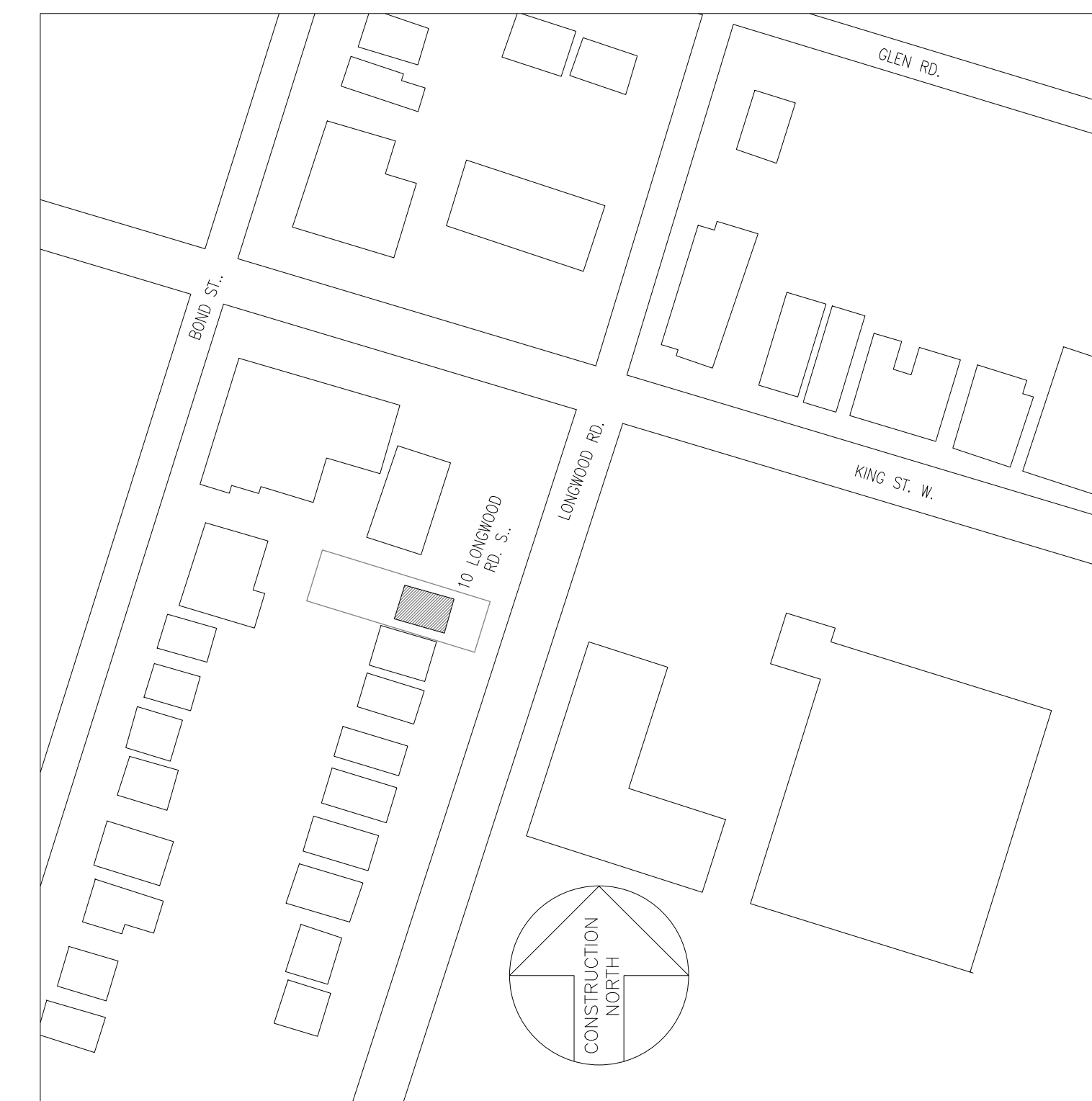
3
A1-01

PROPOSED ADDITION
SCALE: 1/4"=1'-0"



2
A1-01

SITE PLAN
SCALE: 1/8" = 1' - 0"



1 SITE KEY PLAN
A1-01 SCALE: N.T.S.

The undersigned has reviewed and takes responsibility for this design, and has the qualification and meets the requirements set out in the Ontario Building Code.

Yar M. Taraky .P.Eng.
OWNER

Name _____ Signature _____ BCIN _____
Registration Information _____

Required unless design is exempted under Division
"C", Article 3.2.4.1 of the Building Code

Designer/Firm name BCIN

GENERAL NOTES:

GENERAL NOTE:

1. THE SITE PLAN IS BASED ON THE CITY OF HAMILTON RECORDS OF PREVIOUS BUILDING PERMIT APPLICATIONS
2. THE CONTRACTORS AND SUBCONTRACTORS SHALL CONFIRM ALL DIMENSIONS PRIOR TO DEMOLITION AND CONSTRUCTION

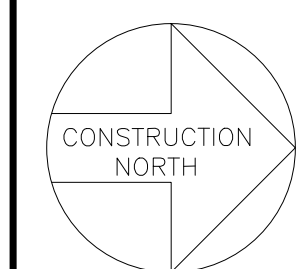
NOTE:

1. BACKFILL TO CONFORM WITH THE LATEST O.B.C. REQUIREMENTS
2. RESTORE THE SITE AND REMOVE ALL CONSTRUCTION DEBRIS FROM THE SITE
3. RESTORE THE GRADING AROUND THE NEW ADDITION PROVIDE SWALES IF APPLICABLE AND DRIVE THE RUNOFF FROM THE BUILDING BY MAKING A POSITIVE SLOPE AWAY FROM THE BUILDING.

REVISIONS

| No. | DATE | DESCRIPTION |
|-----|--------|----------------------------|
| 1 | 010121 | ISSUED FOR BUILDING PERMIT |
| 2 | 010421 | ISSUED FOR BUILDING PERMIT |
| 3 | | |
| 4 | | |
| | | |

CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. DO NOT SCALE DRAWINGS.

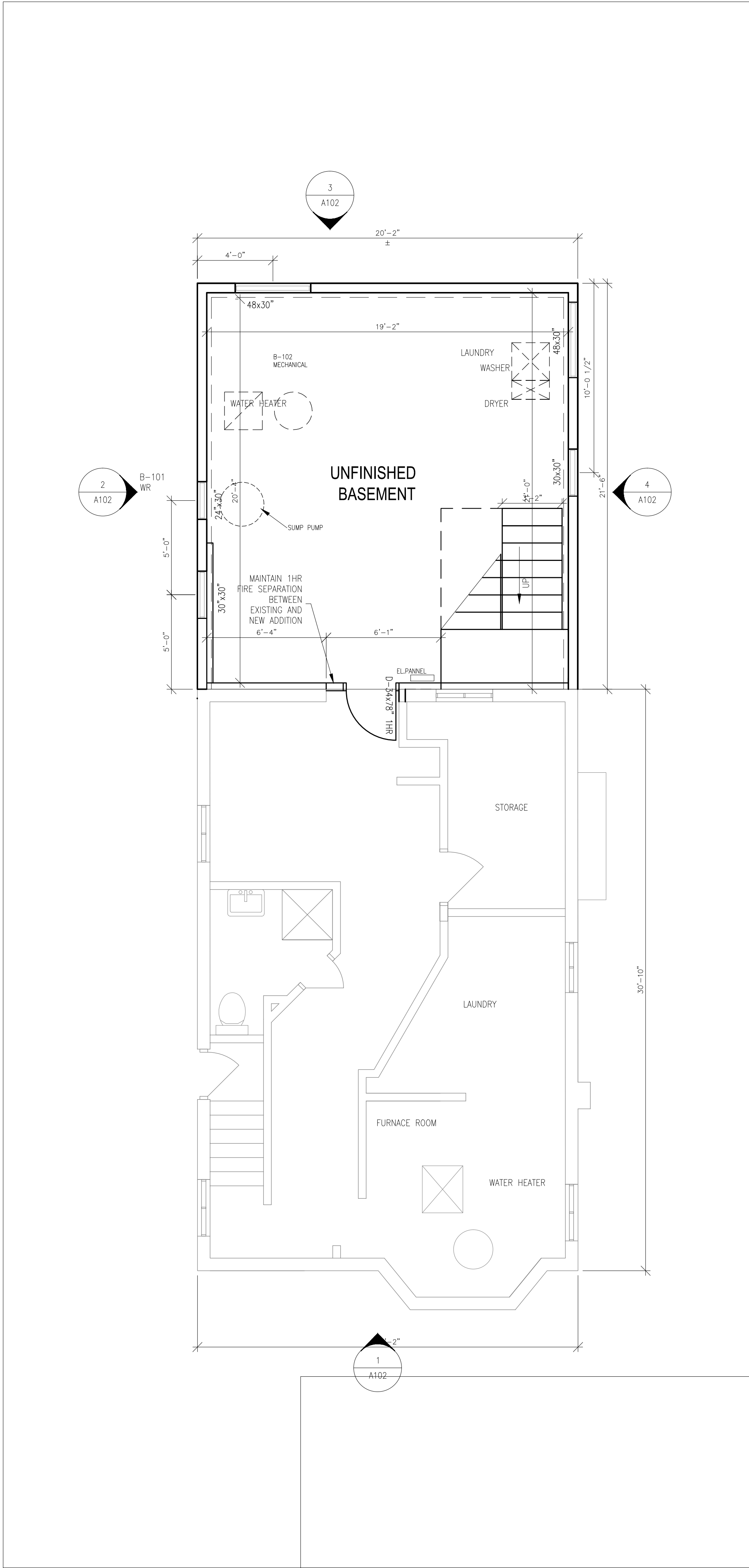
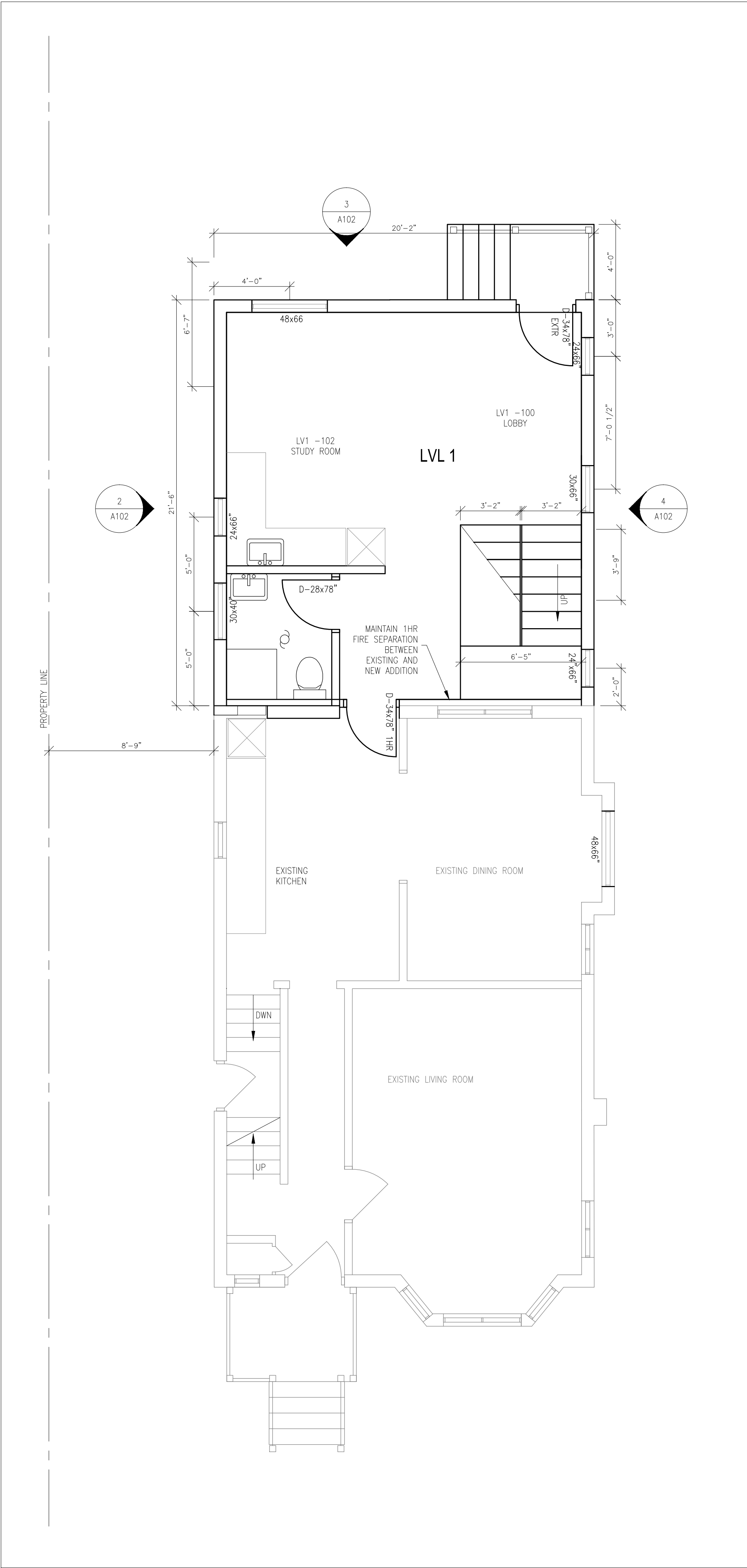


PROJECT NAME:

10 LONGWOOD RD.
HAMILTON, ON

DRAWING TITLE: **KEY PLAN, SITE PLAN
AND PROPOSED ADDITION**

| | |
|------------------------|-------------------------------------|
| SCALE: AS SHOWN | PROJECT NUMBER: 2004 |
| DATE: 01.07.17 | |
| DRAWN BY: YMT | DRAWING NUMBER: A1-01 |
| CHECKED BY: — | |



STRUCTURAL NOTES:

1. ALL MATERIALS AND METHODS OF CONSTRUCTION MUST COMPLY WITH THE LATEST ADDITION OF O.B.C.
2. DO NOT SCALE DRAWINGS
3. SUBMIT THE STRUCTURAL STEEL SHOP DRAWINGS FOR REVIEW BY DESIGNER PRIOR TO FABRICATION. MAKE FIELD MEASUREMENTS FOR FABRICATION AND ERECTION.
4. THE CONTRACTOR SHALL PROVIDE INSPECTION REPORTS PREPARED BY AN INSPECTION AND TESTING AGENCY FOR THE STRUCTURAL STEEL ERECTION AND CONCRETE STRENGTH
5. ALL FOOTING SHALL BEAR ON UNDISTURBED SOIL CAPABLE OF SUSTAINING A LOAD OF 4 KSF
6. SPECIFIED 28 DAY CONCRETE STRENGTH IS 20MPA. ALL CONCRETE EXPOSED TO FREEZE -THAW CYCLES IN A SATURATED CONDITION SHALL BE CLASSIFIED C-1 TO CSA -A23.1 - M90
7. REINFORCING STEEL: G30.18M GRADE 400R
- STRUCTURAL STEEL: CSA G40.21M
8. STRUCTURAL STEEL CSA G40.21M:
HSS SECTIONS GRADE 350 W CLASS H
ANCHOR BOLTS GRADE Z60 W
PIPE MATERIAL ASTM A53
OTHER STEEL GRADE 300 W
WELDING TO CONFORM TO CSA W59 AND W47-1
9. LOAD BEARING MASONRY MATERIALS:
HOLLOW BLOCK CSA A165.1M-H/15X/X
SOLID BLOCK CSA A 165.1M-S/15X/X
BELOW GRADE MORTAR CSA A179M-TYPE S
ABOVE GRADE MORTAR CSA A179M-TYPE N
GROUT FOR BLOCK CORES CSA A179M 1:3:2 CEMENT:SAND:PEA GRAVEL BY VOLUME, 8"SLUMP
10. STRUCTURAL LUMBER ALL LUMBER TO BE KILN-DRIED GRADED TO CONFORM CSA 0141, SPF NO.2 UNLESS OTHERWISE NOTED
11. SUPPLY JOIST HANGERS TO THE JOIST MANUFACTURER SPECIFICATIONS
12. PROVIDE WEB STIFFENERS WHERE TJI JOISTS CONNECTED USING HANGERS
13. PROVIDE FIRE PROTECTION WHEN WELDING CLOSE TO COMBUSTIBLE MATERIALS

GENERAL NOTES:

1. THESE NOTES COMPLY WITH THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, (REG. 2006) UNLESS SPECIFICALLY ALTERED BY MUNICIPALITY HAVING JURISDICTION. IT IS THE RESPONSIBILITY OF THE BUILDER TO CONFORM WITH THESE SECTIONS WHERE APPLICABLE AND FAMILIARIZE HIMSELF SPECIFICALLY WITH PART 9 OF THE CODE.
2. ALL STRUCTURAL LUMBER TO BE EASTERN SPRUCE NO.2 CONSTRUCTED GRADE, UNLESS OTHERWISE NOTED. SIZES ARE DETERMINED FROM SPAN OFF TABLES OF THE BUILDING CODE - ONTARIO REG. 413/97.
3. ALL WINDOWS ARE DOUBLE GLAZED OR THERMOPANE.
4. ALL WINDOWS HEADS TO BE 6"-10" (OR 7"-10") ABOVE FINISH FLOOR OR TO MATCH DOOR HEAD FRAMING HEIGHTS.
5. ALL EXTERIOR DOORS, IF WOOD TO HAVE STORM DOORS TO BE OF METAL INSULATED TYPE.
6. ALL TIMBER TO BE SUPPORTED MIN. 6" ABOVE FIN. GRADE UNLESS PRESSURE TREATED AGAINST TERMITES.
7. REMOVE WOOD DEBRIS AND VEGETATION FROM BACKFILL
8. ALL SMOKE ALARMS WITHIN A SINGLE DWELLING UNIT SHALL BE INTERCONNECTED.
9. ALL DIMENSIONS ON FLOOR PLANS ARE FROM NOMINAL STUD FACE TO NOMINAL STUD FACE OR FACE OF EXTERIOR FINISH MATERIAL.

JOIST NOTES:

FOR ALL TILES AREAS CONSIDER:

1. WHERE JOISTS ARE SPECIFIED 16" O.C. CHANGE TO JOISTS AT 12" O.C.
2. WHERE JOISTS ARE SPECIFIED @12" O.C. DOUBLE UP EVERY 2 JOISTS

COLUMN SCHEDULE:

COL. "A" = HSS 4X4 1/2", W/6X6 3/4" T.P.L. & 10X10 3/4" B.P.L. + 4-1/2" Ø ANCHORS TO TOP OF FOUNDATION WALL OR STEEL BEAM BELOW

"C" BUILT UP STUDS WITH FULL BEARING. PROVIDE SOLID SUPPORT BLOCKING IN FLOOR CAVITY AS REQUIRED AS PER 9.17.41 O.B.C. SEE P.ENG. NOTES.
C1 - 3-2"x4"
C2 - 4-2"x4"
C3 - 2-2"x6"
C4 - 3-2"x6"
C5 - 4-2"x6"
"A" - 3" Ø SCH. 40 PIPE W/6X6 3/4" T.P.L. & 8X8 3/4" B.P.L. + 4-1/2" Ø ANCHORS

STEEL AND WOOD LINTEL LEGEND:

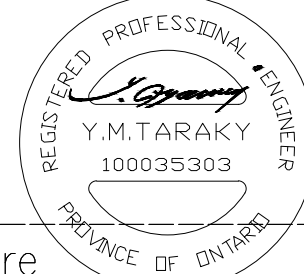
FOR MASONRY VENEER:
97" OR LESS 3 1/2"x 3 1/2" x 1/4
105" OR LESS 4" x 3 1/2" x 1/4
137" OR LESS 4 x 7/8 x 3/2" x 3/8"
FOR WOOD OPENINGS:
44" OR LESS 2 / 2" x 6"
64" OR LESS 2/ 2" x 8"
77" OR LESS 2/ 2" x 10"
88" OR LESS 2 / 2" x 12"
PROVIDE INSULATION BETWEEN HEADERS IF POSSIBLE
BEAM "1" - W 200X27 STEEL BEAM WELDED TO HSS COLUMN AS PER THE O.B.C. REQUIREMENTS

DOOR LEGEND:

1'- 8" x 80"
2'- 0" x 80"
2'- 4" x 80"
2'- 6" x 80"
2'- 8" x 80"
2'-10" x 80"
3'- 0" x 80"

The undersigned has reviewed and takes responsibility for this design, and has the qualification and meets the requirements set out in the Ontario Building Code.

Yar M. Taraky .P.Eng.
OWNER



(100035303)

Name _____ Signature _____ BCIN _____
Registration Information

Required unless design is exempted under Division "C", Article 3.2.4.1 of the Building Code

Designer/Firm name _____ BCIN _____

GENERAL NOTES:

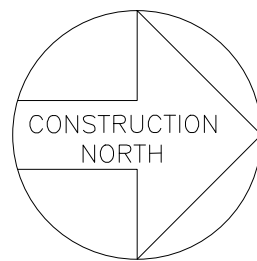
BEARING NOTE:

1. BEAM BEARING TO BE MIN. 3"
2. JOIST BEARING TO BE MIN. 1 1/2"
3. LINTEL BEARING TO BE MIN. 1 1/2"
4. RAFTER RAFTER BEARING TO BE MIN. 1 1/2"

REVISIONS

| No. | DATE | DESCRIPTION |
|-----|--------|----------------------------|
| 1 | 010121 | ISSUED FOR BUILDING PERMIT |
| 2 | 010421 | ISSUED FOR BUILDING PERMIT |
| 3 | | |
| 4 | | |

CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK.
DO NOT SCALE DRAWINGS.

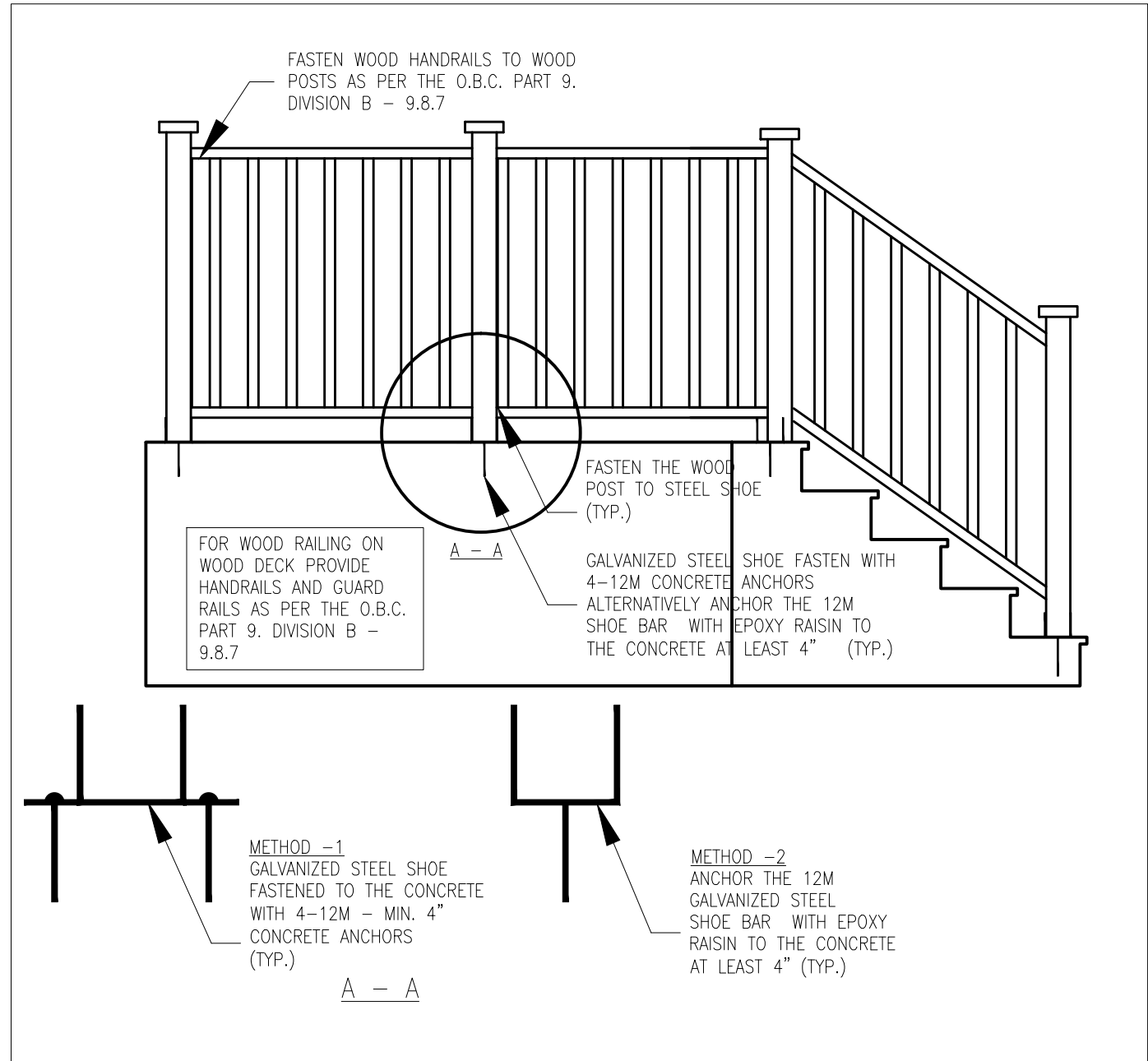


PROJECT NAME:

10 LONGWOOD RD.
HAMILTON, ON

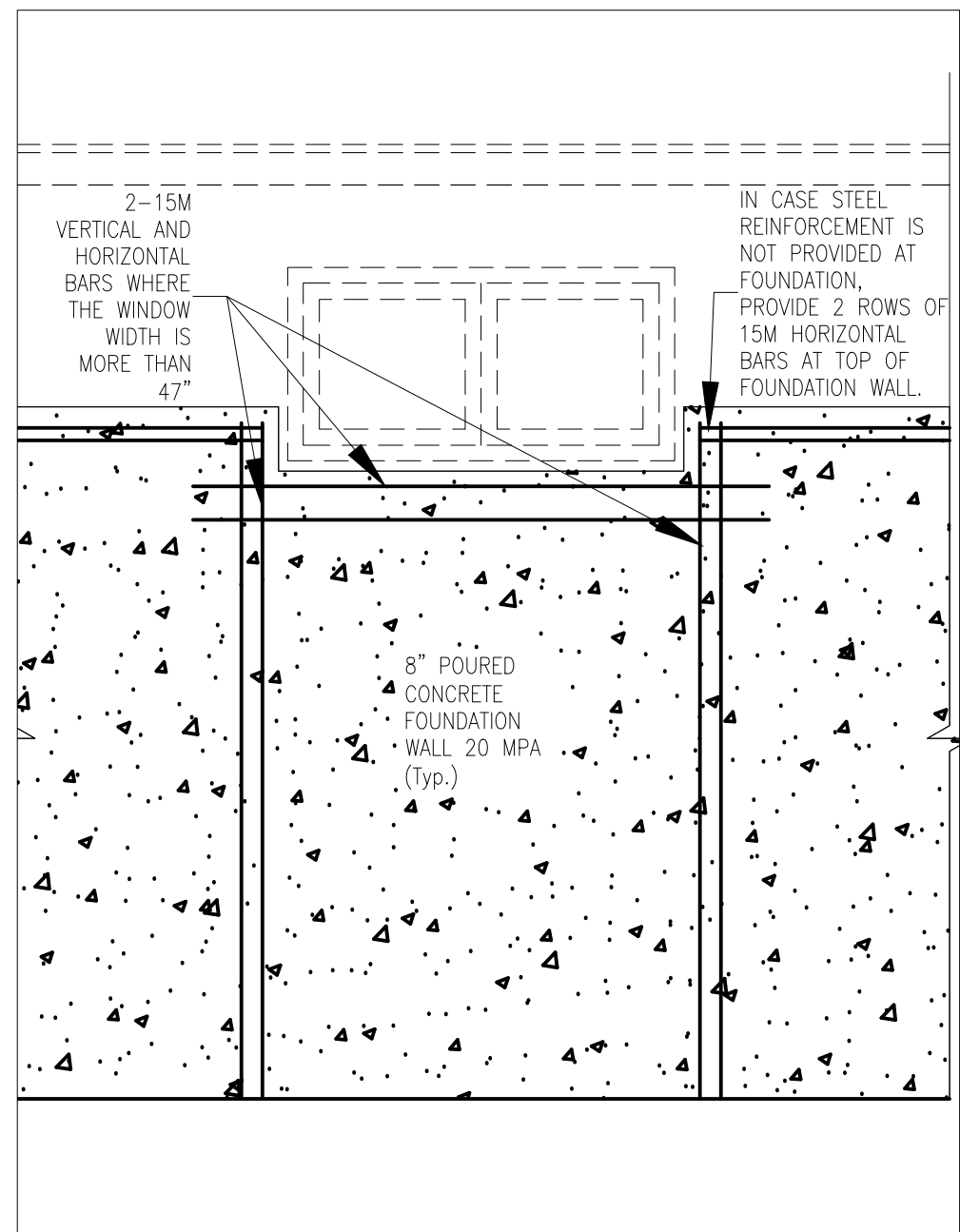
DRAWING TITLE: **BASEMENT PLAN
FIRST FLOOR PLAN
NOTES AND SCHEDULES**

| | |
|------------------------|---------------------------------|
| SCALE: AS SHOWN | PROJECT NUMBER: 2004 |
| DATE: 01.07.17 | |
| DRAWN BY: YMT | DRAWING NUMBER: A1.02 |
| CHECKED BY: - | |



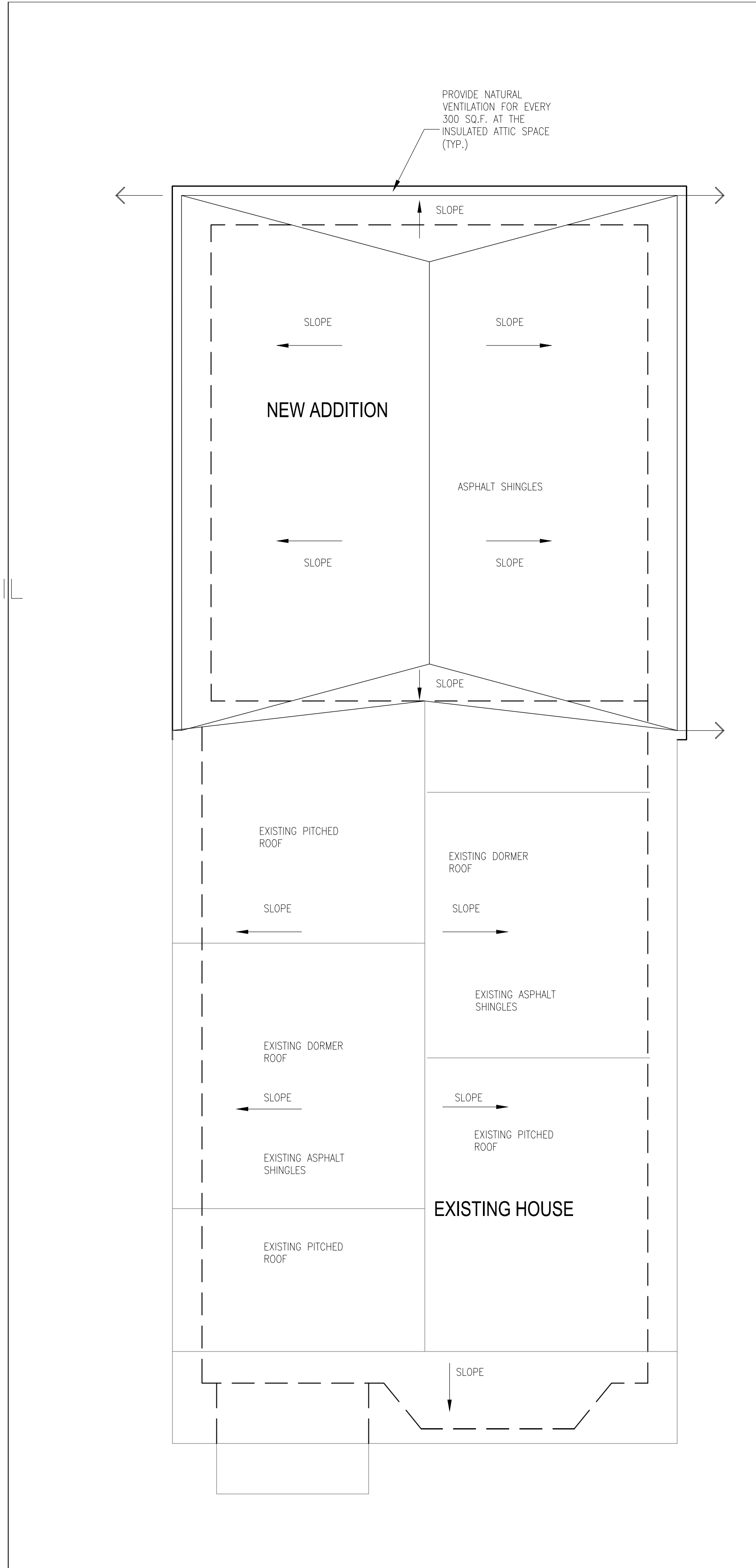
3
A1-03

STAIR RAILING REINFORCEMENT DETAIL
SCALE: 1/2"=1'-0"



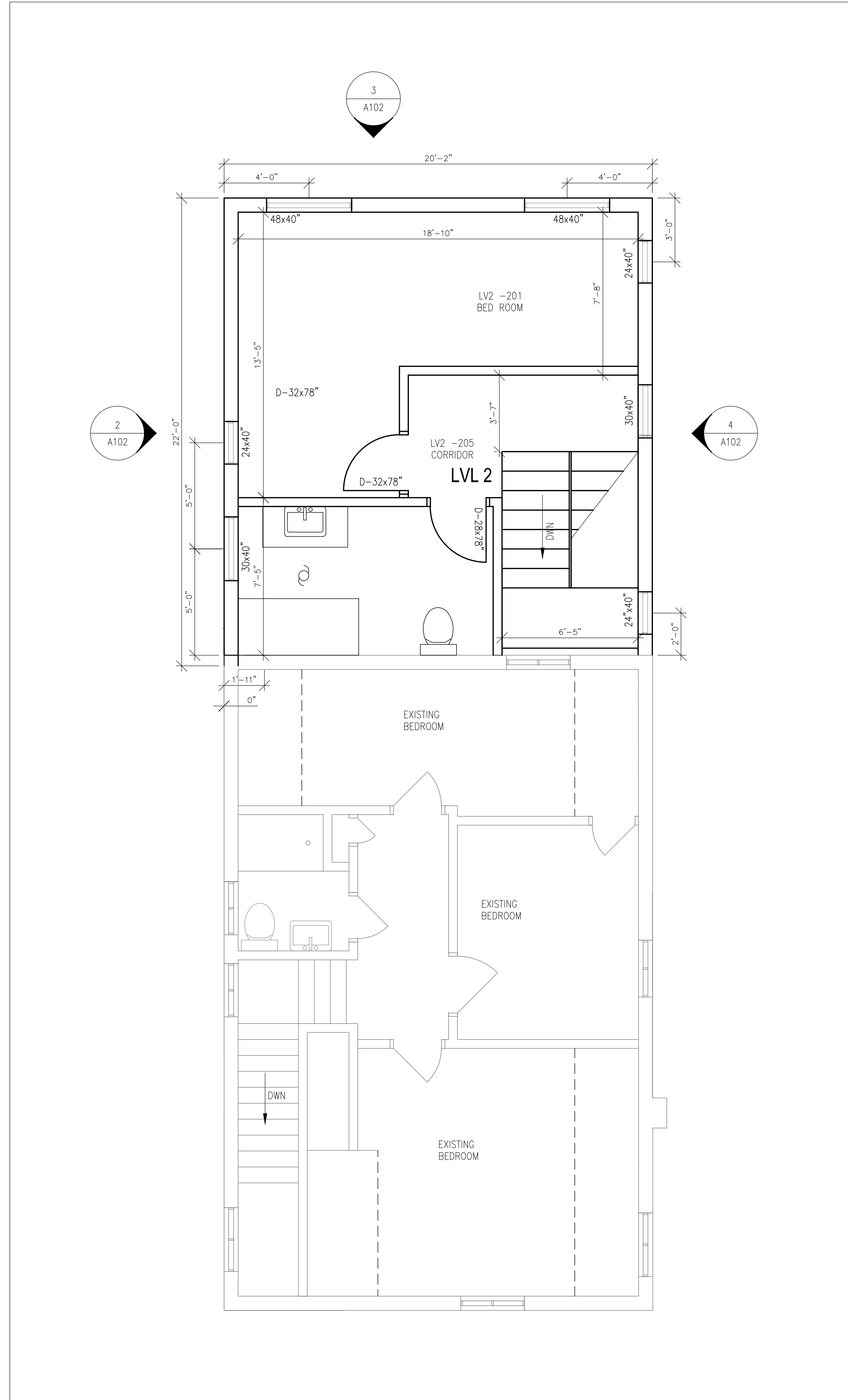
4
A1-03

REINFORCEMENT DETAIL
SCALE: 1/2"=1'-0"



2
A1-03

ROOF PLAN
SCALE: 1/4"=1'-0"



1
A103

SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

The undersigned has reviewed and takes responsibility for this design, and has the qualification and meets the requirements set out in the Ontario Building Code.

Yar M. Taraky .P.Eng. (100035303)
OWNER

Name Signature BCIN
Registration Information

Required unless design is exempted under Division "C", Article 3.2.4.1 of the Building Code

Designer/Firm name BCIN



GENERAL NOTES:

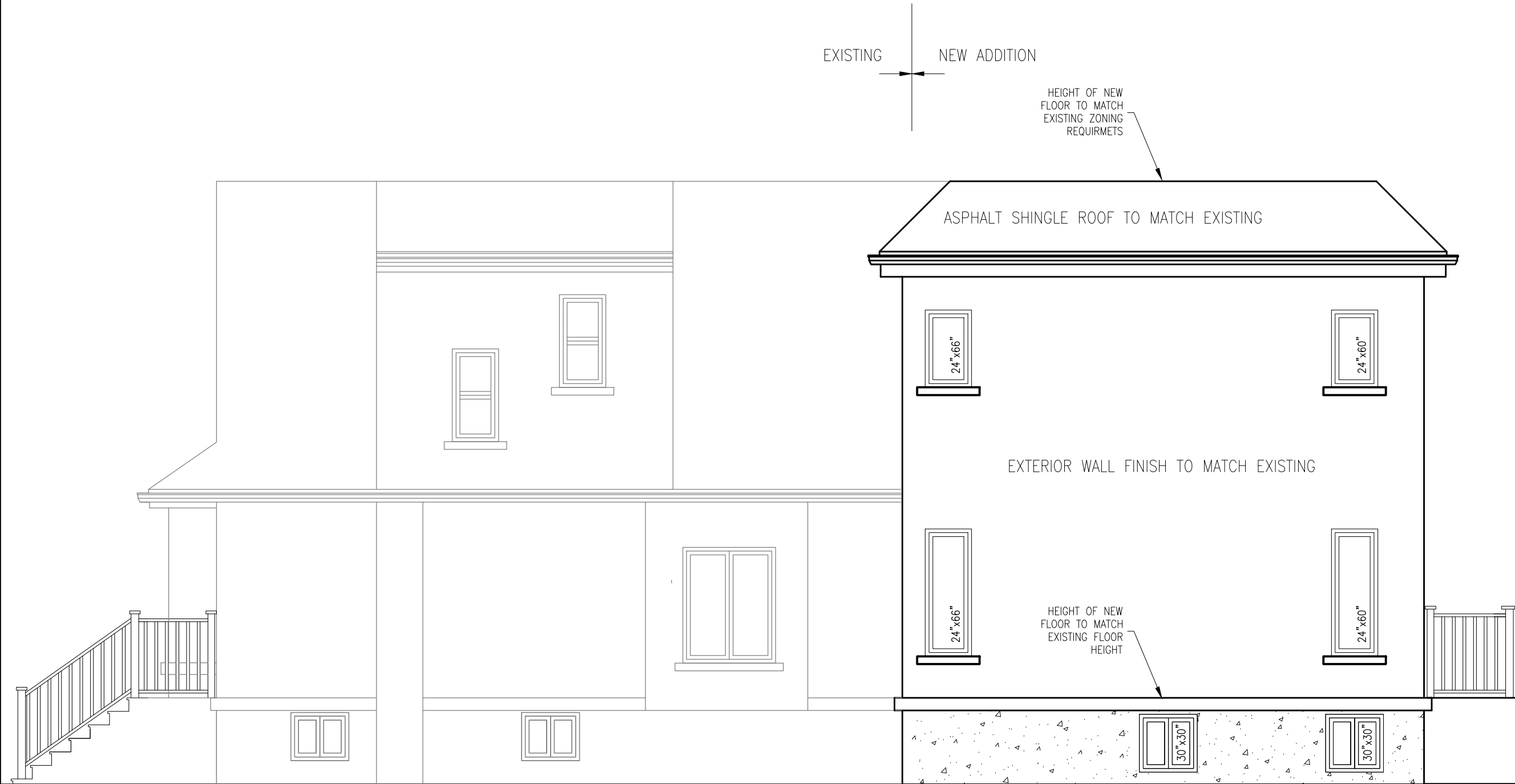
| REVISIONS | | |
|-----------|--------|----------------------------|
| | DATE | DESCRIPTION |
| 1 | 010121 | ISSUED FOR BUILDING PERMIT |
| 2 | 010421 | ISSUED FOR BUILDING PERMIT |
| 3 | | |
| 4 | | |

CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. DO NOT SCALE DRAWINGS.

PROJECT NAME:
10 LONGWOOD RD.
HAMILTON, ON

DRAWING TITLE: SECOND FLOOR PLAN
ROOF PLAN
AND DETAILS

| SCALE: | AS SHOWN | PROJECT NUMBER: | 2004 |
|-------------|----------|-----------------|-------|
| DRAWN BY: | YMT | DRAWING NUMBER: | A1.03 |
| CHECKED BY: | | | |



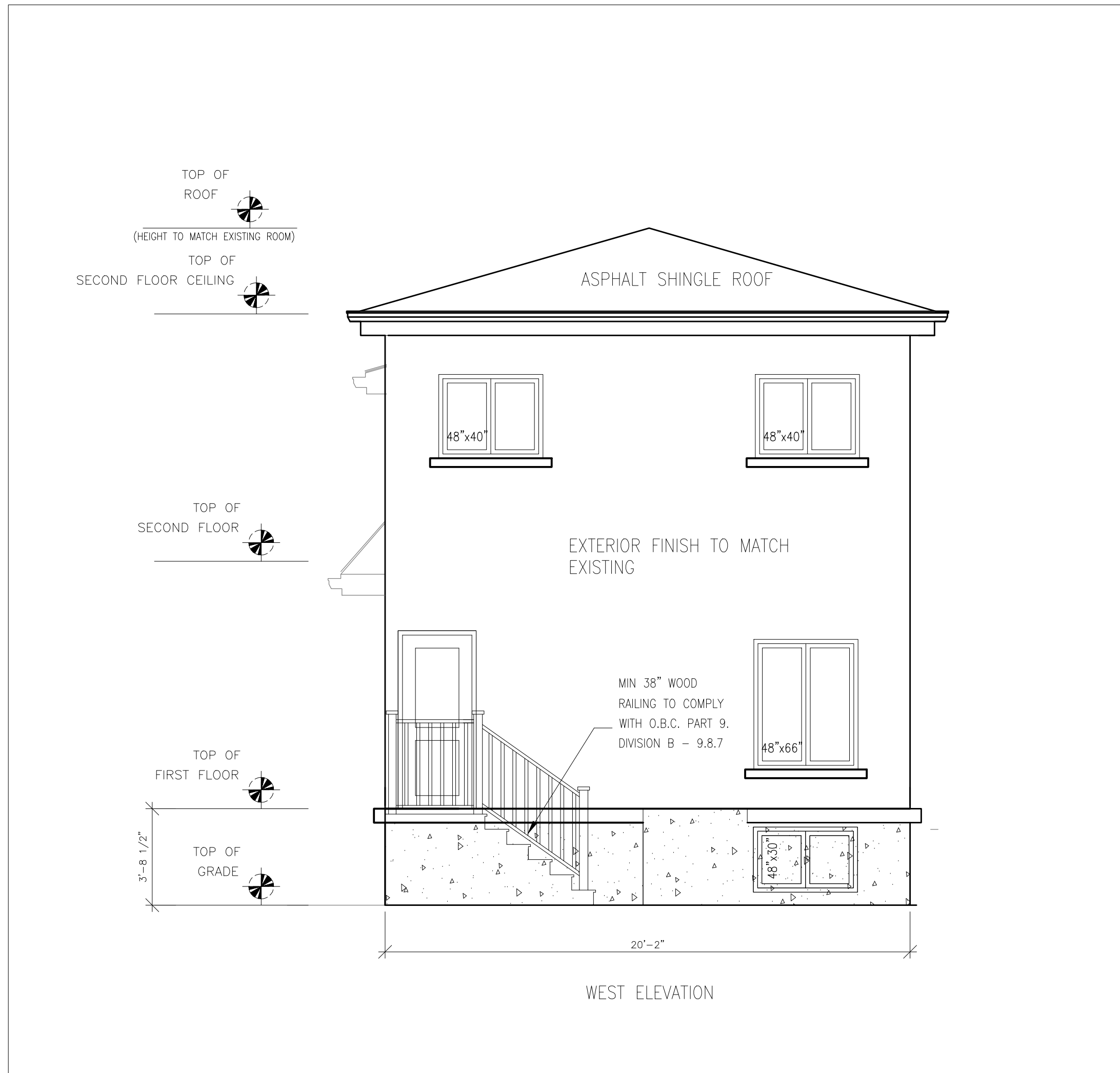
NORTH ELEVATION (ADJACENT TO MECHANIC SHOP)



SOUTH ELEVATION

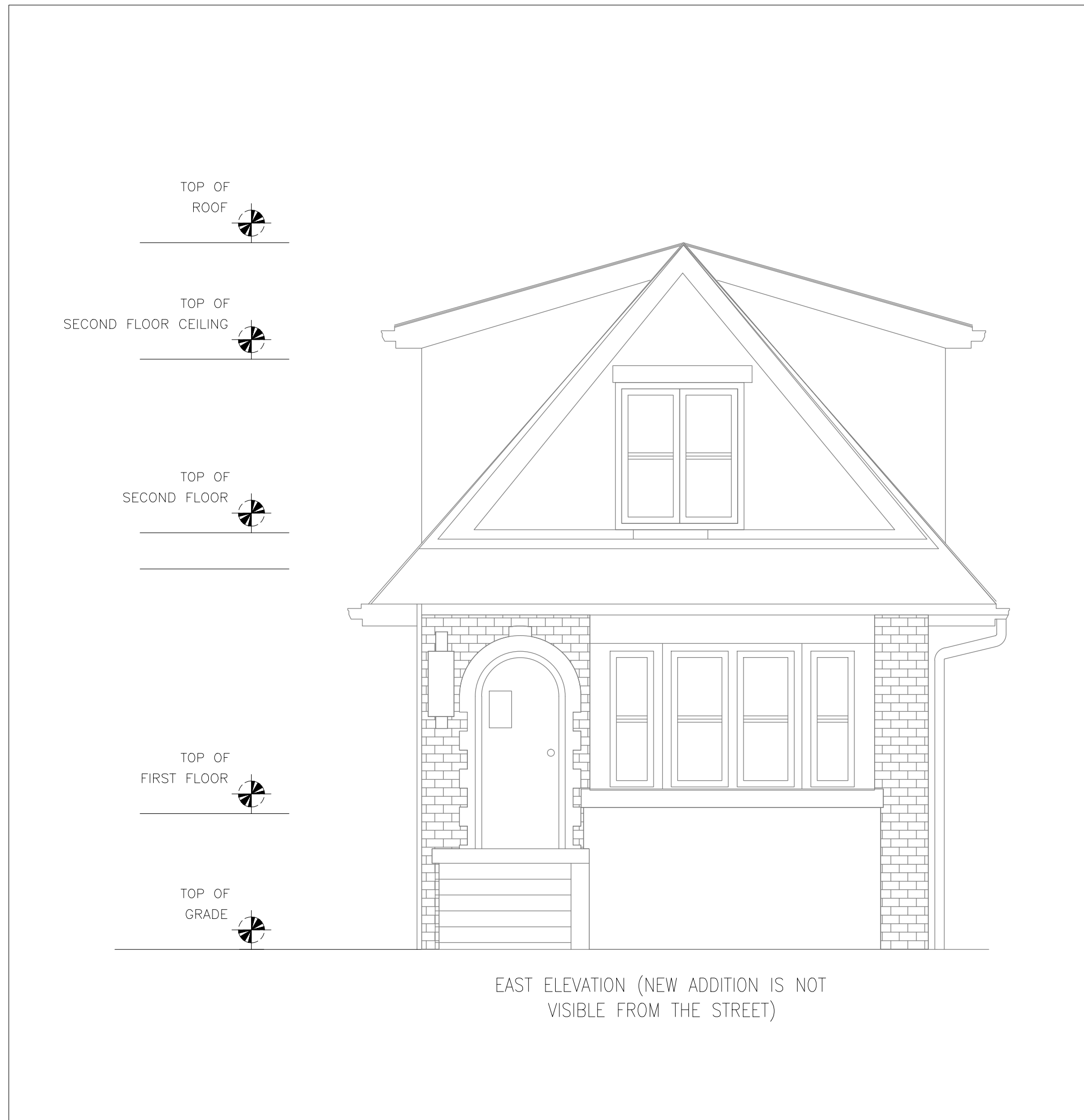
4
A2-01
SOUTH ELEVATION
SCALE: 1/4"=1'-0"

3
A2-01
SOUTH ELEVATION
SCALE: 1/4"=1'-0"



WEST ELEVATION

2
A2-01
WEST ELEVATION
SCALE: 1/4"=1'-0"



EAST ELEVATION (NEW ADDITION IS NOT
VISIBLE FROM THE STREET)

1
A2-01
EAST ELEVATION
SCALE: 1/4"=1'-0"

| INFROMATION | AREA (SQ.F) | PERCENTAGE AND ALLOWANCE |
|---|-------------|--------------------------|
| AREA OF GARAGE NORTH WALL | 579 | - |
| TOTAL AREA OF ALL WINDOW OPENINGS | 40 | - |
| AREA RATIO OF WINDOW AND WALL (%) | - | 6.9 (%) |
| ALLOWANCE PER TABLE 9.10.15 | - | 1-10 (%) |
| SOUTH SIDE WINDOW AREA SPATIAL SEPARATION CALCULATION AND MEASUREMENTS: 1. THE SOUTH SIDE WINDOW AREA SPATIAL SEPARATION CALCULATION IS DONE AS PER TABLE 9.10.14.11 AND 9.10.15 OF PART 9 OF OBC. 2.AS PER THE TABLE THE MAXIMUM AREA OF UNPROTECTED OPENING FOR RESIDENTIAL HOUSES WAS USED. THE TOTAL AREA RATIO OF THE NORTH WALL FOR THE WINDOW OPENING IS 6.9%, WHERE THE PERMITTED UNPROTECTED OPENING AREA FOR HOUSES IS 1-10% AND 11-25%. 3. IN BOTH CASES THE COMBINED WINDOW OPENINGS OF 40 SQ.F. IS LESS THAN 10% OF THE TOTAL FACE OF THE WALL AREA WHICH WAS CALCULATED AT 579 SQ.F. NOTE: THE SOUTH FACE OF THE BUILDING IS 2.0 M FROM THE PROPERTY LINE. THE REQUIRED MINIMUM DISTANCE IS 1.5M ACCORDING TO RU-ZONING). | | |

4
A2-01
WINDOW AREA
SPATIAL CALC.

The undersigned has reviewed and takes responsibility for this design, and has the qualification and meets the requirements set out in the Ontario Building Code

Yar M. Taraky .P.Eng. (100035303)
OWNER

Name _____ Signature _____ BCIN _____
Registration Information

Required unless design is exempted under Division "C", Article 3.2.4.1 of the Building Code

Designer/Firm name _____ BCIN _____

GENERAL NOTES:

| REVISIONS | | |
|-----------|--------|----------------------------|
| | DATE | DESCRIPTION |
| 1 | 010121 | ISSUED FOR BUILDING PERMIT |
| 2 | 010421 | ISSUED FOR BUILDING PERMIT |
| 3 | | |
| 4 | | |

CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. DO NOT SCALE DRAWINGS.

PROJECT NAME:
10 LONGWOOD RD.
HAMILTON, ON

DRAWING TITLE: ELEVATIONS

| | |
|-----------------|-----------------------|
| SCALE: AS SHOWN | PROJECT NUMBER: 2004 |
| 01.07.17 | |
| DRAWN BY: YMT | DRAWING NUMBER: A2.01 |
| CHECKED BY: - | |



Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

| 1, 2 | NAME | ADDRESS | |
|----------------------|---------------|------------|---|
| Registered Owners(s) | Maaz Mahmood | [REDACTED] | Phone: [REDACTED] E-mail: [REDACTED] |
| Applicant(s)* | Maaz Mahmood | [REDACTED] | Phone: [REDACTED] E-mail: [REDACTED] |
| Agent or Solicitor | Yar M. Taraky | [REDACTED] | Phone: [REDACTED] E-mail: [REDACTED] |

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:
The Royal Bank of Canada
10 York Mills Road, 3rd Floor
Toronto, Ontario M2P 0A2

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:
 1. Relief from restrictions against requirements for an additional parking spot
 2. An increase the height of the addition from 9m to 11m
 3. To allow for duplex designation
 4. To allow for the installation of an independent HVAC system for the addition
 5. To permit the creation of a separate entrance for the addition
 6. Relief from lot coverage requirements

5. Why it is not possible to comply with the provisions of the By-law?
 The addition may not pass the current By Law requirements for the above mentioned items (in No. 4).

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):
 PIN 17466-0035 (LT) PT LOT 95 & PT ALLEYWAY, PLAN 692, AS CLOSED BY ORDER HL80253, AS IN CD382922; S/T CD381922; HAMILTON
 10 Longwood Road South, Hamilton, Ontario L8S 1S5

7. PREVIOUS USE OF PROPERTY

| | | | | | |
|--------------|-------------------------------------|------------|--------------------------|------------|--------------------------|
| Residential | <input checked="" type="checkbox"/> | Industrial | <input type="checkbox"/> | Commercial | <input type="checkbox"/> |
| Agricultural | <input type="checkbox"/> | Vacant | <input type="checkbox"/> | | |
| Other _____ | | | | | |

- 8.1 If Industrial or Commercial, specify use _____
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
 Yes ☐ No ☒ Unknown ☐
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?
 Yes ☐ No ☒ Unknown ☐
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
 Yes ☐ No ☐ Unknown ☒
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
 Yes ☐ No ☐ Unknown ☒
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
 Yes ☐ No ☐ Unknown ☒
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?
 Yes ☐ No ☐ Unknown ☒
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
 Yes ☐ No ☒ Unknown ☐
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
 Yes ☐ No ☐ Unknown ☒

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☐ Unknown ☒

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?
Existing zoning verification, satellite images and existing purchase documents

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☒

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

March 11, 2021

Date

Signature Property Owner

Maaz Mahmood

Print Name of Owner

10. Dimensions of lands affected:

| | |
|-----------------|----------------------------|
| Frontage | <u>11.125 m</u> |
| Depth | <u>30.48 m</u> |
| Area | <u>339.1 m²</u> |
| Width of street | <u>12.5 m</u> |

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:

Existing Ground Floor area = 59.4 m², Gross Floor area = 118.7 m², Number of Stories = 1.5, Width of Existing Building = 6.15 m, Length of Existing Building = 9.4m, Existing Building Height = 7.5 (±)

Proposed

New Ground Floor area = 53.5 m², Gross Floor area = 107 m², Number of Stories = 2, Width of New Addition = 7.16 m, Length of New Addition = 7.47m, New Addition Height = 9.95m (±)

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Existing Ground Floor area = 59.4 m², Gross Floor area = 118.7 m², Number of Stories = 1.5, Width of Existing Building = 6.15 m, Length of Existing Building = 9.4m, Existing Building Height = 7.5 (±)

Proposed:

New Ground Floor area = 53.5 m², Gross Floor area = 107 m², Number of Stories = 2, Width of New Addition = 7.16 m, Length of New Addition = 7.47m, New Addition Height = 9.95m (±)

13. Date of acquisition of subject lands:
Not Known
14. Date of construction of all buildings and structures on subject lands:
Between 70-99 years
15. Existing uses of the subject property:
Residential
16. Existing uses of abutting properties:
Residential (South), Commercial (North), Residential (West), Street (East)
17. Length of time the existing uses of the subject property have continued:
More than 60 years
18. Municipal services available: (check the appropriate space or spaces)
Water _____ Connected Yes
Sanitary Sewer _____ Connected Yes
Storm Sewers Not Known
19. Present Official Plan/Secondary Plan provisions applying to the land:
Plan No. 692, PIN#: 174660035
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
C/S-136/S-1788
21. Has the owner previously applied for relief in respect of the subject property?
☐ Yes ☒ No
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
☐ Yes ☒ No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.