

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-21:208

APPLICANTS: Owners S. & L. Collins

SUBJECT PROPERTY: Municipal address **397 Beach Blvd., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended by By-law 99-169

ZONING: C/S-1436 district (Urban Protected Residential, etc.)

PROPOSAL: To permit the construction a 6.71m (22'0") x 13.06m (42'10") full second storey addition on the existing portion of the building and construct a two (2) storey 7.11m (23'4") x 8.53m (28'0") "L" shaped southerly (front) addition onto an existing single detached dwelling in order to facilitate Site Plan File No. DAB-19-068 notwithstanding that:

1. A minimum southerly side yard width of 0.9m shall be provided instead of the minimum required side yard width of 1.7m.
2. An alcove, which has a length of not more than 3.0m, shall be permitted to project not more than 0.8m into the minimum required southerly side yard (0.9m) so that the alcove may be as close as 0.1m to the southerly side lot line instead of the requirement that an alcove may project into a required side yard not more than 0.6m and have a length of not more than 3.0m.
3. A minimum northerly side yard width of 1.6m shall be provided instead of the minimum required side yard width of 1.7m.
4. Two parking spaces shall be provided instead of the minimum required three (3) parking spaces.

NOTE:

- i) The variances are necessary to facilitate Site Plan File No. DAB-19-068.
- ii) Variance No. 3 is required as the metric conversion of 5.50' is 1.67m and not 1.70m as shown on the Site Plan.
- iii) Variance No. 4 is required as nine (9) habitable rooms are shown which requires three (3) parking spaces and two (2) parking spaces are shown (1 space in the attached garage and 1 space in the driveway).

This application will be heard by the Committee as shown below:

DATE:	Thursday, July 8th, 2021
TIME:	2:10 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	To be streamed at
	www.hamilton.ca/committeeofadjustment
	for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

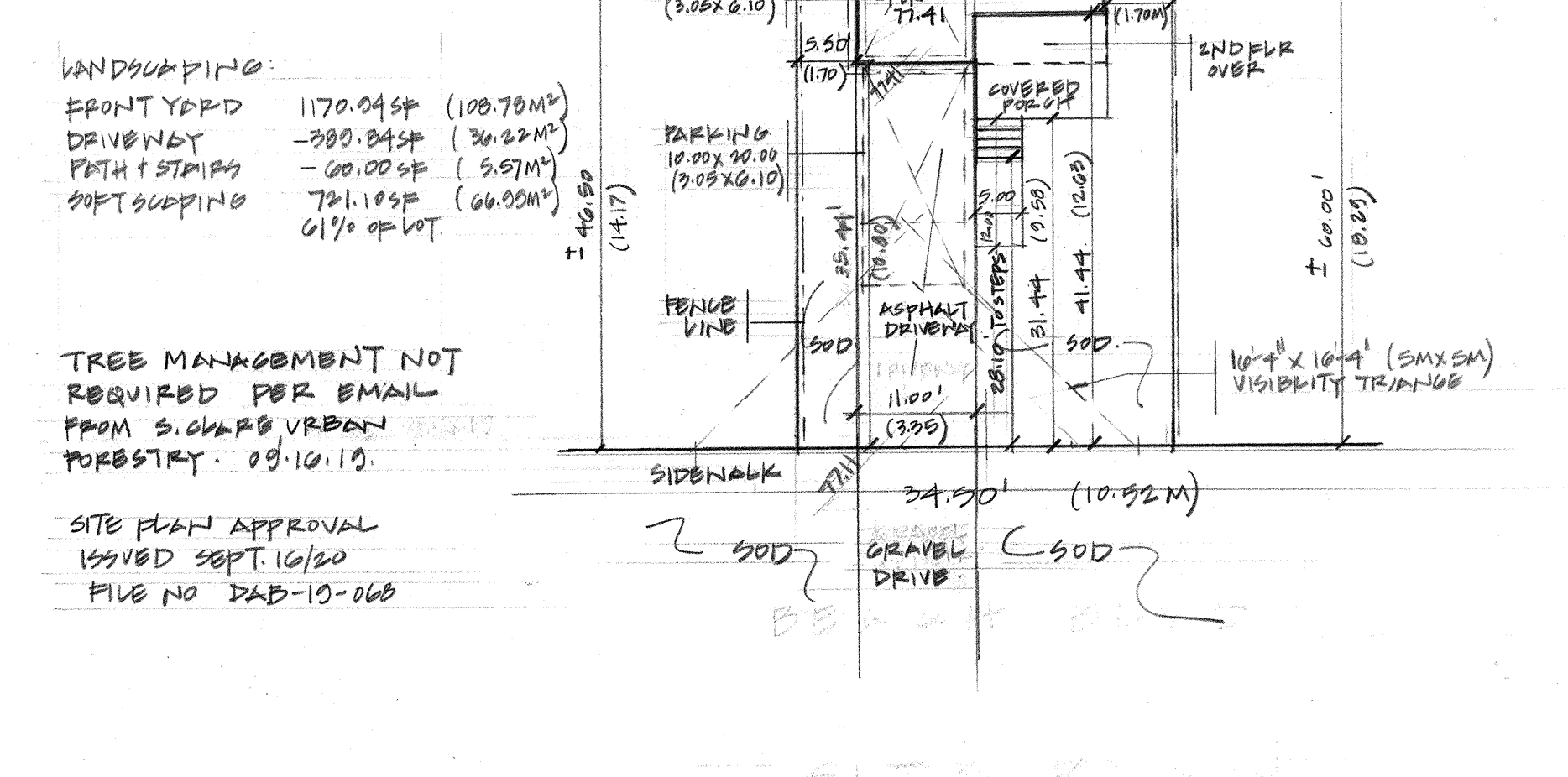
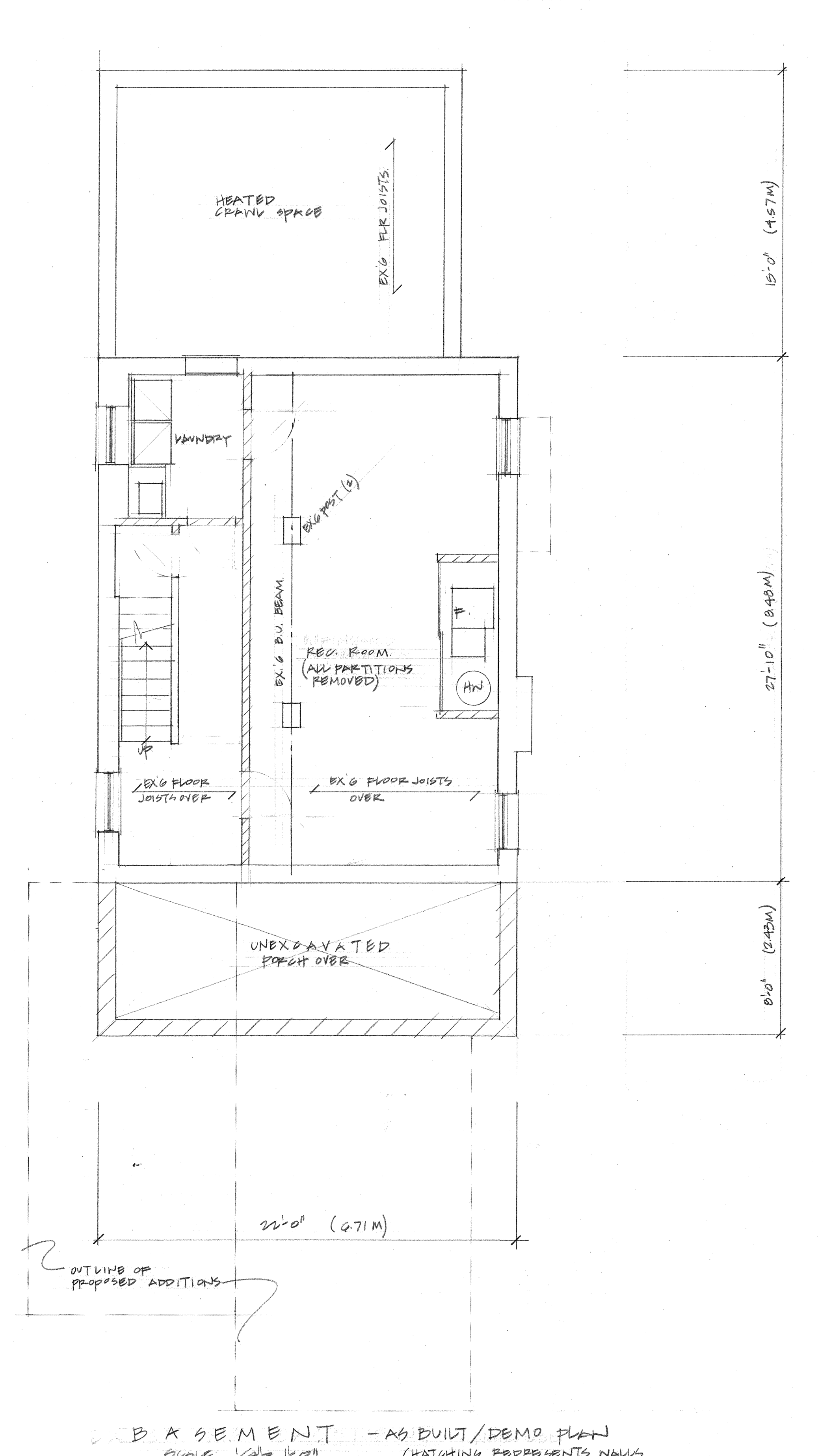
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: June 22nd, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



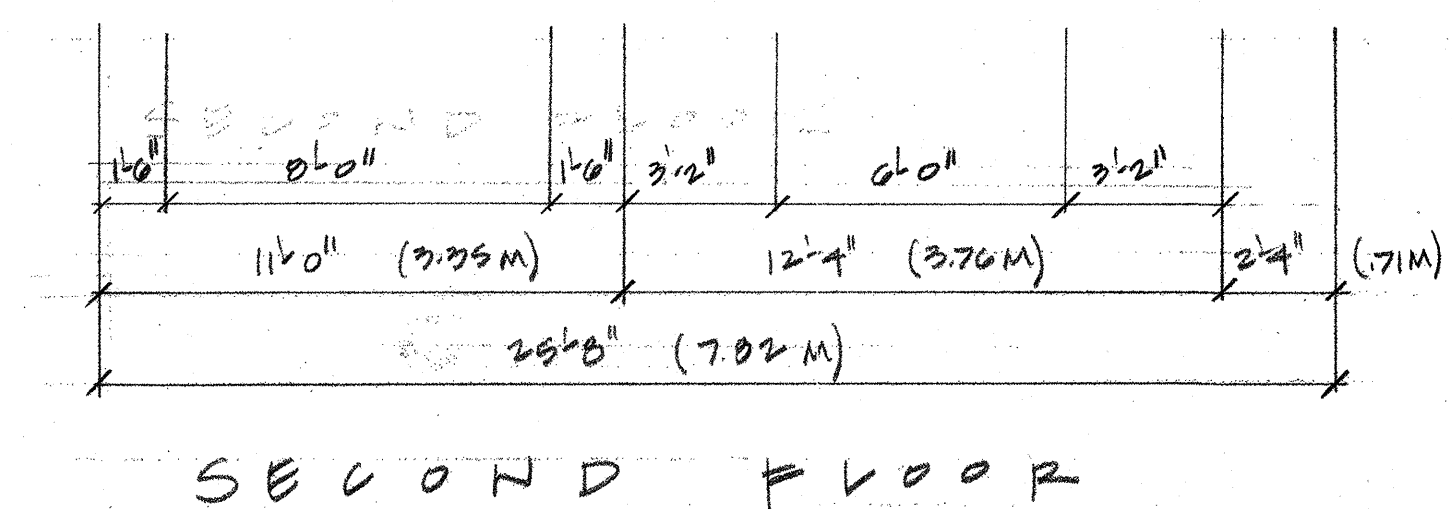
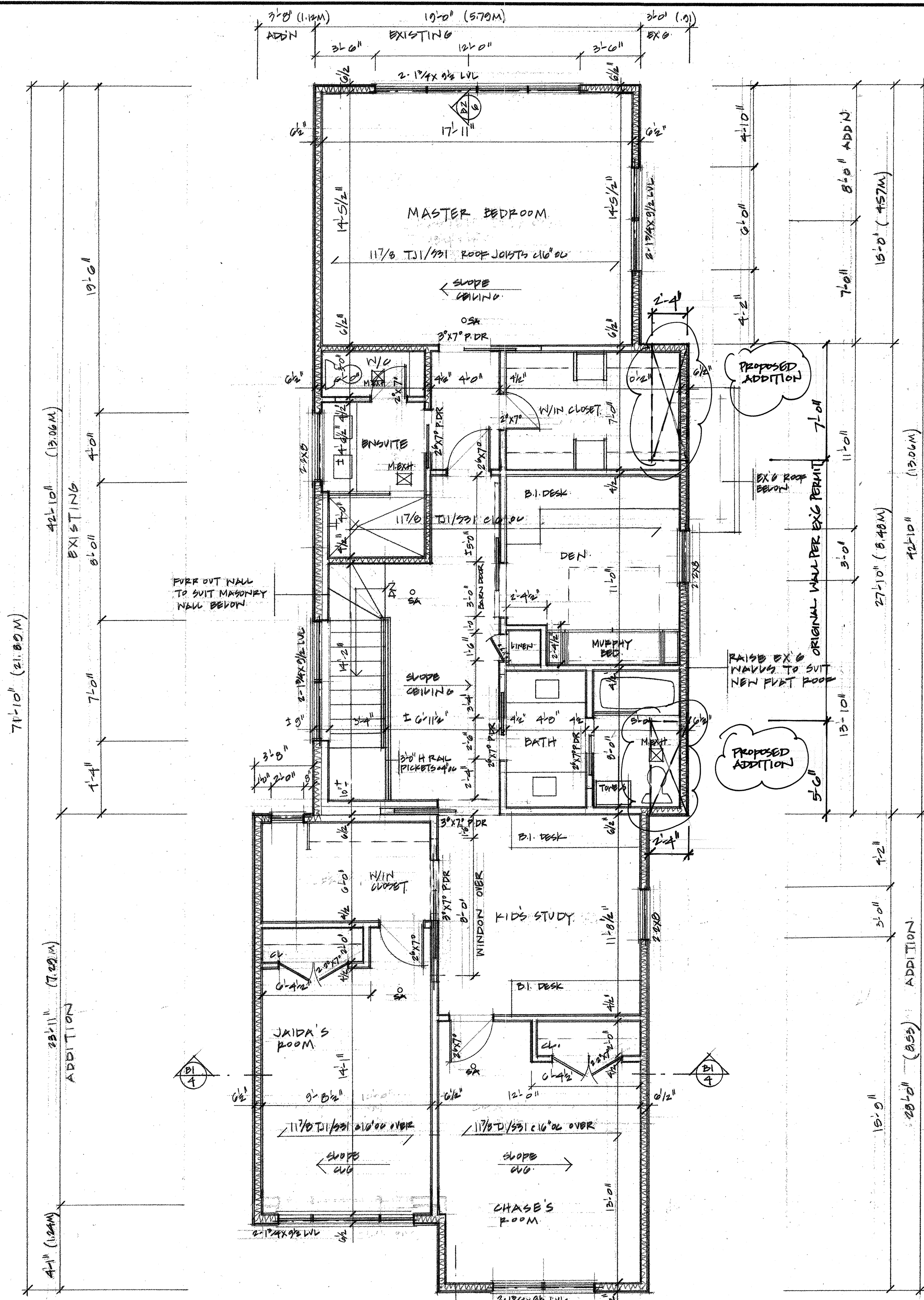
PROJECT: 377 BEACH BLVD. HAMILTON
ADDITIONAL PENOVATION

The Undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached drawings.

Qualification Information: 
Sylvia Edmonds BCIN 26032

Registration Information
Judy Drafting Ltd. BCIN 31393 Date: SEPT. 10/20

DESIGNS & DRAWINGS BY: JUST DRAFTING LTD TORONTO 416.604.7255		
CLIENTS / OWNERS: SCOTT & LAURA COLLINS.		
PROJECT: ADDITION & RENOVATION		
SCALE: 1/8"=1'-0"	APPROVED BY:	DRAWN BY: SD
DATE: FEB. 2010		REVISED
SITE: 307 BEACH BLVD. HAMILTON		
DRAWING SITE PLAN & BASEMENT		DRAWING NUMBER 1 OF 4



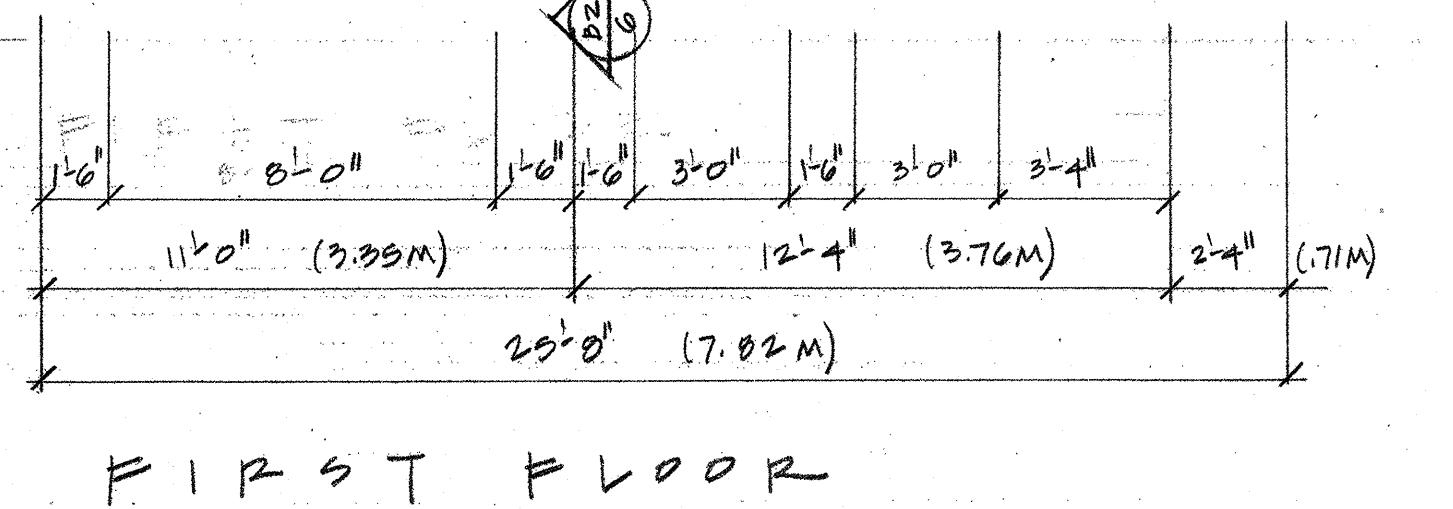
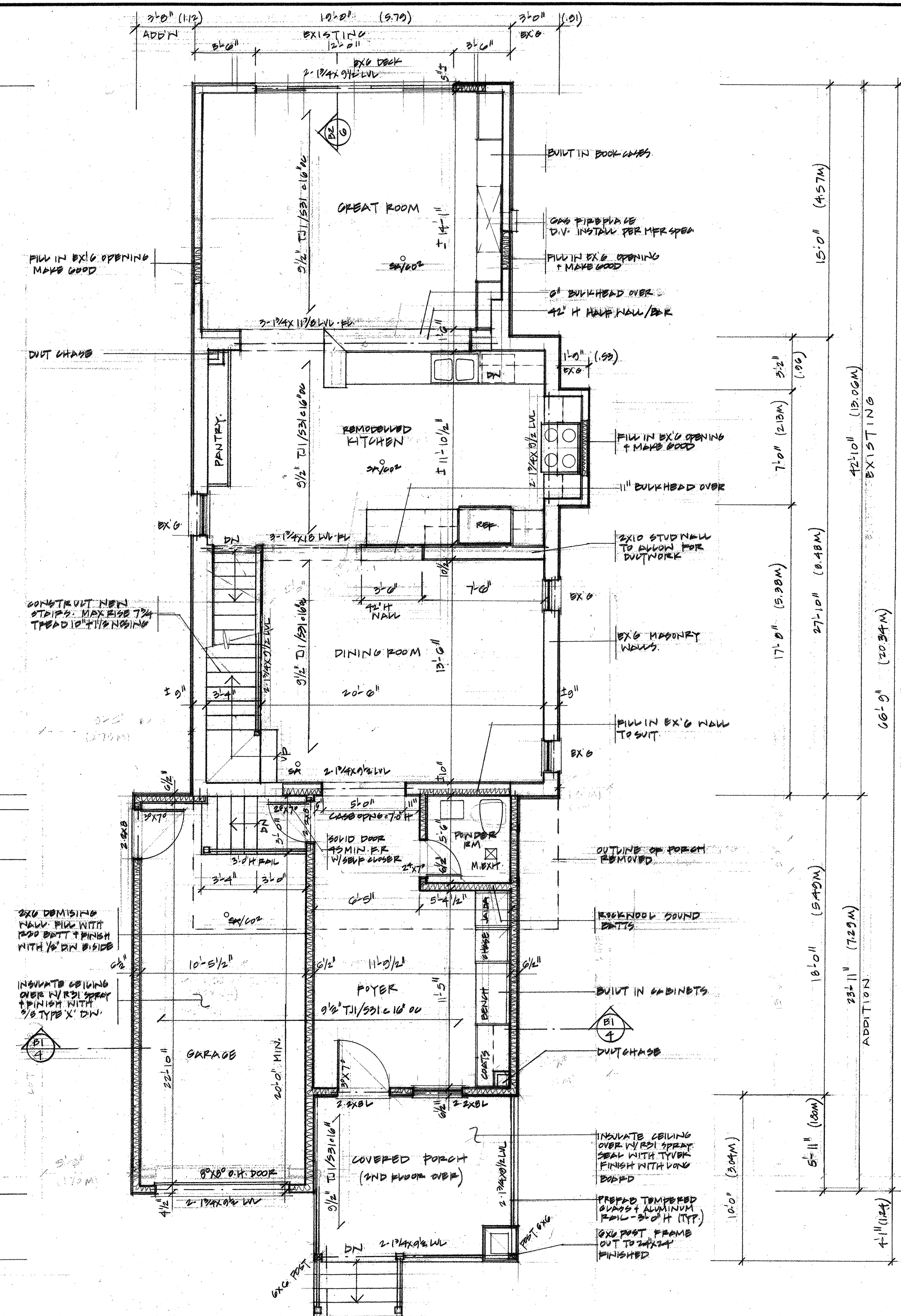
SEE FLOOR & ROOF FRAMING PLANS BY UNITED TRUSS.

PROJECT: 397 BEACH BLVD. HAMILTON
ADDITION + RENOVATION

The Undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached drawings.

Qualification Information:
Sylvia Edelenboe BCON 26032

Registration Information:
Just Drafting Ltd. BCON 31393 Date: Sept. 20/20



ISSUE FOR PERMIT FOR ENG. & HVAC
REVISED TO SUIT ZONING COMMENTS

05.31.20
08.25.19

PROJECT:
COLLINS ADDITION + RENOVATION

SCALE: 1/4" = 1'-0"
DATE: DEC. 2018

APPROVED BY:
DRAWN BY:
REVIS

SITE:
397 BEACH BLVD. HAMILTON

DRAWING:
PROPOSED PLANS

DRAWING NUMBER:
20F4

TYPICAL ROOF CONSTRUCTION
EPDM ROOFING MEMBRANE
1/2" EXT. PLYWOOD SHEATHING
1 1/2" TJI/SS1 FLOOR JOISTS @ 16" OC
R31 ICYNENE SPRAY FOAM INSULN
1/2" DRYWALL

ALUMINUM SOFFIT & FASCIA
RAVES THROUGH & DRY FLASHING

TYPICAL EXT. WALL CONSTRUCTION
WOOD SIDING (OR AS NOTED)
1/2" STEPPING
ROCKWOOL COMFORT DO - R501
TYVEK HOUSE WRAP
1/2" EXT. PLYWOOD SHEATHING
2x6 STUDS @ 16" OC
R20 BATT INSULATION
6 MIL POLY VAPOR BARRIER
1/2" DRYWALL

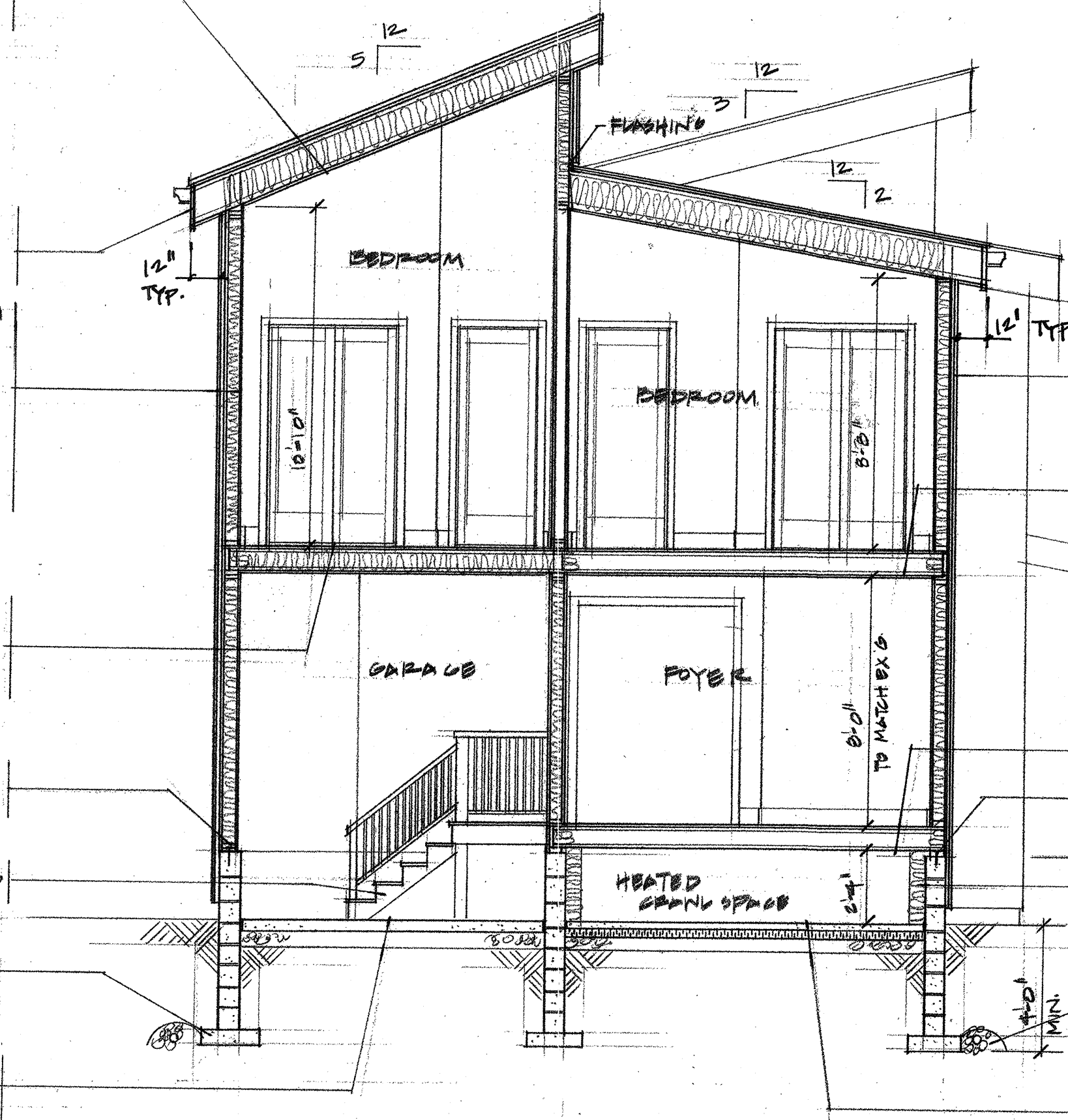
5/8" TYPE 'X' DRYWALL, TAPED
3/4" TJI/SS1 FLOOR JOISTS @ 16" OC
R31 ICYNENE SPRAY FOAM INSULN
3/4" PLY SUBFLOOR GIVE & SUREN

2x6 SILL R. ANCH'D TO SOLID BLOCK
W/ 1/2" X 8" BOLTS @ 4' OC

P.T. WOOD STAIRS
FIBRE MAX D" TREAD 1 1/2" NOSING
RIP & 3/8" PICKETS @ 4" OC

20' X 6" 6" DP PCONG PTC.

6" GRAVEL
4" POLY PCONG SHED



STEEL SIDING - IN PLACE OF WOOD SIDING

3/4" PLY SUBFLOOR GIVE & SUREN
3/4" TJI/SS1 FLOOR JOISTS
1/2" DRYWALL

3/4" PLY SUBFLOOR GIVE & SUREN
3/4" TJI/SS1 FLOOR JOISTS

2x6 SILL R. ANCH'D TO SOLID BLOCK
W/ 1/2" X 8" BOLTS @ 4' OC

8" CONG. BLOCK
R20 CONTINUOUS BATT INSULATION
6 MIL POLY V.B.

1" HEEPING TILE - CONNECT TO EX'G
12" GRAVEL

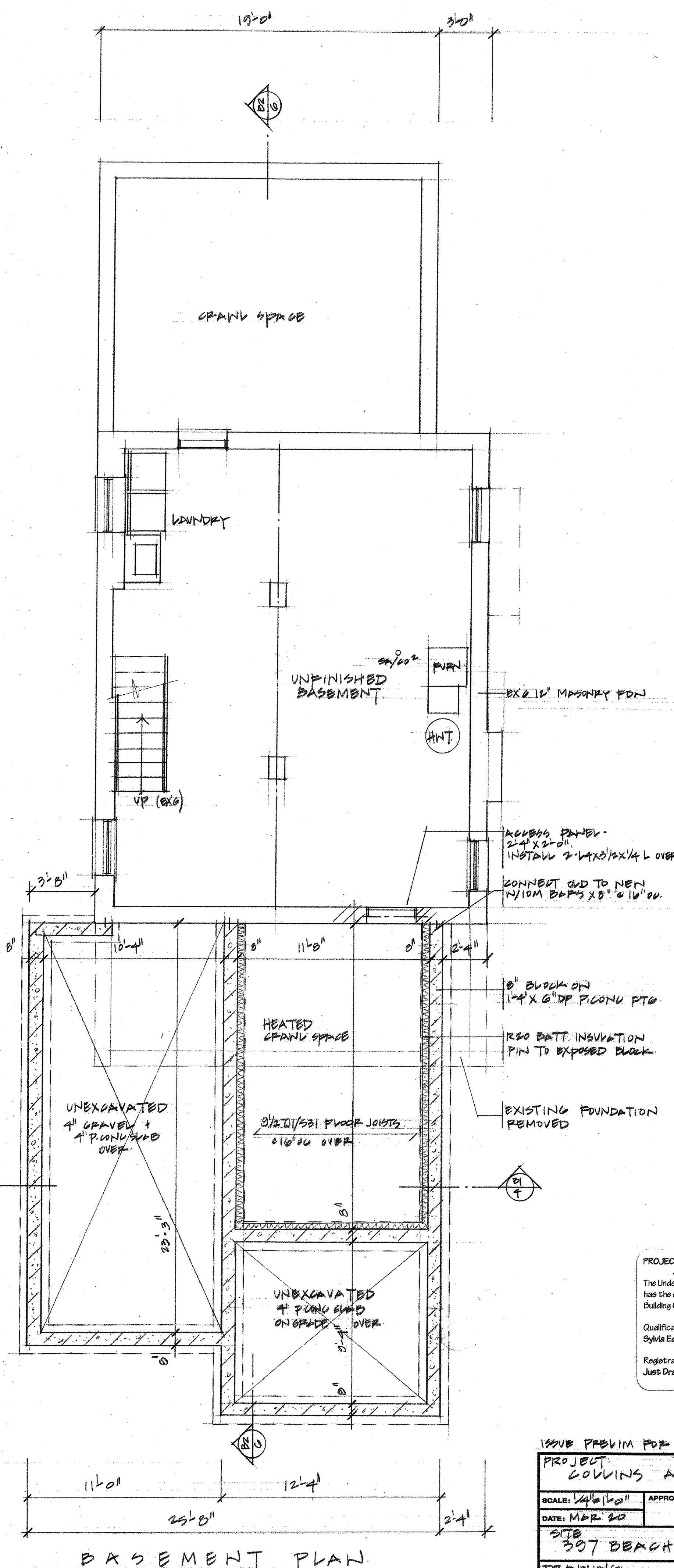
6" GRAVEL
2" RIGID FOAM RS
3" PCONG SHED

BUILDING SECTION B1

42'-10"

20'-11"

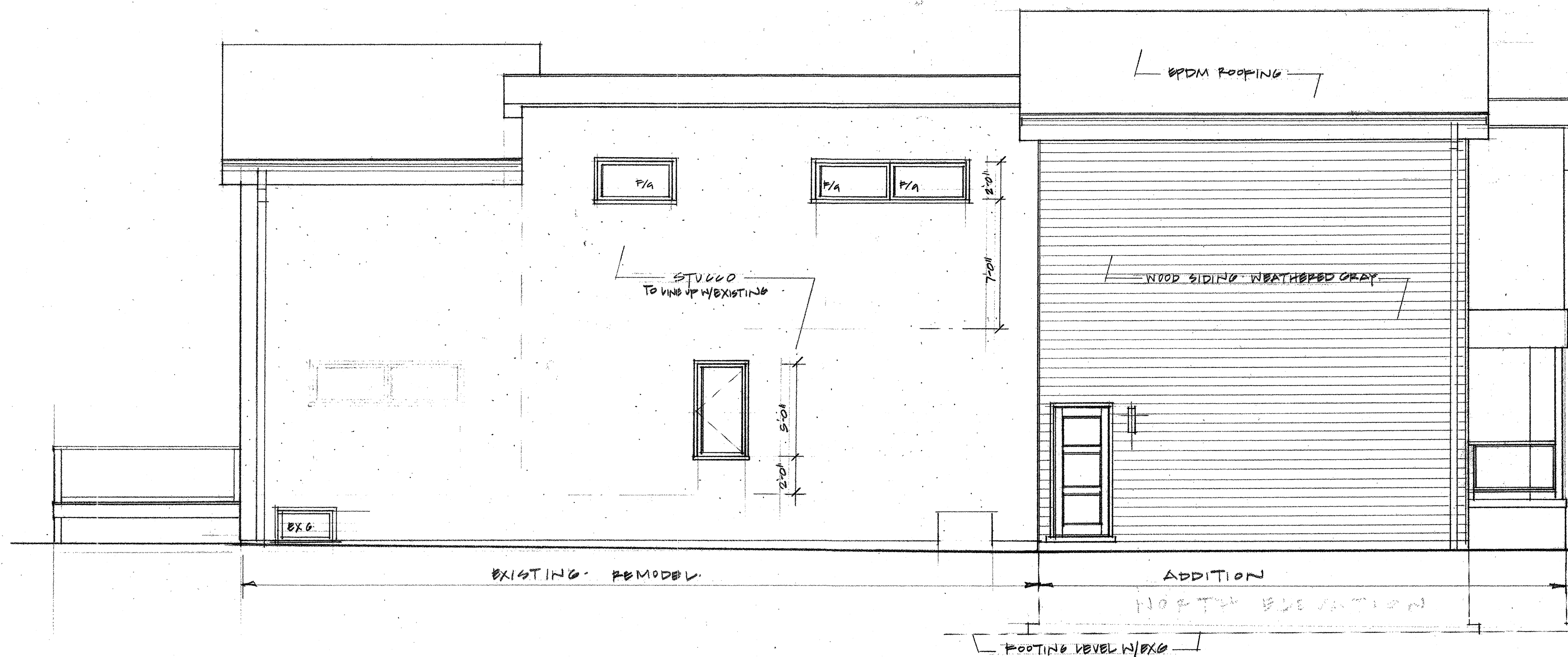
ADDITION



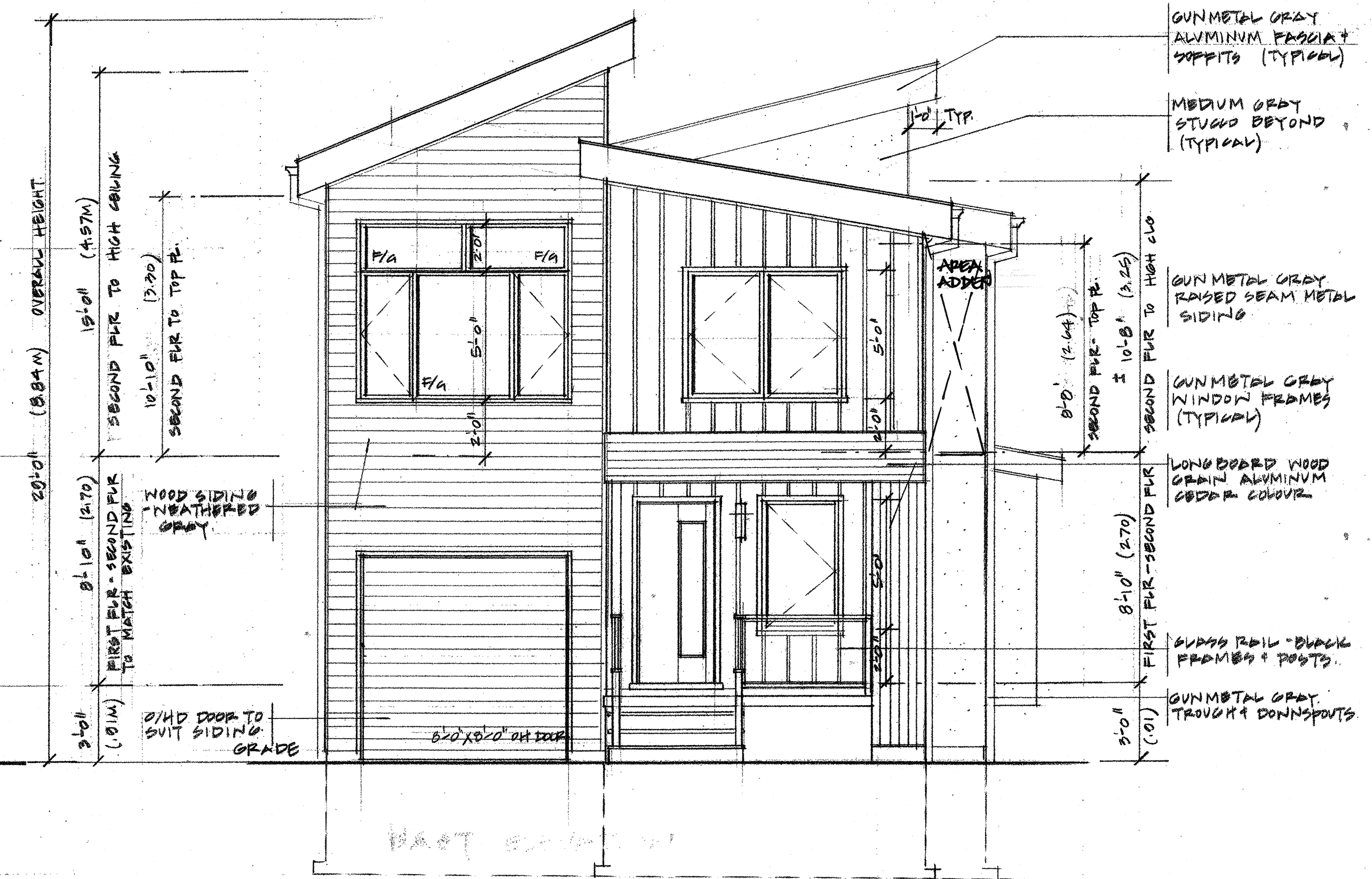
BASEMENT PLAN

PROJECT: 307 BEACH BLVD, HAMILTON
ADDITION & RENOVATION
The Undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached drawings.
Qualification Information: BCN 26032
Registration Information: Just Drafting Ltd. BCN 31393 Date: SEPT. 28/20

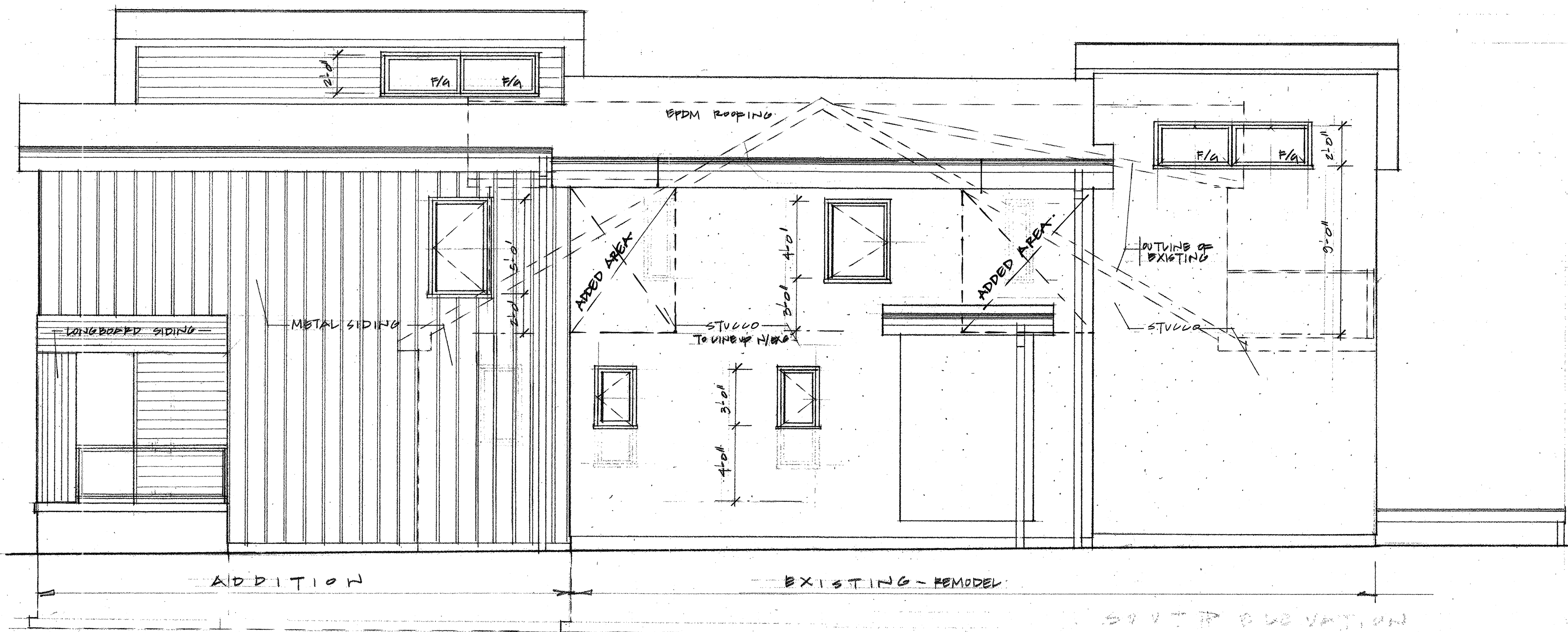
ISSUE PREVIEW FOR OWNER & HYDRO		03.31.20
PROJECT: COLLINS ADDITION & RENOVATION		
SCALE: 1/4" = 1'-0"	APPROVED BY:	DRAWN BY:
DATE: MAR 20		REVISED:
307 BEACH BLVD, HAMILTON		
DRAWING: PROPOSED BSMT & SECTION		DRAWING NUMBER: 4 OF 6



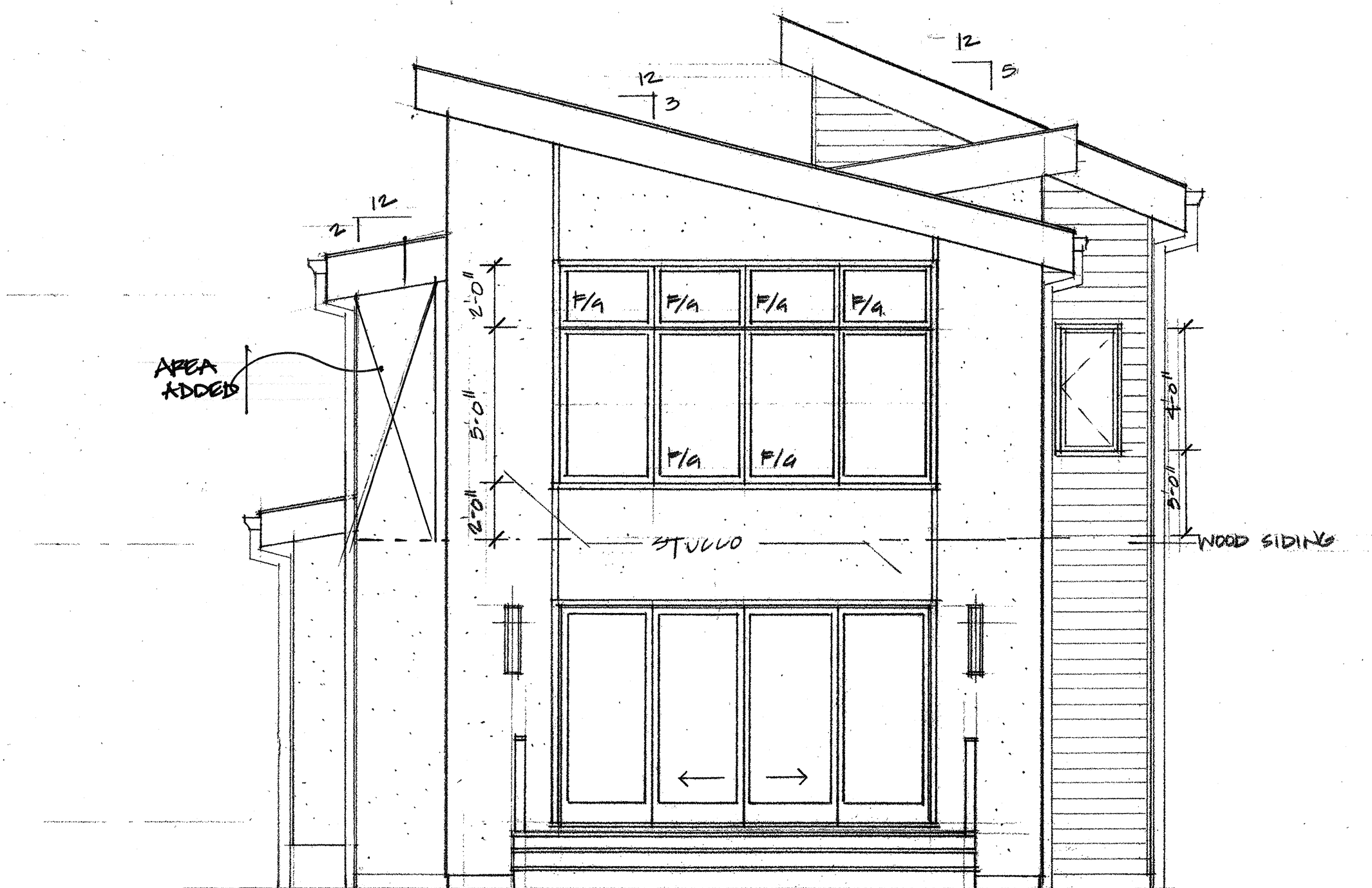
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION

PROJECT: 397 BEACH BLVD, HAMILTON
 ADDITION + RENOVATION
 The Undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached drawings.
 Qualification Information:
 Sylvia Edelenbos
 Registration Information:
 Just Drafting Ltd. BCIN 31595 Date: SEPT. 20/20

REVISED TO SUIT NOTES FROM CITY 10/25/19 09.15.20
 FILED IN 2019-10-25

PROJECT		
COLLINS ADDITION + RENOVATION		
SCALE: 1/4" = 1'-0"	APPROVED BY:	DRAWN BY: S
DATE: 20/20		REVISED:
SITE:		
397 BEACH BLVD, HAMILTON		
DRAWING:		
ELEVATIONS		
DRAWING NUMBER:		
5070		

Hansra, Aman

From: Committee of Adjustment
Sent: June 14, 2021 8:25 AM
To: Committee of Adjustment
Subject: FW: Minor Variance Application for 397 Beach Blvd, Hamilton (File No. HM/A-208 (397 Beach Blvd, Hamilton))
Attachments: MV_397Beach Blvd_SitePlan_Rev1.pdf

Please save these to AMANDA and the file, and use for Notice

From: Roberts, Kim <Kim.Roberts@hamilton.ca>
Sent: June 11, 2021 4:41 PM
To: Committee of Adjustment <CofA@hamilton.ca>
Subject: FW: Minor Variance Application for 397 Beach Blvd, Hamilton (File No. HM/A-208 (397 Beach Blvd, Hamilton))

Hi

The applicant has provided further information and revised Plans (attached). The revised Plans shall replace those previously submitted, specifically:

- Site Plan and Basement Plan (Previously shown as Drawing No. 1 of 6 now Drawing No.1 of 4)
- Proposed Plan - First and Second Floor (Previously shown as Drawing No. 3 of 6 now Drawing No. 2 of 4)
- Proposed Basement & Section Plan (Previously shown as Drawing No. 4 of 6 now Drawing No. 3 of 4)
- Elevations - (Previously shown as Drawing No. 5 of 6 now Drawing No. 4 of 4)

Best Regards,

Kim Roberts

Zoning Examiner
Planning and Economic Development
Building, City of Hamilton
(905) 546-2424 Ext.2581



From: Scott Collins <scott.g.collins@gmail.com>
Sent: June 11, 2021 3:46 PM
To: Roberts, Kim <Kim.Roberts@hamilton.ca>
Subject: RE: Minor Variance Application for 397 Beach Blvd, Hamilton (File No. HM/A-208 (397 Beach Blvd, Hamilton))

Hi Kim,

She just let me know they are 5"

Thank you

On Jun 11, 2021, 3:31 PM -0400, Roberts, Kim <Kim.Roberts@hamilton.ca>, wrote:

HI Scott

Gutters are shown on the Plans; however, the Plans only show the eave width (12") and not the gutter width. Can you please ask your designer to confirm the gutter width please.

Best Regards,

Kim Roberts

Zoning Examiner

Planning and Economic Development

Building, City of Hamilton

(905) 546-2424 Ext.2581



From: Scott Collins <scott.g.collins@gmail.com>

Sent: June 11, 2021 2:54 PM

To: Roberts, Kim <Kim.Roberts@hamilton.ca>

Subject: Re: Minor Variance Application for 397 Beach Blvd, Hamilton (File No. HM/A-208 (397 Beach Blvd, Hamilton))

Hello Kim,

Attached is a new site plan drawing for our Minor Variance. Drawing updated June 11th 2021

The requested information has been added to the drawing. For ease of reference, I am adding the values in bold below each numbered point.

1. Please show the setback of the alcove in the kitchen, including its eaves, from the southerly side lot line on the Site Plan. Also, please show the total projection on the West Elevation Plan. This alcove, including its eaves, shall not project beyond the southerly side lot line.

Kitchen Alcove setback to eaves: .18 Meters this is existing and will be unchanged

Total projection of alcove : .53 Meters

2. Please show the total eave and gutter projection from both the north and side lot lines on the Site Plan. Also, please show the total eave and gutter projection on both the East and West Elevation Plans.

Eave and Gutter projection of North side existing portion: 2.46 Meter setback

Eave and Gutter projection of North side addition: 1.7 Meter

3. Please show the setback of the front steps from the front lot line.

Front step setback: 8.6 meters

I hope this is helpful. Please let me know if you need anything else.

On Mon, Jun 7, 2021 at 12:11 PM Roberts, Kim <Kim.Roberts@hamilton.ca> wrote:

Hi Scott

I am reviewing the Minor Variance Application for 397 Beach Blvd, Hamilton (File No. HM/A-208 (397 Beach Blvd, Hamilton)) and further clarification is required on a revised Site Plan and Elevation Plans in order to determine all necessary variances, specifically:

1. Please show the setback of the alcove in the kitchen, including its eaves, from the southerly side lot line on the Site Plan. Also, please show the total projection on the West Elevation Plan. This alcove, including its eaves, shall not project beyond the southerly side lot line.

2. Please show the total eave and gutter projection from both the north and side lot lines on the Site Plan. Also, please show the total eave and gutter projection on both the East and West Elevation Plans.
3. Please show the setback of the front steps from the front lot line.

In order for your application to be heard at the Committee of Adjustment hearing scheduled for July 8, 2021, I require this information no later than Friday, June 11, 2021. If the required information is received after the required date, your application may be held over to a future hearing as scheduled by Committee of Adjustment staff

Regards,

Kim Roberts

Zoning Examiner

Planning and Economic Development

Building, City of Hamilton

(905) 546-2424 Ext.2581

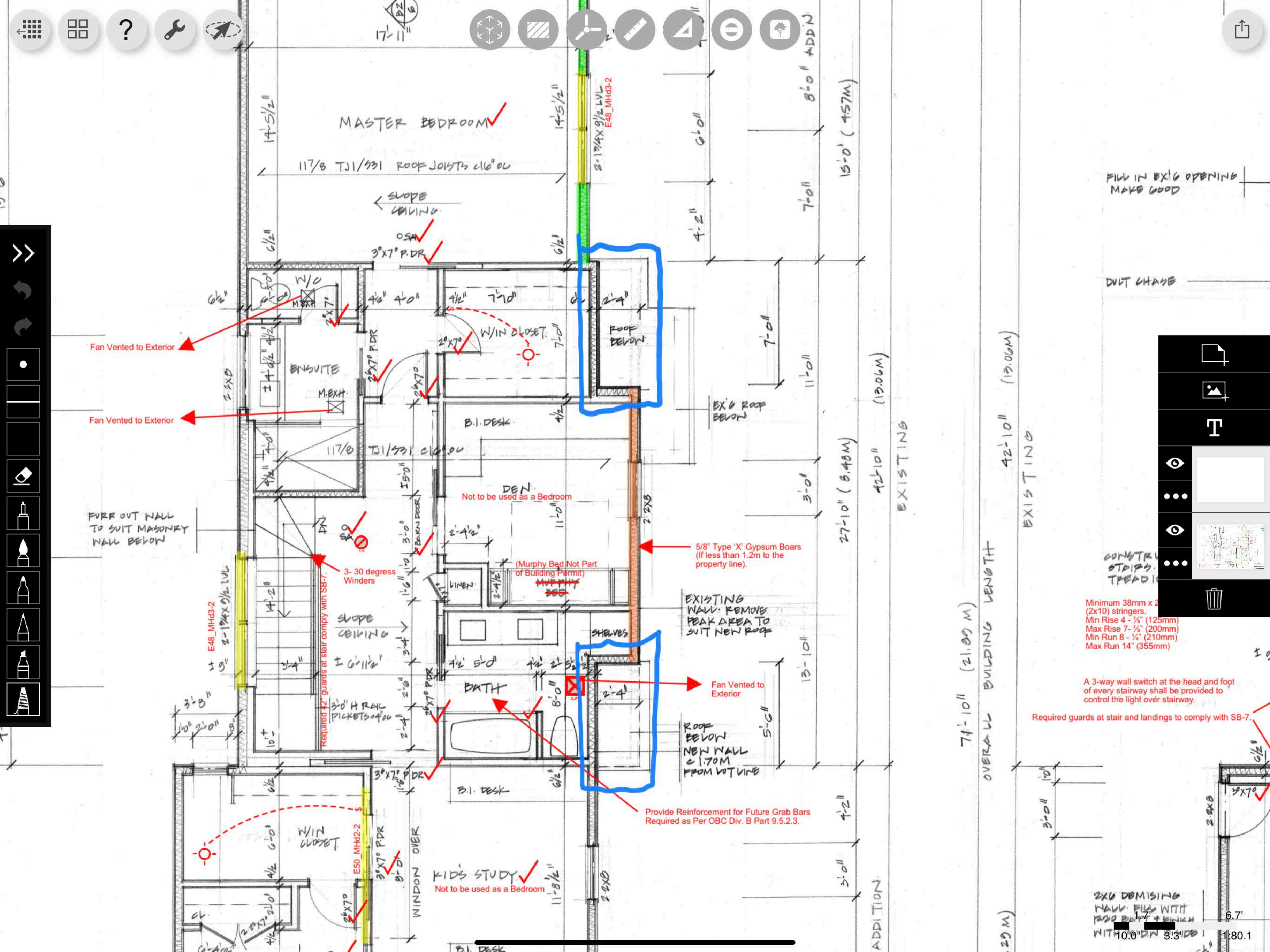


Due to concerns related to COVID-19, City Hall and municipal service centres are closed to the public. Although the Building Division offices are closed to the public, the Building Division continues to operate as many of our services can still be accessed, including building permit inspections.

We continue to receive building permit applications and requests for Zoning Verifications (regular service only) by mail/courier delivery or online. Online building permit applications can be completed at www.hamilton.ca/eplans and Zoning Verifications at <https://zoningverification.hamilton.ca/>. In addition, there is a drop box outside of City Hall at the rear of the building where letters and small parcels can continue to be delivered.

Under these unprecedented service delivery constraints, we are doing our best to maintain timeframes for building permit applications, responding information, building inspections, Zoning Verifications, and other requests for information/compliance.

This message, including any attachments, is privileged and intended only for the person(s) named above. This material may contain confidential or personal information which may be subject to the provision of the Municipal Freedom of Information & Protection of Privacy Act and/or is confidential. Any other distribution, copying or disclosure is strictly prohibited. If you are not the intended recipient or have received this message in error, please notify me immediately by telephone, fax or e-mail and permanently delete the original transmission, including any attachments, without making a copy.





Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca


APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS
Registered Owners(s)	Scott and Laura Collins	
Applicant(s)*	Scott and Laura Collins	
Agent or Solicitor		Phone: E-mail:

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:
Scott and Laura Collins

Royal Bank

- 8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☒ Unknown ☐

- 8.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Site surveys and community history

- 8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☒

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

April 30th 2021

Date


Signature Property Owner

Scott and Laura Collins

Print Name of Owner

10. Dimensions of lands affected:

Frontage	10.52m
Depth	66m
Area	694.78m ²
Width of street	10.4m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:

A 1.5 story home

ground floor area: 164.91m²

Gross floor area: 236.5m²

Number of stories: 1.5 (Width: 6.71m, Length: 15.49m, Height: 6.13m)

Proposed

A 2 story home

Ground floor area: 240.21m²

Gross floor area: 552.9m²

Number of stories: 2 (Width: 7.82m, Length: 20.34, Height: 9.2m)

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

South: .91m

North: 2.7m

East: 34.78m

West: 15.54m

Proposed:

A 2 story home

Ground floor area: 240.21m²

Gross floor area: 552.9m²

Number of stories: 2 (Width: 7.82m, Length: 20.34, Height: 9.2m)

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Extension of existing second floor wall to be built inside the setback. Built on top of existing main floor exterior wall.

This is for two areas on the south wall second floor. 2'4" x 5'6"

5. Why it is not possible to comply with the provisions of the By-law?

Existing wall is currently inside the setback

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

Urban protected residential - 397 Beach blvd, Hamilton, ON L8H 6W8.

7. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☐

Other _____

- 8.1 If Industrial or Commercial, specify use N/A

- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☒ Unknown ☐

13. Date of acquisition of subject lands:
November 2011
-
14. Date of construction of all buildings and structures on subject lands:
Approx 1940
-
15. Existing uses of the subject property:
Residential
16. Existing uses of abutting properties:
Residential
17. Length of time the existing uses of the subject property have continued:
Since date of original construction
18. Municipal services available: (check the appropriate space or spaces)
Water Yes Connected Yes
Sanitary Sewer Yes Connected Yes
Storm Sewers Yes
19. Present Official Plan/Secondary Plan provisions applying to the land:
'Neighbourhoods' on schedule E-1 of Urban Hamilton official plan
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
C/S - 1435 (C district - Urban protected residential) By-Law 6593
21. Has the owner previously applied for relief in respect of the subject property?
☐ Yes ☒ No
If the answer is yes, describe briefly.
N/A
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
☐ Yes ☒ No
23. Additional Information
N/A
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.