

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-21:211

APPLICANTS: Owner Ingram Bakhsh
Agent Mechways Inc.

SUBJECT PROPERTY: Municipal address **207 Mt Albion Rd., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended by By-law 21-076

ZONING: C district (Urban Protected Residential, etc.)

PROPOSAL: To establish a Secondary Dwelling Unit within an existing Single Family Dwelling notwithstanding that:

1. Two (2) parking spaces shall be provided instead of the minimum required three (3) parking spaces.

This application will be heard by the Committee as shown below:

DATE: Thursday, July 8th, 2021
TIME: 2:25 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

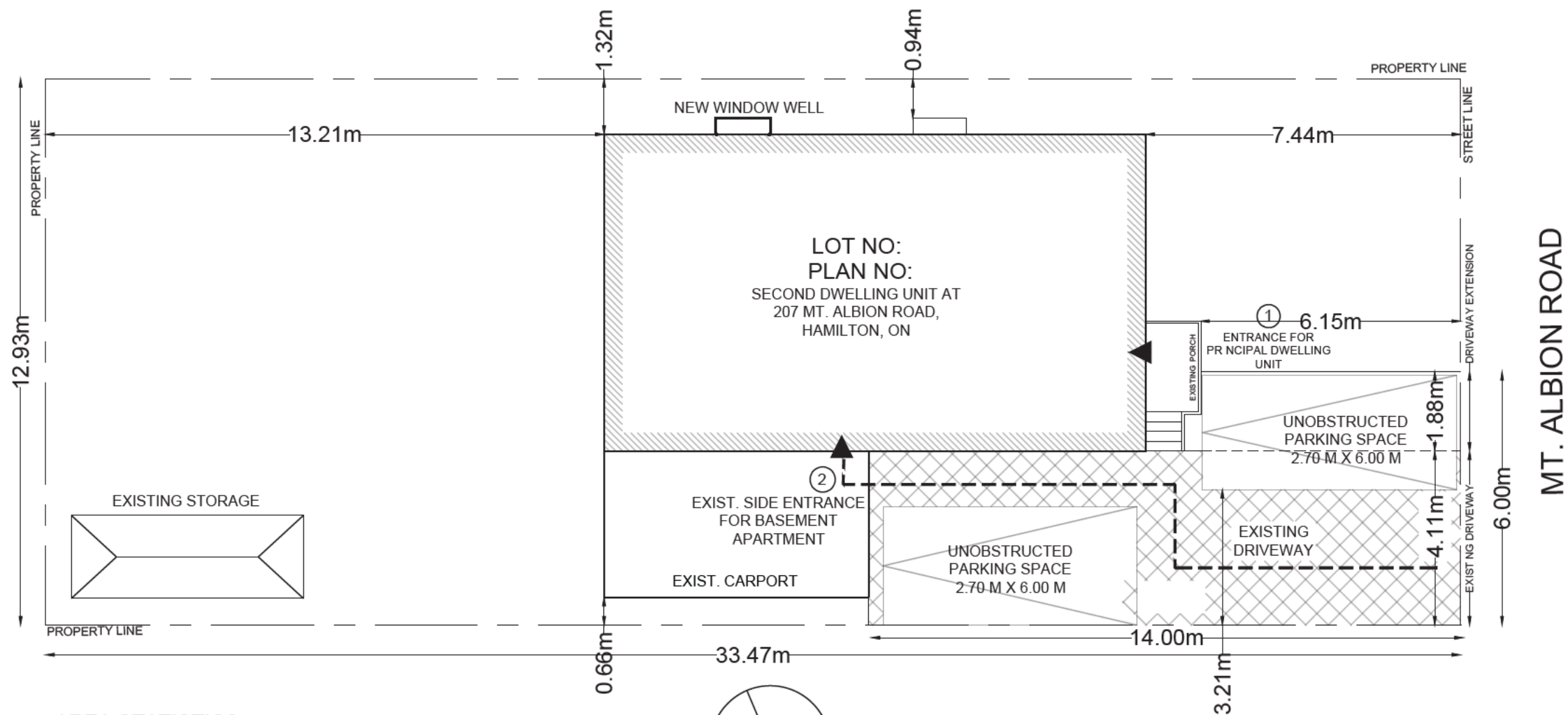
- Visit www.hamilton.ca/committeeofadjustment

- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: June 22nd , 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



AREA STATISTICS:

GROSS FLOOR AREA CALCULATIONS

A. PRINCIPAL RESIDENCE
EXISTING GROUND FLOOR GFA = $897.30 \text{ ft}^2 / 83.36 \text{ m}^2$

BASEMENT APARTMENT = $880.58 \text{ ft}^2 / 81.80 \text{ m}^2$

▼ ENTRANCE / EGRESS

SCOPE OF WORK

- ① LEGALIZATION OF EXIST. BASEMENT APARTMENT
- ② ENLARGEMENT OF TWO EXIST. WINDOWS
- ③ DRIVEWAY EXTENSION

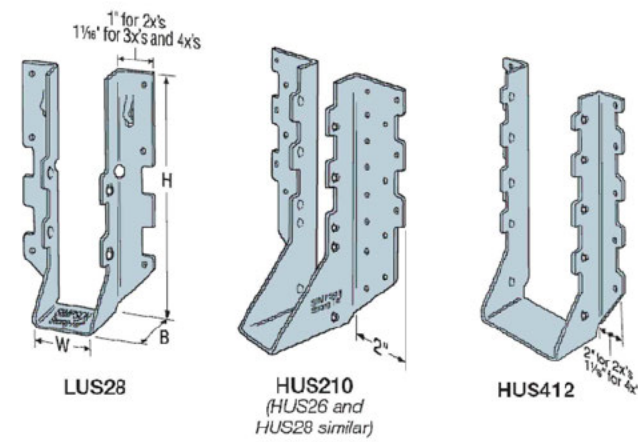
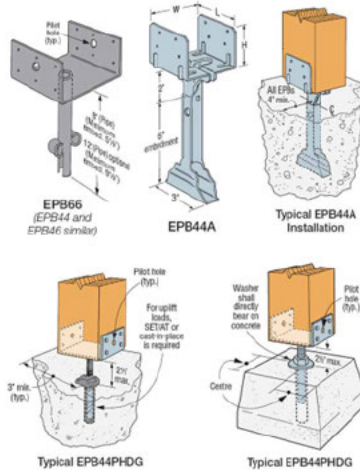
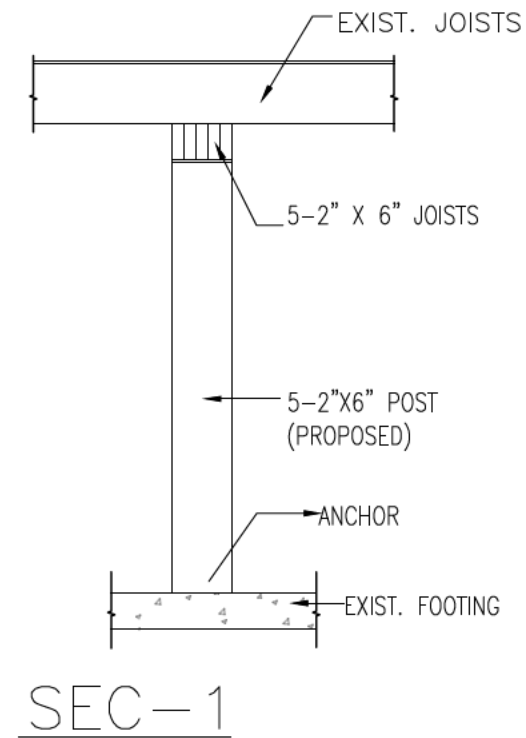
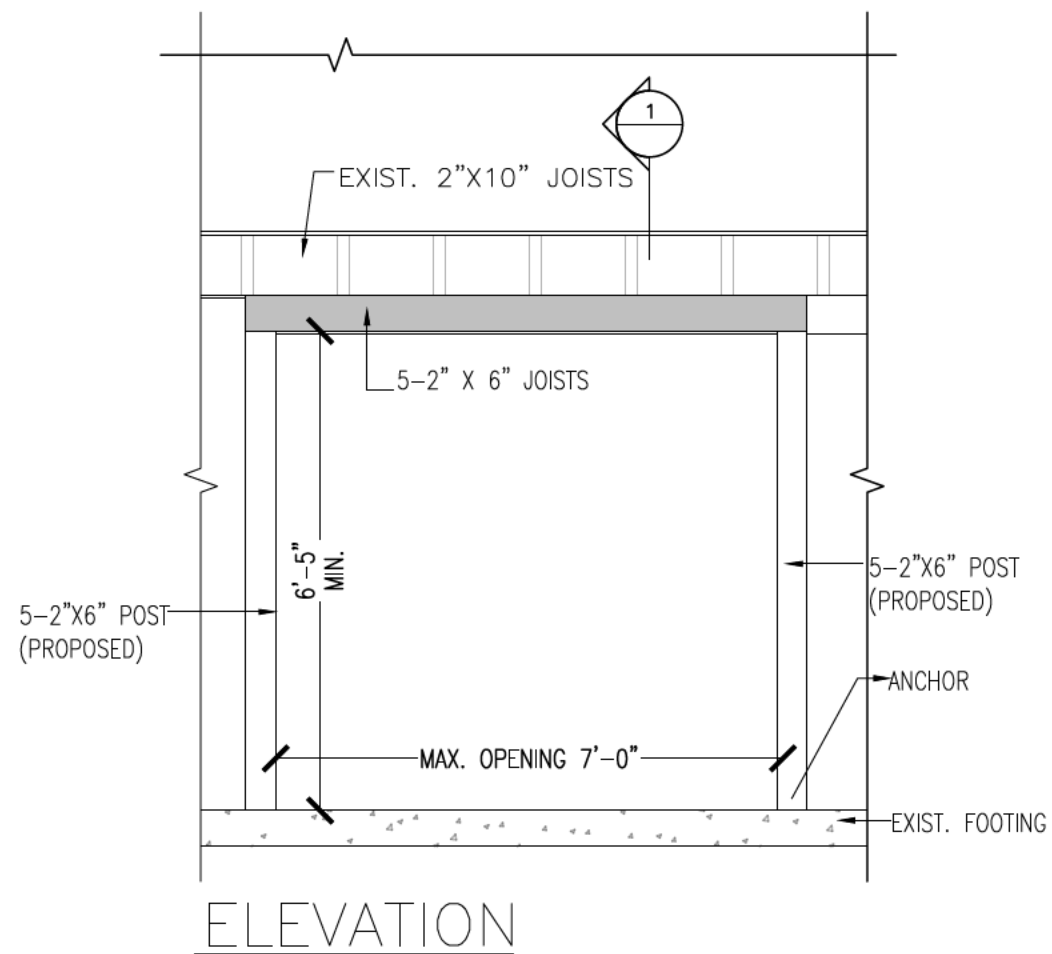


NO.	DESCRIPTION	DATE
1	REVISION	APRIL/ 28 /2021
0	FOR BUILDING PERMIT	JAN/ 14 /2021

ENGINEER:
 **Mechways Inc.**
 2751 THAMESGATE DR.
 MISSISSAUGA, ON.
 TEL: 905-878-7778
 mechways@gmail.com

PROJECT:
 207 MT. ALBION ROAD,
 HAMILTON, ON

TITLE:	
SITE PLAN	
CHECKED: MSA	DRAWING:
DRAWN: TP	SP1.01
SCALE: 1:125	
DATE JAN/ 14 / 2021	



0	FOR BUILDING PERMIT	APRIL 28 / 2021
NO.	DESCRIPTION	DATE
ENGINEER:  Mechways Inc. 2751 THAMESGATE DR. MISSISSAUGA, ON. TEL: 905-878-7778 mechways@gmail.com		
PROJECT: 207 MT. ALBION ROAD, HAMILTON, ON		
TITLE: STRUCTURAL DETAIL		
CHECKED: MSA	DRAWING:	
DRAWN: TP	S1.01	
SCALE: 1" = 3'		
DATE APR 14 / 2021		

PROJECT: PROPOSED SECOND DWELLING UNIT
AT 207 MT. ALBION ROAD, HAMILTON, ON
ZONING: RESIDENCE , SEMI-DETACHED PROPERTY

KEY PLAN



INDEX OF DRAWINGS

- SP1.01 SITE PLAN
- A1.01 EXIST. BASEMENT PLAN
- A1.02 PROP. BASEMENT PLAN
- A1.03 EXIST. GROUND FLOOR PLAN
- A2.01 LEFT SIDE ELEVATION
- A2.02 RIGHT SIDE ELEVATION
- A3.01 GENERAL NOTES
- S1.01 STRUCTURAL DETAIL

SYMBOLS

- EXHAUST FAN
- LIGHT
- SAR {SUPPLY AIR REGISTER}
- RAG {RETURN AIR GRILLE}
- STEEL POST
- CARBON MONO OXIDE DETECTOR
- 3 WAY SWITCH
- SMOKE ALARMS
- DUCT-TYPE SMOKE DETECTOR

NO.	DESCRIPTION	DATE
0	FOR BUILDING PERMIT	APRIL 26 /2021

ENGINEER:

ADDRESS : 2751 THAMESGATE DRIVE
MISSISSAUGA, ON L4T 1G5
TEL : 416-617-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

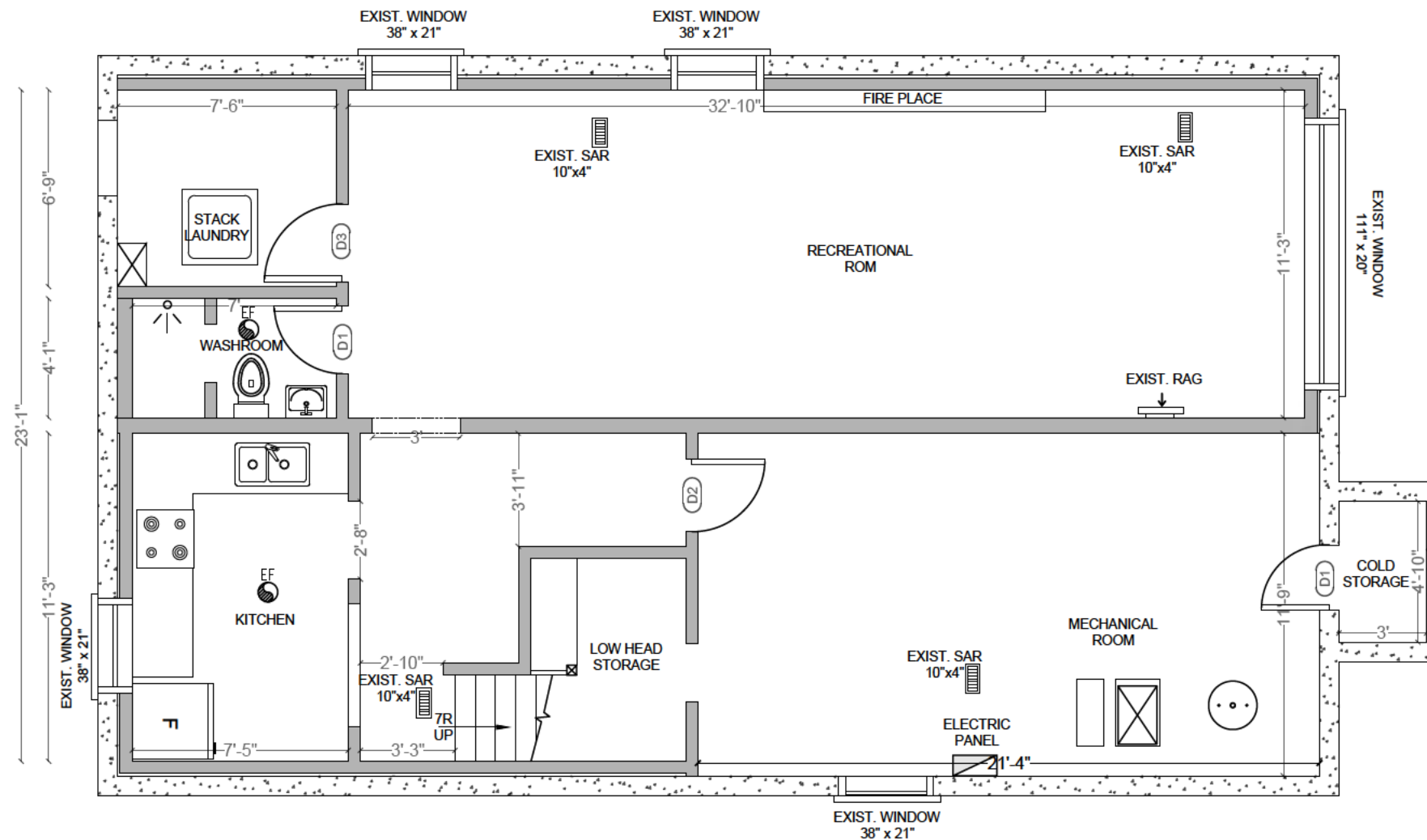
SECOND DWELLING UNIT AT
207 MT. ALBION ROAD,
HAMILTON, ON

TITLE:

COVER SHEET

CHECKED: MSA
DRAWN: TP
SCALE: N/A
DATE: APRIL/26/2021

DRAWING:
A0

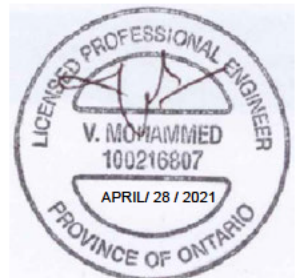


EXIST. AS-BUILT BASEMENT PLAN

TOTAL BASEMENT GFA = 880.58 ft² / 81.80 m²

CEILING HEIGHT BASEMENT = 7'-2"
CEILING HEIGHT U/S OF DUCT = 6'-5"
CEILING HEIGHT SHALL NOT BE LESS THAN 6'-5" OVER ALL

DOOR SCHEDULE	
DOOR#	DOOR SIZE
D1	28" x 75"
D2	30" x 75"
D3	32" x 75"



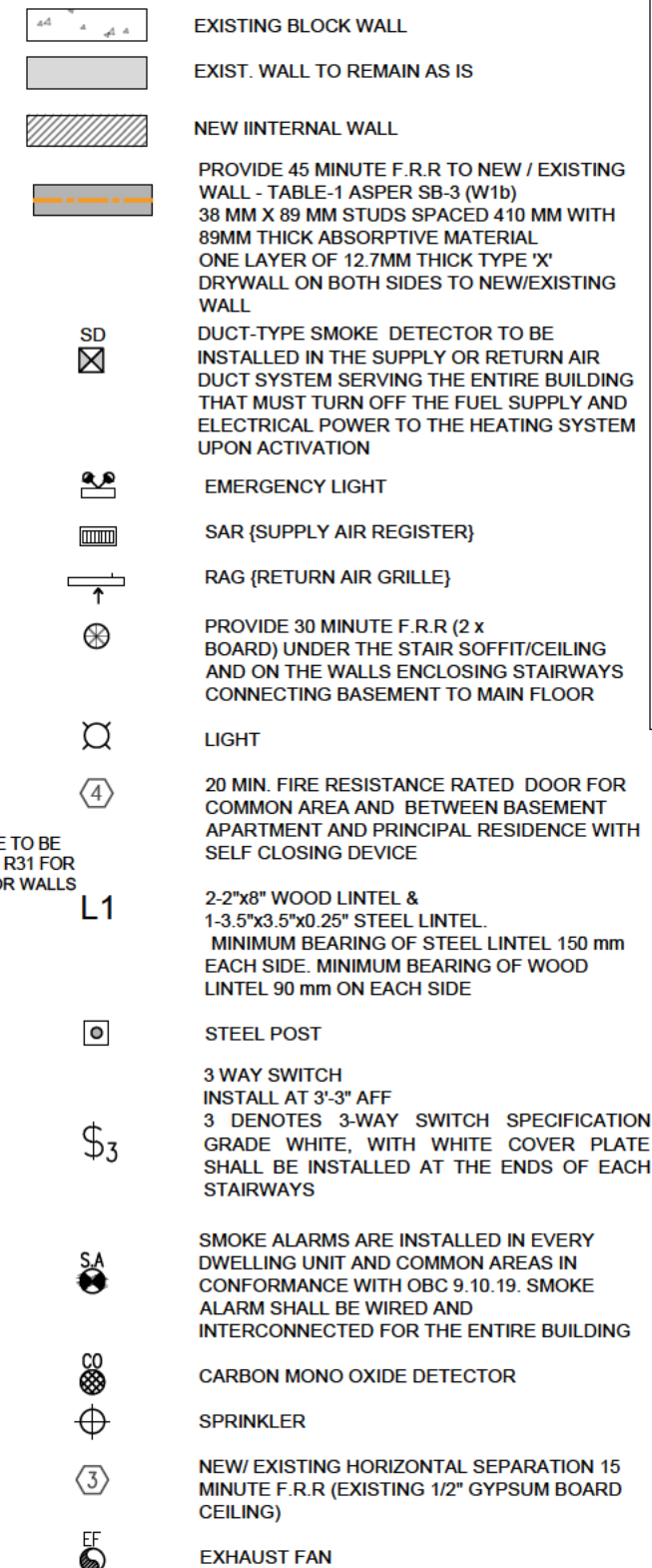
NO.	DESCRIPTION	DATE
1	REVISION	APRIL/ 28 /2021
0	FOR BUILDING PERMIT	JAN/ 14 /2021

ENGINEER:
 **Mechways Inc.**
2751 THAMESGATE DR.
MISSISSAUGA, ON.
TEL: 905-878-7778
mechways@gmail.com

PROJECT:
207 MT. ALBION ROAD,
HAMILTON, ON

TITLE:
EXISTING BASEMENT PLAN

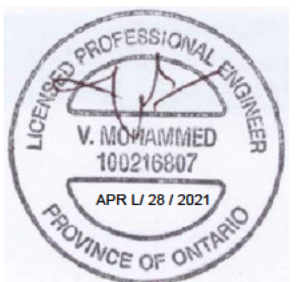
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DRAWN: TP	A1.01
SCALE: 1" = 3/8"	
DATE JAN/ 14 / 2021	



BASEMENT APARTMENT GFA	= 880.58 ft ² / 81.80 m ²
CEILING HEIGHT BASEMENT	= 7'-2"
CEILING HEIGHT U/S OF DUCT	= 6'-5"

CALCULATION OF GLASS AREA AS PER COMPLIANCE ALTERNATIVE C107 PART 11 OF OBC 2012				
ROOM TYPE	ROOM AREA (SFT)	GLASS AREA REQUIRED (SFT)	EXIST / PROP GLASS AREA (SFT)	WINDOW SIZE
LIVING & DINING	230.85	@ 5% = 11.54	12.44	38" X 21" 38" X 38"
BEDROOM - 2	172.94	@ 2.5% = 4.32	12.32	111" X 21"
BEDROOM - 1	195.91	@ 2.5% = 4.89	5.06	38" X 24"

DOOR SCHEDULE	
DOOR#	DOOR SIZE
D1	28" x 75"
D2	30" x 75"
D3	32" x 75"



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NO.	DESCR PTION	DATE

ENG NEER:



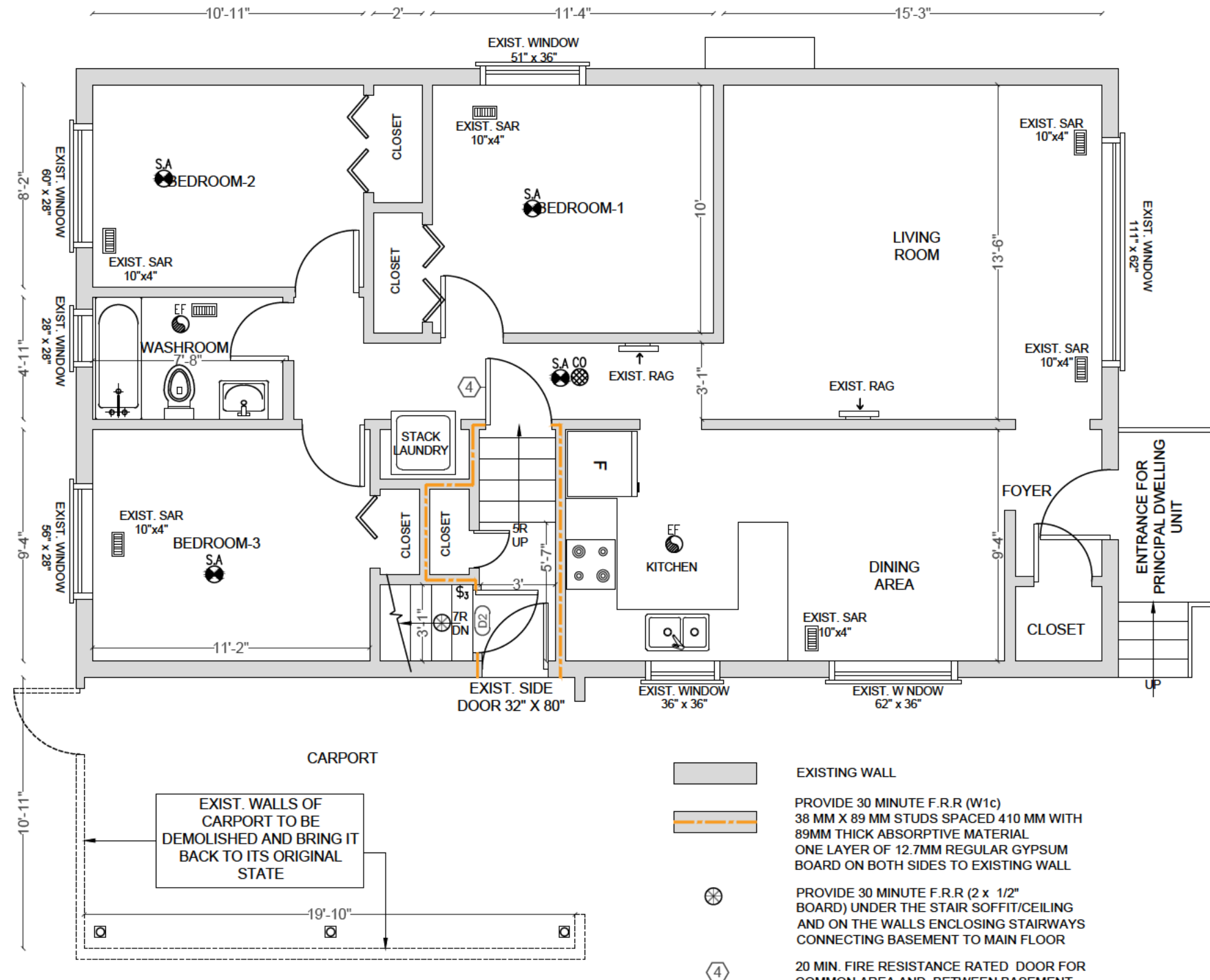
PROJECT:

207 MT. ALBION ROAD,
HAMILTON, ON

TITLE:

PROPOSED BASEMENT PLAN

CHECKED: MSA	DRAWING: A1.02
DRAWN: TP	
SCALE: 1' = $\frac{3}{16}$ "	
DATE JAN/ 14 / 2021	



GROUND FLOOR G.F.A = 773.55 ft² / 71.86 m²

CEILING HEIGHT GROUND FLOOR = 8'-0"



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 MISSISSAUGA, ON.
 TEL: 905-878-7778
 mechways@gmail.com

PROJECT:
 207 MT. ALBION ROAD,
 HAMILTON, ON

TITLE:
 GROUND FLOOR PLAN

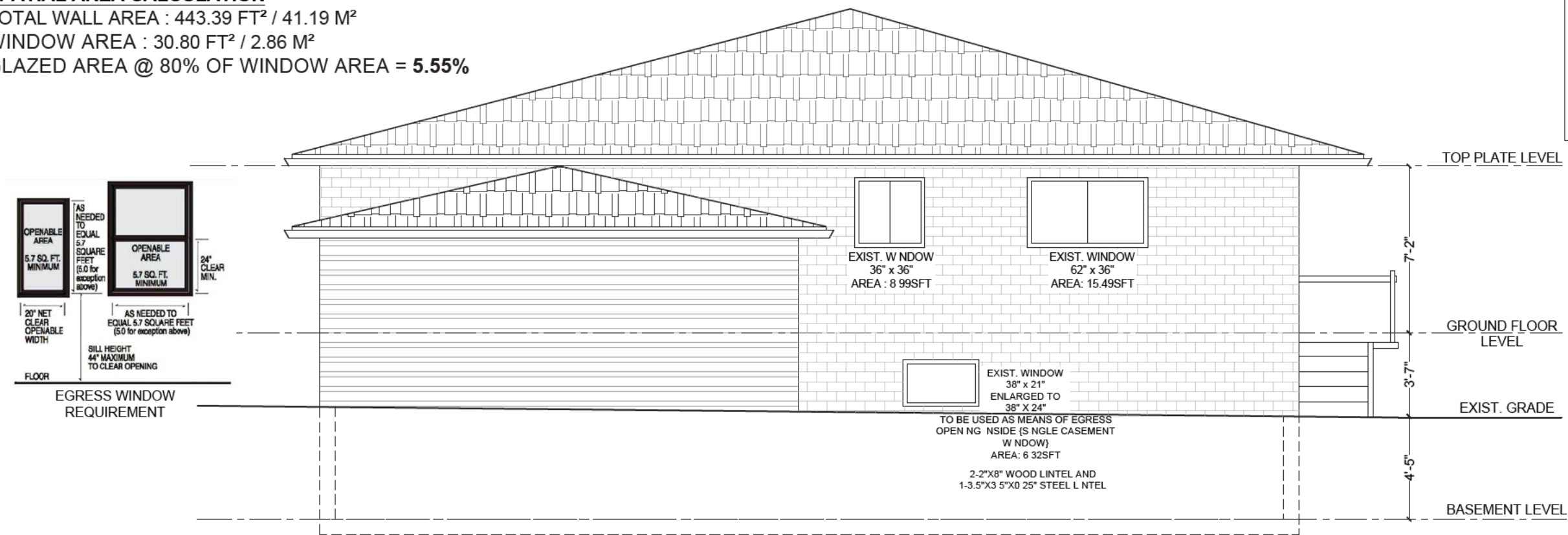
CHECKED: MSA	DRAWING:
DRAWN: TP	A1.03
SCALE: 1" = 3/8"	
DATE JAN / 14 / 2021	

SPATIAL AREA CALCULATION

TOTAL WALL AREA : 443.39 FT² / 41.19 M²

WINDOW AREA : 30.80 FT² / 2.86 M²

GLAZED AREA @ 80% OF WINDOW AREA = **5.55%**



LEFT SIDE ELEVATION



NO.	DESCRIPTION	DATE
1	REVISION	APRIL/ 28 /2021
0	FOR BUILDING PERMIT	JAN/ 14 /2021

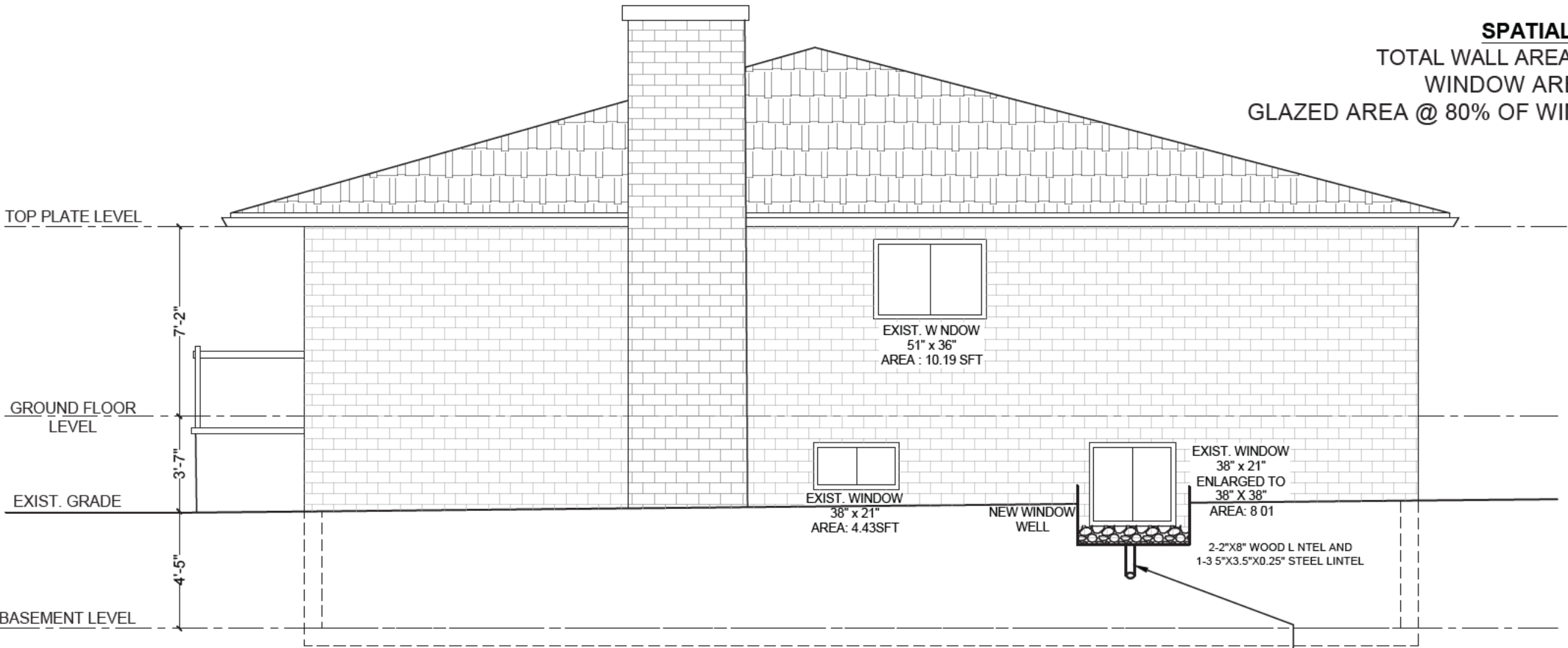
ENGINEER:

 **Mechways Inc.**
2751 THAMESGATE DR.
MISSISSAUGA, ON.
TEL: 905-878-7778
mechways@gmail.com

PROJECT:

207 MT. ALBION ROAD,
HAMILTON, ON

TITLE:	
LEFT SIDE ELEVATION	
CHECKED: MSA	DRAWING:
DRAWN: TP	A2.01
SCALE: 1" = 3/8"	
DATE JAN/ 14 / 2021	



RIGHT SIDE ELEVATION

SPATIAL AREA CALCULATION
TOTAL WALL AREA : 443.39 FT² / 41.19 M²
WINDOW AREA : 22.63 FT² / 2.10 M²
GLAZED AREA @ 80% OF WINDOW AREA = **5.10%**



NO.	DESCRIPTION	DATE
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0	FOR BUILDING PERMIT	JAN/ 14 /2021

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MISSISSAUGA, ON.
TEL: 905-878-7778
mechways@gmail.com

PROJECT:

207 MT. ALBION ROAD,
HAMILTON, ON

TITLE:	
RIGHT SIDE ELEVATION	
CHECKED: MSA	DRAWING:
DRAWN: TP	A2.02
SCALE: 1" = 3/8"	
DATE JAN/ 14 / 2021	

ROOM FINISHED SCHEDULE - BASEMENT										
ROOM NAME	FLOOR		BASE		WALL		CEILING		HEIGHT	REMARKS
	MATERIAL	FININSH	MATERIAL	FINISH	MATERIAL	FININSH	MATERIAL	FININSH		
LIVING, DINING	WOOD	STAIN	VINYL		DRYWALL	PAINT	GYP SUM BD.	PAINT	2184	
BEDROOM	WOOD	STAIN	VINYL		DRYWALL	PAINT	GYP SUM BD.	PAINT	2184	
WASHROOM & KITCHEN	CERAMIC	STAIN	VINYL		DRYWALL	PAINT	GYP SUM BD.	PAINT	2184	
FURNACE ROOM	CONCRETE	STAIN	VINYL		DRYWALL	PAINT	GYP SUM BD.	PAINT	2184	

DOOR SCHEDULE

1. ALL INTERIOR DOORS ARE SLAB DOOR 1-3/8 TH. HOLLOW CORE. THE SIZES ARE MENTIONED ON THE FLOOR PLAN. THE HEIGHT OF ALL DOORS ARE 80"
2. EGRESS DOOR - EXISTING ABOVE GRADE EXTERIOR TYPE STEEL DOOR PROVIDES ACCESS TO THE OUTSIDE

WINDOW SCHEDULE

ONE WINDOW PER FLOOR TO HAVE AN UNOBSTRUCTED OPEN PORTION W/A MIN. AREA OF 0.35m² W/ NO DIMENSION LESS THAN 380mm & MAXIMUM SILL HEIGHT OF 1m ABOVE FLOOR WINDOW SIZES HAVE BEEN PROVIDED ON THE FLOOR PLANS

CONSTRUCTION NOTES

1. BLOCK WALL TO REMAIN AS IS
10" BLOCK WALL, 1 1/2" THICK STYROFOAM INSULATION, 2x4 STUDS @ 16" O.C., 1/2" GYPSUM DRYWALL JOINTS TAPED AND SEALED AND PAINTED
2. INTERNAL WALLS
EXISTING/NEW WOOD FRAMED WALL CONSISTING OF 2x4 WOOD STUDS @ 16" O.C. WITH 1/2" DRY WALL ON BOTH SIDES, JOINTS TAPED AND SEALED.PROVIDE 45 MINUTE F.R.R ON THE WALLS SEPARATING BASEMENT APARTMENT FROM THE PRINCIPAL RESIDENCE, STAIRWELL AND COMMON AREA. WATER RESISTANT GWB ON BATHROOMS WALLS.NO DRYWALL ON INSIDE OR UTILITY.
3. EXISTING CEILING
EXISTING DRYWALL CEILING (1/2" GYPSUM BOARD) ATTACHED TO BOTTOM OF FLOOR JOISTS OF GROUND FLOOR ASSEMBLY SATISFIES THE HORIZONTAL FIRE SEPARATION OF 15 MINUTES AS PER COMPLIANCE ALTERNATIVE C-152(b)
4. 20 MIN. FIRE RESISTANCE RATED DOOR FOR COMMON AREA AND BETWEEN BASEMENT APARTMENT AND PRINCIPAL RESIDENCE WITH SELF CLOSING DEVICE
5. 20 MIN. FIRE RESISTANCE RATED DOOR FOR COMMON AREA AND BETWEEN BASEMENT APARTMENT AND PRINCIPAL RESIDENCE WITH SELF CLOSING DEVICE
6. EXISTING DUCT WORK LOCATED IN THE CEILING AND WALL HAS THE DIRECTION OF THE HEAT FLOW TOWARDS THE FLOOR
7. MECHANICAL VENTILATION
50 CFM EXHAUST FANS IN KITCHEN AND WASHROOM
8. IN COMPLIANCE WITH C152(b) SMOKE ALARMS ARE INSTALLED IN EVERY DWELLING UNIT AND COMMON AREAS IN CONFORMANCE WITH OBC 9.10.19. SMOKE ALARM SHALL BE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING
9. PROVIDE CARBON MONOXIDE ALARM CONFIRMING TO CAN/CSA-6.19 "RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES" ADJACENT TO EACH SLEEPING AREA WITHIN EACH DWELLING UNIT. CARBON MONOXIDE ALARMS MAY BE HARDWIRED, BATTERY OPERATED OR THE TYPE THAT CAN BE PLUGGED INTO ELECTRICAL OUTLET

FOR ALL ELECTRICAL WORK AND PERMIT CONTACT ELECTRICAL SAFETY AUTHORITY

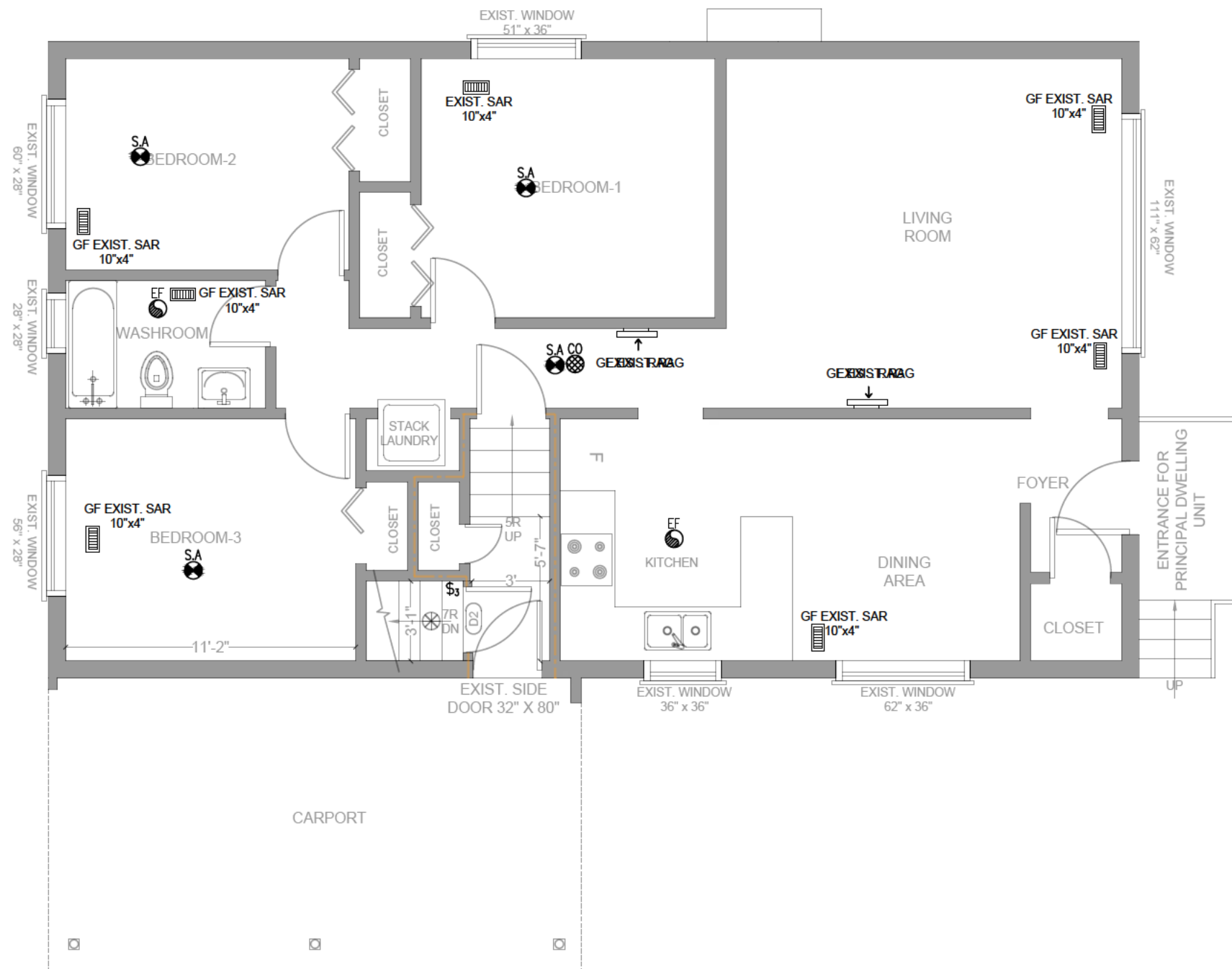
GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS AND RESOLVE ANY DISCREPANCIES WITH THE ENGINEER PRIOR TO START OF WORK
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PART 9 AND 4 OF ONTARIO BUILDING CODE 2012 AND CITY BY-LAWS AND STANDARDS
- IT IS ASSUMED THAT THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKMEN HAVING WORKING KNOWLEDGE OF THE APPLICABLE CODE, STANDARDS, INSURANCES AND REQUIREMENTS OF INDUSTRY ACCEPTED STANDARD, AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS.
- BY COMMENCING CONSTRUCTION OF A BUILDING FROM THESE DRAWINGS, THE OWNER AND/OR BUILDER ACKNOWLEDGES THAT THE GENERAL NOTES HAVE BEEN READ AND UNDERSTOOD
- THE DRAWINGS PREPARED BY THE DESIGNER IS FOR THE PERMIT IN COMPLIANCE WITH OBC AND CITY BY-LAWS.
- THE DESIGNER IS NOT LIABLE FOR COST INCURRED FOR RE-WORK, ALTERATION, DISCREPANCIES OR ANY KIND OF CONSTRUCTION RELATED WORK
- ALL WOOD USED IN THE CONSTRUCTION SHALL BE SPF NO.1 OR NO.2
- MINIMUM BEARING OF STEEL LINTELS 150 MM.
- MINIMUM BEARING OF WOOD BEAM / LINTELS 90 MM
- MINIMUM BEARING OF WOOD JOISTS 40MM
- VERIFY EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION
- PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF THIS WORK
- INFORM CITY OF ALL INSPECTION AHEAD OF TIME AND AT EACH STAGE OF CONSTRUCTION
- ANY DISCREPANCIES SHALL BE BROUGHT TO THE NOTICE OF ENGINEER PRIOR TO START OF WORK

- SWITCH
- \$ 3 WAY SWITCH
INSTALL AT 3'-3" AFF
- \$3 3 DENOTES 3-WAY SWITCH
SPECIFICATION GRADE WHITE,
WITH WHITE COVER PLATE
SHALL BE INSTALLED AT THE
ENDS OF EACH STAIRWAYS
- RECEPTACLE
- LIGHT
- SPOT LIGHT
- EMERGENCY LIGHT
- FD: FLOOR DRAIN
- SPRINKLER
- DUCT TYPE SMOKE DETECTOR
- SMOKE ALARM
- CARBON MONOXIDE DETECTOR
- EXHAUST FAN



0	FOR BU LD NG PERMIT	APRIL/ 28 /2021
NO.	DESCR PTION	DATE
ENG NEER: 2751 THAMESGATE DR. MISSISSAUGA, ON. TEL: 905-878-7778 mechways@gmail.com		
PROJECT: 207 MT. ALBION ROAD, HAMILTON, ON		
TITLE: GENERAL NOTES		
CHECKED: MSA	DRAWING:	
DRAWN: TP	A3.01	
SCALE: N/A		
DATE APR L/ 14 / 2021		



NO.	DESCR PTION	DATE
1	REVISION	MAY/ 02 /2021
0	FOR BU LD NG PERMIT	JAN / 14 / 2021

ENG NEER:

Mechways Inc.
 2751 THAMESGATE DR.
 MISSISSAUGA, ON.
 TEL: 905-678-7778
 mechways@gmail.com

PROJECT:

207 MT. ALBION ROAD,
 HAMILTON, ON

TITLE: HVAC GROUND FLOOR PLAN	
CHECKED: VM	DRAWING:
DRAWN: MM	M1.1
SCALE: 1' = $\frac{3}{16}$ "	
DATE JAN / 14 / 2021	

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS	
Registered Owners(s)			
Applicant(s)*			
Agent or Solicitor			Phone:
			E-mail:

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:
To extend the driveway to provide an additional parking space for accessory apartment
5. Why it is not possible to comply with the provisions of the By-law?
Minimum 2 non tandem car req only one availbale. whreas 2 tandem are available
6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):
PLAM M45 LOT 7
207 Mt Albion Rd Hamilton, ON L8K 6K1
7. PREVIOUS USE OF PROPERTY
Residential ☒ Industrial ☐ Commercial ☐
Agricultural ☐ Vacant ☐
Other _____
- 8.1 If Industrial or Commercial, specify use N/A
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes ☐ No ☒ Unknown ☐
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes ☐ No ☒ Unknown ☐
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes ☐ No ☒ Unknown ☐
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes ☐ No ☒ Unknown ☐
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes ☐ No ☒ Unknown ☐
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes ☐ No ☒ Unknown ☐
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes ☐ No ☒ Unknown ☐
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
Yes ☐ No ☒ Unknown ☐

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☒ Unknown ☐

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?
PROPERTY OWNER

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☒

9. **ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Date

Signature Property Owner

Print Name of Owner

10. Dimensions of lands affected:

Frontage	12.93 m
Depth	33.47 m
Area	432.64 m
Width of street	7.5 m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:

Ground Floor Area: 82.68 sq m	Gross Floor Area: 95.96 sq m
Number of Storeys: 1	Width: 7.46 m
Length: 12.80 m	
Height: 3.29 m	

Proposed

Ground Floor Area: 82.68 sq m	Gross Floor Area: 95.96 sq. m
Number of Storeys: 1	Width: 7.46 m
Length: 12.80 m	
Height: 3.29 m	

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Front: 6.15 m

Left: 0.66 m

Right: 1.32 m

Rear: 13.21 m

Proposed:

Front: 6.15 m

Left: 0.66 m

Right: 1.32 m

Rear: 13.21 m

13. Date of acquisition of subject lands:
Nov 2020
-
14. Date of construction of all buildings and structures on subject lands:
1970
-
15. Existing uses of the subject property:
Residential
16. Existing uses of abutting properties:
Residential
17. Length of time the existing uses of the subject property have continued:
Since 1970
18. Municipal services available: (check the appropriate space or spaces)
- | | | | |
|----------------|-------|-----------|------------|
| Water | _____ | Connected | <u>yes</u> |
| Sanitary Sewer | _____ | Connected | <u>yes</u> |
| Storm Sewers | _____ | | |
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
21. Has the owner previously applied for relief in respect of the subject property?
- ☐ Yes ☒ No
- If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
- ☐ Yes ☒ No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.