



Hamilton

## COMMITTEE OF ADJUSTMENT

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5  
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202  
E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

# NOTICE OF PUBLIC HEARING Minor Variance

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**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
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**APPLICATION NO.:** HM/A-21:234

**APPLICANTS:** Owners B. & J. Hyslop

**SUBJECT PROPERTY:** Municipal address **7 Easter Crt., Hamilton**

**ZONING BY-LAW:** Zoning By-law 6593, as Amended 75-147

**ZONING:** "D/S-402" (Urban Protected Residential) district

**PROPOSAL:** To permit the construction of a proposed rear canopy to the existing single-family dwelling notwithstanding that;

1. A minimum 0.8 m side yard setback shall be provided from the westerly lot line to the eave of the proposed roof canopy instead of the minimum required one half of the required width (0.6 m), or 1.0 m, whichever is the lesser.

This application will be heard by the Committee as shown below:

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**DATE:** Thursday, July 22nd, 2021

**TIME:** 1:40 p.m.

**PLACE:** Via video link or call in (see attached sheet for details)  
To be streamed at  
[www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)  
for viewing purposes only

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## PUBLIC INPUT

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

## MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

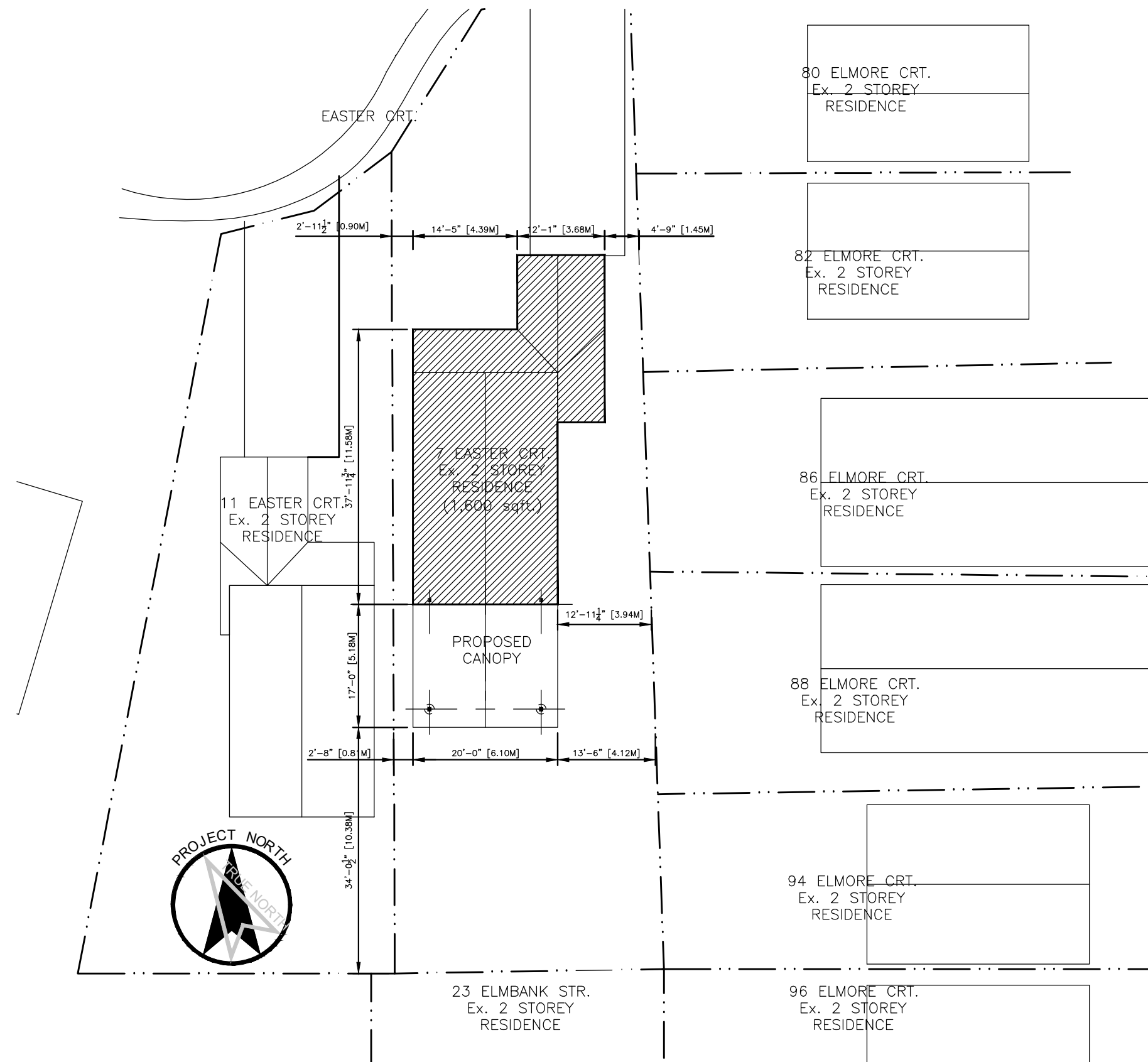
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

DATED: July 6th, 2021.

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

***Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.***



The Architect is not responsible for the accuracy of survey, structural, mechanical, electrical or any engineering information shown on the drawing. Refer to the appropriate engineering drawings before proceeding with the work. Report any discrepancies between architectural and engineering drawings to the Architect before proceeding with the work. The General Contractor shall check and verify all dimensions and report all errors and omissions to the Architect. Construction must conform to all applicable codes and Requirements of Authorities having jurisdiction. This drawing is not to be scaled.

No.	Description	Date
1	ISSUED TO CLIENT	05/14/21
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REVISIONS & ISSUED DRAWINGS

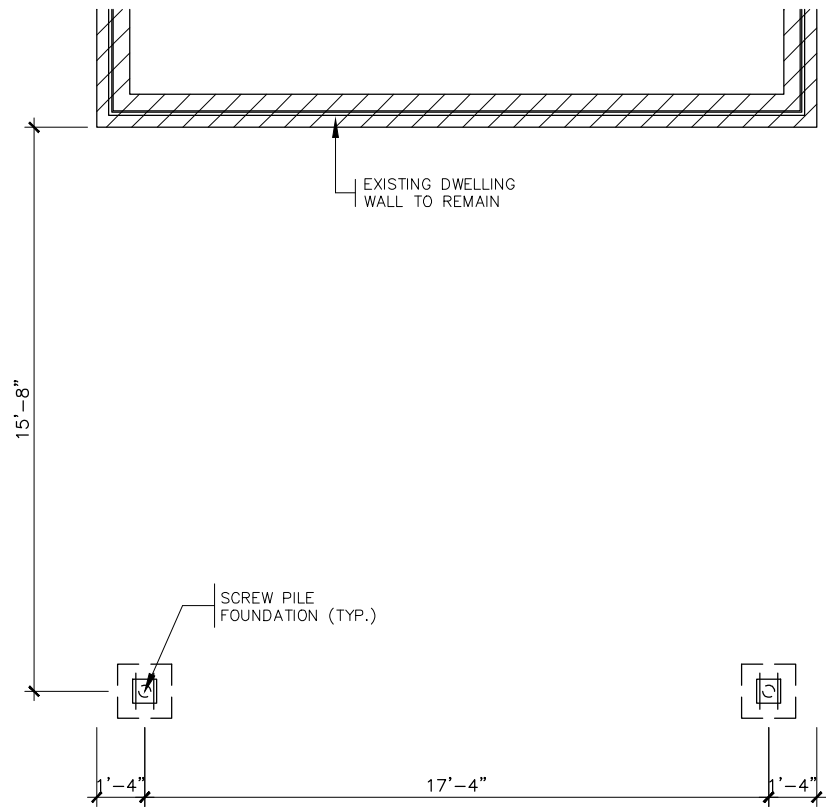
**BADROCK STUDIO INC**  
 Architecture + Urban Planning  
 2380 Wycroft Road, Unit 4a  
 Colville, Ontario  
 info@badrockstudio.ca

PROPOSED RENOVATIONS:  
 7 EASTER CRT  
 CITY OF HAMILTON

DRAWING TITLE  
 SITEPLAN

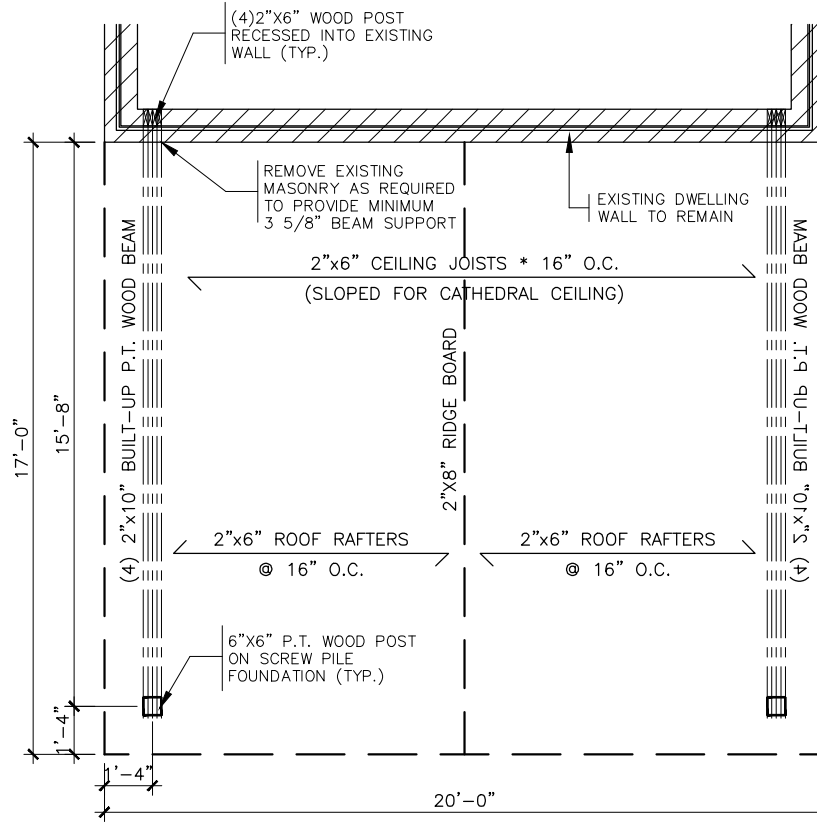
SCALE: 1:200  
 DATE: 05/14/21  
 DRAWN BY: CM  
 CHK'D BY: KI

DWG NO.  
**SP1**



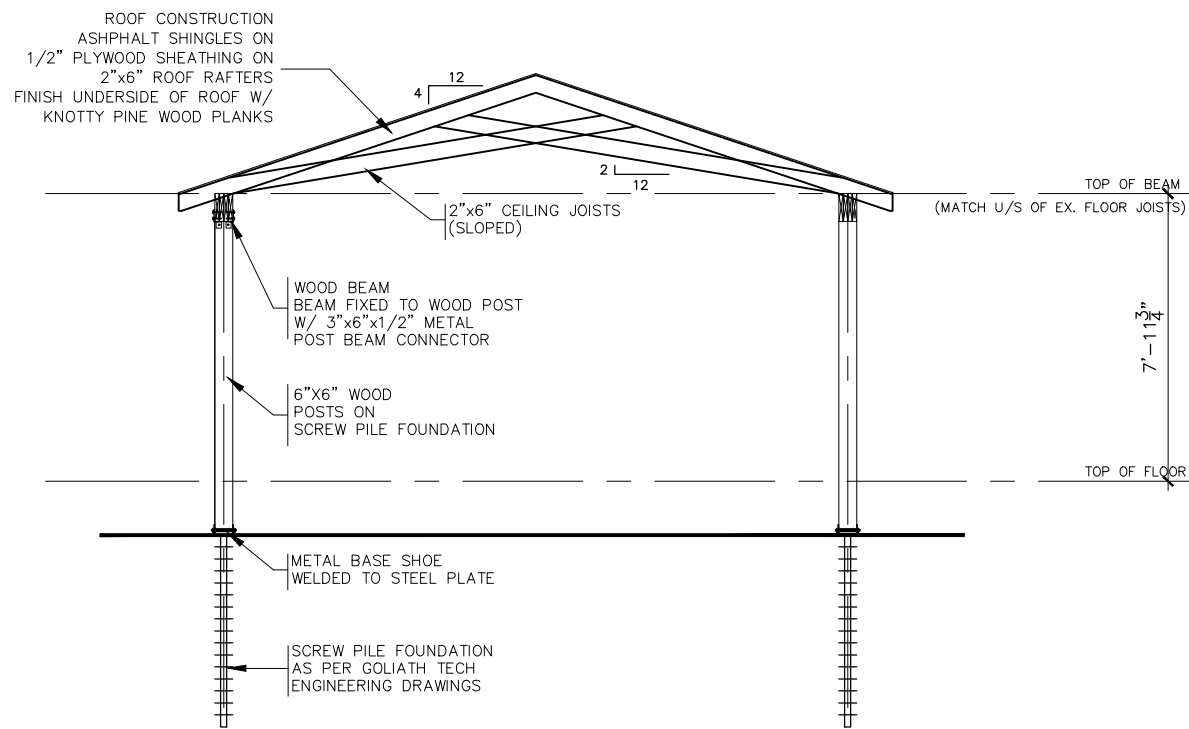
### FOUNDATION PLAN

SCALE: 3/16" = 1'-0"



### FRAMING PLAN

SCALE: 3/16" = 1'-0"



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1	ISSUED TO CLIENT	05/14/21
No.	Description	Date

#### REVISIONS & ISSUED DRAWINGS

**BADROCK STUDIO INC**  
 Architecture + Urban Planning  
 2380 Wycroft Road, Unit 4a  
 Colville, Ontario  
 info@badrockstudio.ca

#### PROPOSED RENOVATIONS:

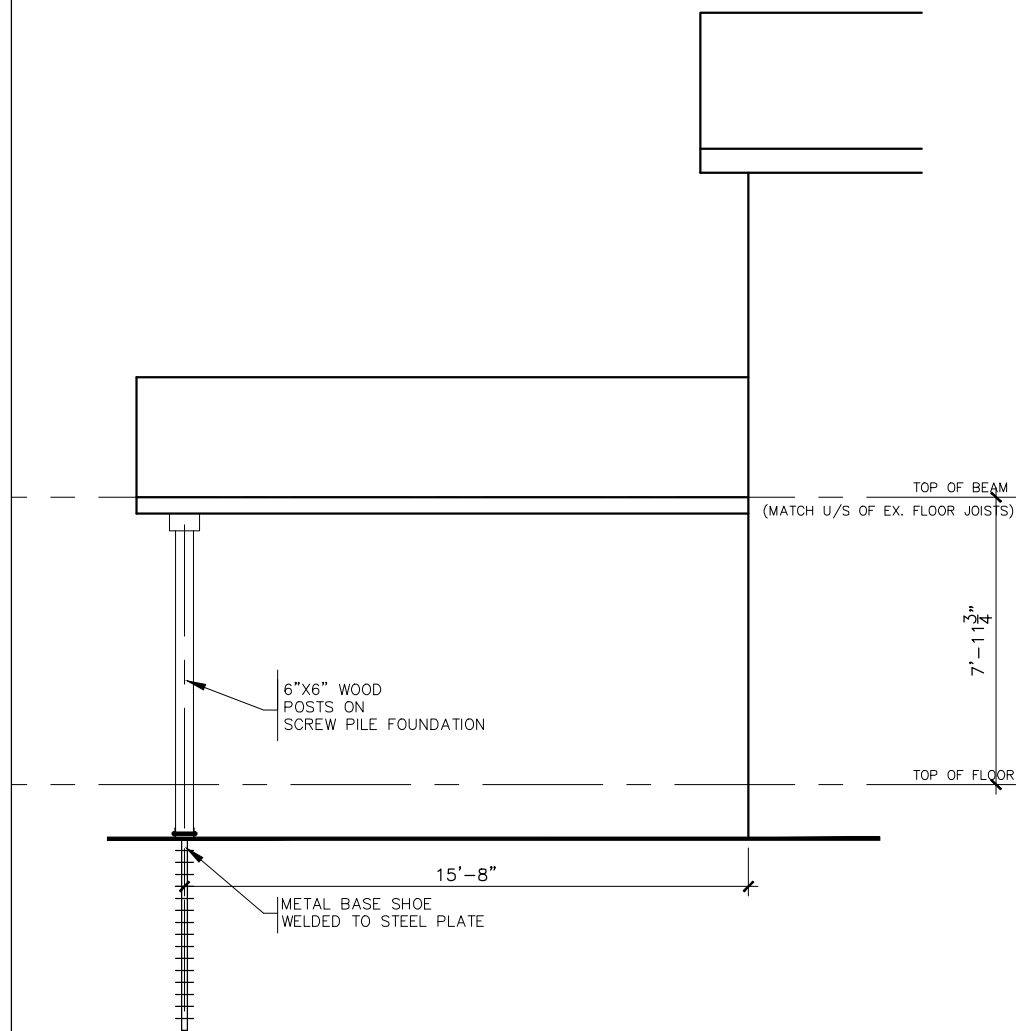
7 EASTER CRT  
 CITY OF HAMILTON

#### DRAWING TITLE

PLANS AND SECTIONS

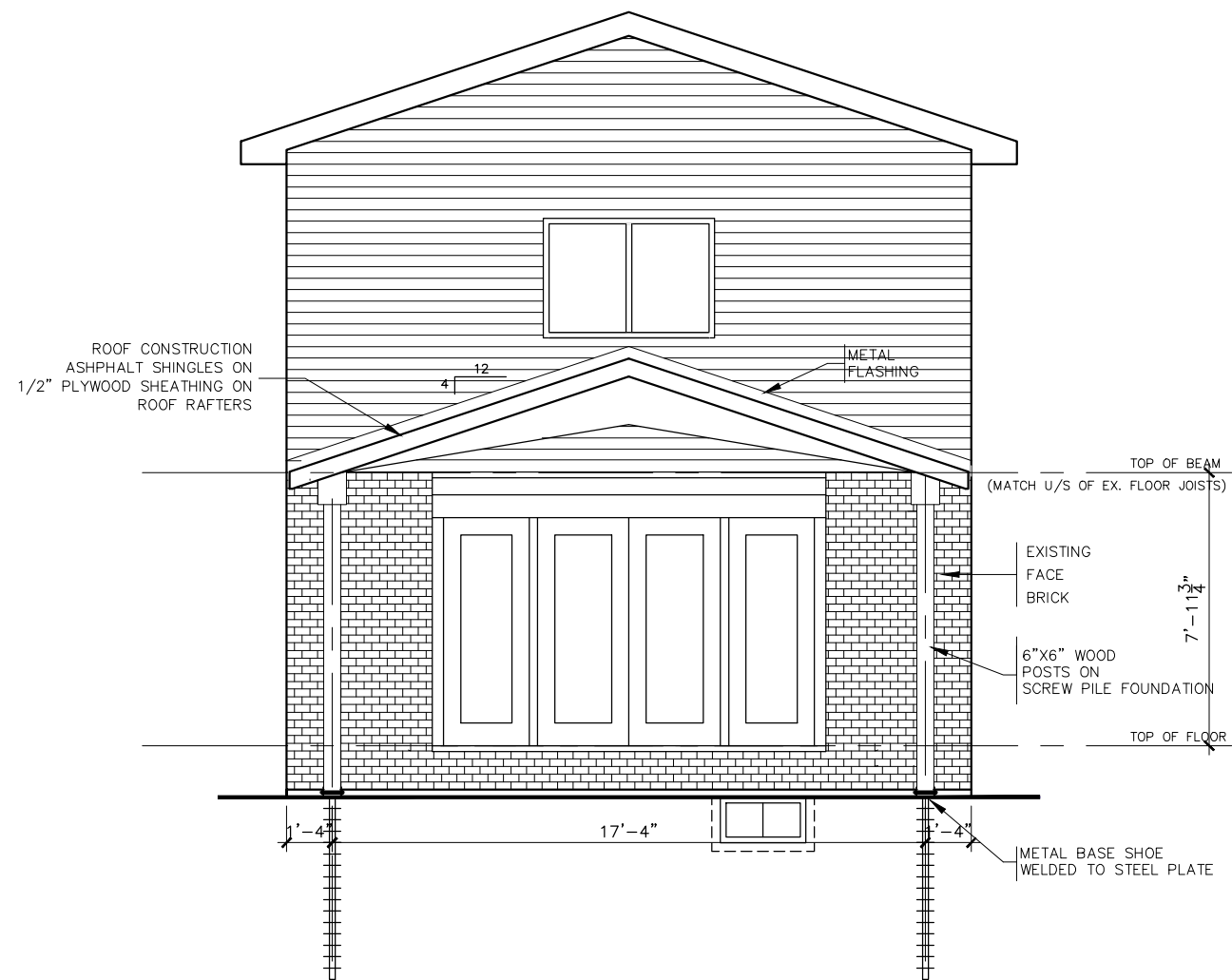
SCALE: 3/16"=1'-0"	DWG NO.
DATE: 05/14/21	A1
DRAWN BY: CM	
CHK'D BY: KI	

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**EAST ELEVATION**

SCALE: 3/16" = 1'-0"



**SOUTH ELEVATION**

SCALE: 3/16" = 1'-0"

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1	ISSUED TO CLIENT	05/14/21
No.	Description	Date

**REVISIONS & ISSUED DRAWINGS**

**BADROCK STUDIO INC**  
 Architecture + Urban Planning  
 2380 Wycroft Road, Unit 4a  
 Colville, Ontario  
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**PROPOSED RENOVATIONS:**  
 7 EASTER CRT  
 CITY OF HAMILTON

**DRAWING TITLE**  
 ELEVATIONS

SCALE: 3/16"=1'-0"  
 DATE: 05/14/21  
 DRAWN BY: CM  
 CHK'D BY: KI

DWG NO.  
**A2**



**APPLICATION FOR A MINOR VARIANCE**

<b>FOR OFFICE USE ONLY.</b>	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

**The Planning Act**

**Application for Minor Variance or for Permission**

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
<b>Registered Owners(s)</b>	Brandy Hyslop John Hyslop	
<b>Applicant(s)*</b>	Brandy Hyslop	
<b>Agent or Solicitor</b>		
		<b>E-mail:</b>

**Note:** Unless otherwise requested all communications will be sent to the agent, if any.

- Names and addresses of any mortgagees, holders of charges or other encumbrances:  
 Scotia Bank  
 4 King St. W., 2nd Floor  
 Toronto, ON M5H 1B6

**Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled**

4. Nature and extent of relief applied for:

To allow for a side yard setback of 0.81m to the eave of the proposed roof canopy, where 1.2m is required

Secondary Dwelling Unit       Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

The existing house currently does not comply with the required side yard setback the proposed canopy is designed to not extend beyond what is currently there. The proposed canopy eave matches the side wall of the house.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

7 Easter Crt, City of Hamilton

7. PREVIOUS USE OF PROPERTY

Residential       Industrial       Commercial   
Agricultural       Vacant       Other

Other \_\_\_\_\_

8.1 If Industrial or Commercial, specify use \_\_\_\_\_

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes       No       Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes       No       Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes       No       Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes       No       Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes       No       Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes       No       Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes       No       Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes       No       Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes  No  Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Current owners background knowledge

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes  No

### 9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application

May 21, 2021

Date

  
Signature Property Owner(s)

Brandy Hyslop / John Hyslop

Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage 10.30m  
Depth 44.5m  
Area 465 sq.m  
Width of street \_\_\_\_\_

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: \_

Existing two storey residence, 967 sq.ft building area

Proposed

Proposed roof canopy, 340 sq. ft. (including eave overhang), 20'0" wide x 17'0" deep. 3.90m height

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Front Yard -  
Rear Yard - 15.56m  
Side Yard - 0.81m  
Side Yard - 3.94m

Proposed:

Rear Yard - 10.38m  
Side Yard - 0.81m  
Side Yard - 1.45m



13. Date of acquisition of subject lands:  
June 2, 2000
- 
14. Date of construction of all buildings and structures on subject lands:  
October 10th, 1997
- 
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):  
Single Family, Residential
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):  
Single Family, Residential
17. Length of time the existing uses of the subject property have continued:
18. Municipal services available: (check the appropriate space or spaces)
- |                |                                     |           |                                     |
|----------------|-------------------------------------|-----------|-------------------------------------|
| Water          | <input checked="" type="checkbox"/> | Connected | <input checked="" type="checkbox"/> |
| Sanitary Sewer | <input checked="" type="checkbox"/> | Connected | <input checked="" type="checkbox"/> |
| Storm Sewers   | <input checked="" type="checkbox"/> |           |                                     |
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:  
D/S-402
21. Has the owner previously applied for relief in respect of the subject property?  
Yes  No   
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?  
Yes  No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.