



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-21:227

APPLICANTS: Agent Sanjay Singh
Owner Joseph Tomaino

SUBJECT PROPERTY: Municipal address **62 Beechwood Ave., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: "C" (Urban Protected Residential, etc.) district

PROPOSAL: To permit the construction of a new single family dwelling upon demolition of the existing single family dwelling, notwithstanding,

1. A minimum front yard depth of 2.1 metres shall be provided instead of the minimum required front yard depth of 6.0 metres;
2. A minimum easterly side yard width of 1.0 metres shall be provided instead of the minimum required side yard width of 1.2 metres;
3. A minimum westerly side yard width of 0.2 metres shall be provided instead of the minimum required side yard width of 1.2 metres;
4. The eave and gutter shall be permitted to encroach the entire width of the required westerly side yard instead of the maximum permitted encroachment of one half the width of the required side yard;
5. A roofed-over unenclosed porch, including steps, at the front of the dwelling shall be permitted to be located 0.0 metres from the front lot line instead of maintaining a minimum distance of 1.5 metres from the front lot line; and,
6. No parking spaces shall be provided for the proposed single family dwelling instead of providing a minimum of two (2) parking spaces for a single family dwelling containing not more than eight (8) habitable rooms.

NOTES:

1. For the purpose of this application, the front lot line is deemed to be the northerly lot line.
2. This is a Lot of Record; as such, the variance requesting relief for a reduced lot area is not required.

3. The variances requested for relief from minimum required yards have been written as requested by the applicant as there are discrepancies between the drawing titled "Site Plan, Glass/Wall Ratio and Notes" and the drawing titled "Sketch Prepared For Minor Variance Application". The applicant shall ensure the requested variances are accurate.

4. The variances have been requested for the use of a single family dwelling only. A further zoning compliance review will be required should the use of the proposed dwelling other than a single family dwelling.

5. The applicant shall ensure the proposed building height has been provided in accordance with the definition of "Height" and "Grade" as defined within the Zoning By-law.

6. A further variance will be required should the eave and gutter encroach greater than one half of the width of the required easterly side yard.

7. A further variance will be required if a minimum of 50% of the gross area of the front yard is not provided as landscaped area when calculated in accordance with Section 18(14) of the Zoning By-law.

This application will be heard by the Committee as shown below:

DATE: Thursday, July 22nd, 2021
TIME: 3:25 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: July 6th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

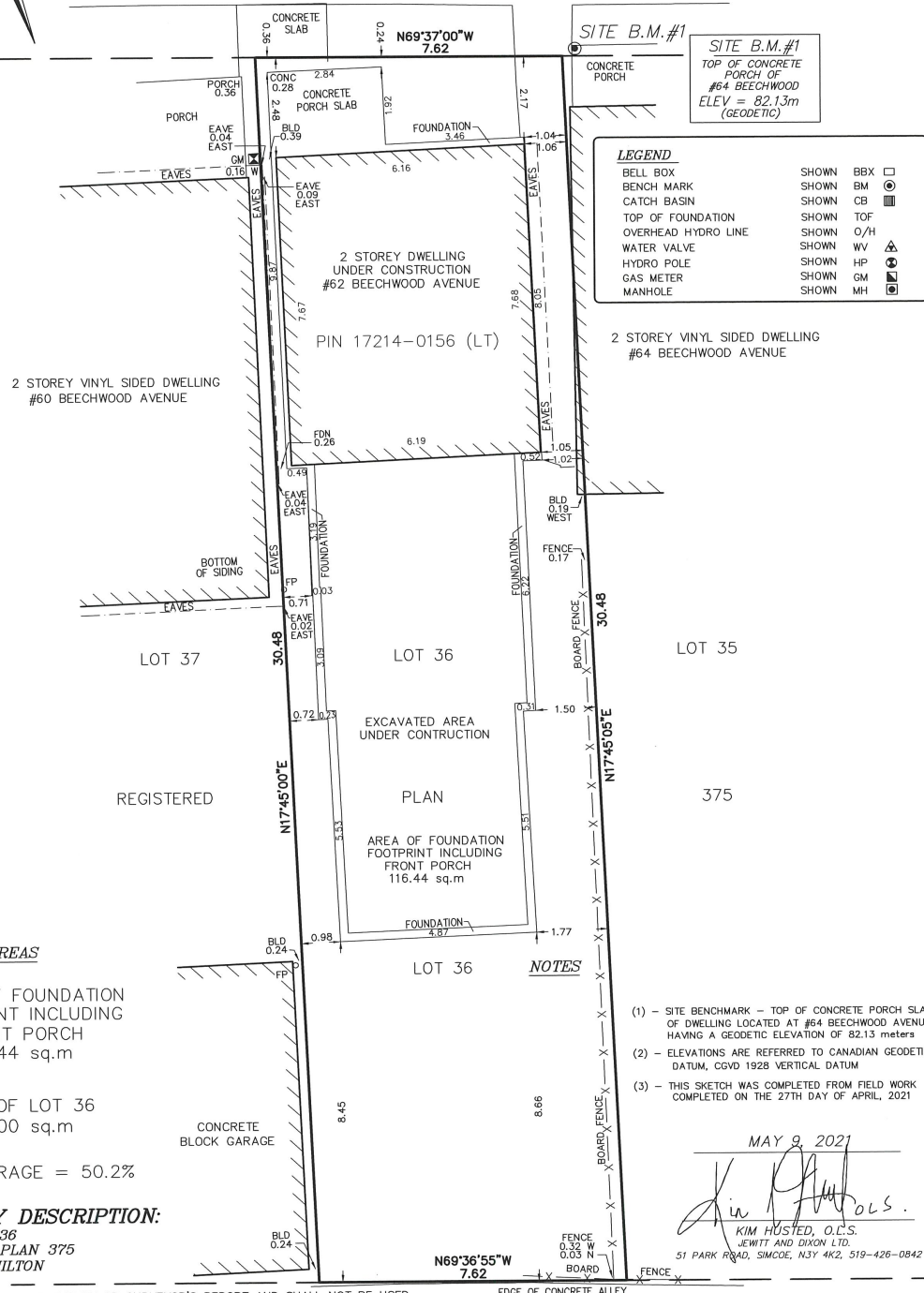


SKETCH PREPARED FOR
 MINOR VARIANCE APPLICATION
 FOR: **HOMESOURCE CORP.**
#62 BEECHWOOD AVENUE
HAMILTON
 PIN 17214 - 0156 (LT)
 SCALE: 1 : 100

BEECHWOOD AVENUE (15.24m WIDE)



JEWITT AND DIXON LTD.



LEGEND

BELL BOX	SHOWN	BBX	□
BENCH MARK	SHOWN	BM	⊙
CATCH BASIN	SHOWN	CB	■
TOP OF FOUNDATION	SHOWN	TOF	—
OVERHEAD HYDRO LINE	SHOWN	O/H	—
WATER VALVE	SHOWN	WV	⚙
HYDRO POLE	SHOWN	HP	⊕
GAS METER	SHOWN	GM	⊕
MANHOLE	SHOWN	MH	⊕

SITE B.M.#1
 TOP OF CONCRETE PORCH OF #64 BEECHWOOD AVENUE
 ELEV = 82.13m (GEODETIC)

AREAS

AREA OF FOUNDATION FOOTPRINT INCLUDING FRONT PORCH
 116.44 sq.m

AREA OF LOT 36
 232.00 sq.m

LOT COVERAGE = 50.2%

PROPERTY DESCRIPTION:
 ALL OF LOT 36
 REGISTERED PLAN 375
 CITY OF HAMILTON

CAUTION
 THIS IS NOT A PLAN OF SURVEY OR SURVEYOR'S REPORT AND SHALL NOT BE USED FOR TRANSACTION OR FINANCING PURPOSES

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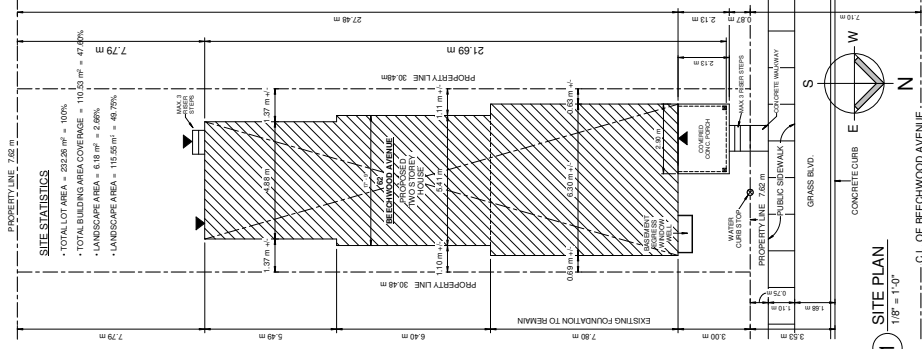
- NOTES**
- (1) - SITE BENCHMARK - TOP OF CONCRETE PORCH SLAB OF DWELLING LOCATED AT #64 BEECHWOOD AVENUE HAVING A GEODETIC ELEVATION OF 82.13 meters
 - (2) - ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC DATUM, CGVD 1928 VERTICAL DATUM
 - (3) - THIS SKETCH WAS COMPLETED FROM FIELD WORK COMPLETED ON THE 27TH DAY OF APRIL, 2021

MAY 9, 2021

 KIM HUSTED, O.L.S.
 JEWITT AND DIXON LTD.
 51 PARK ROAD, SIMCOE, N3Y 4K2, 519-426-0842

2.74m WIDE ALLEYWAY

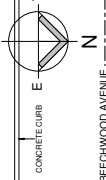
CB
 SINGH
 21-2961



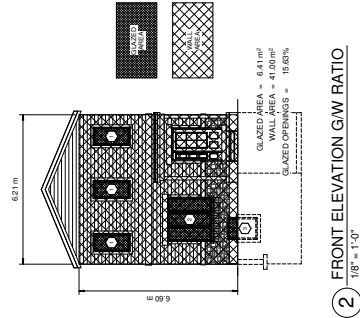
PROPERTY LINE 7.62 m

SITE STATISTICS

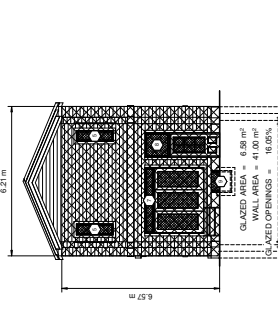
- TOTAL LOT AREA = 292.28 sq ft = 100%
- TOTAL BUILDING AREA COVERAGE = 110.52 sq ft = 47.89%
- LANDSCAPE AREA = 6.18 sq ft = 2.66%
- LANDSCAPE AREA = 115.56 sq ft = 49.79%



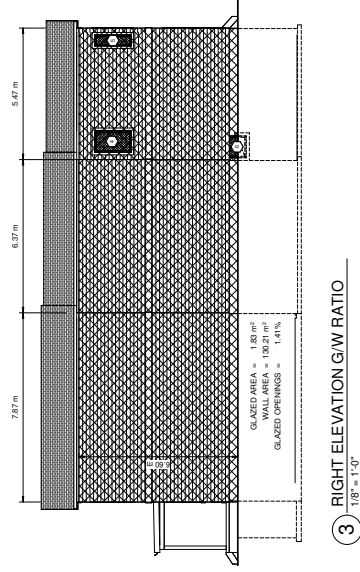
1 SITE PLAN
1/8" = 1'-0"



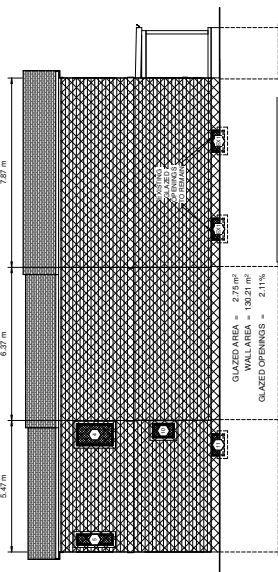
2 FRONT ELEVATION G/W RATIO
1/8" = 1'-0"



4 REAR ELEVATION G/W RATIO
1/8" = 1'-0"

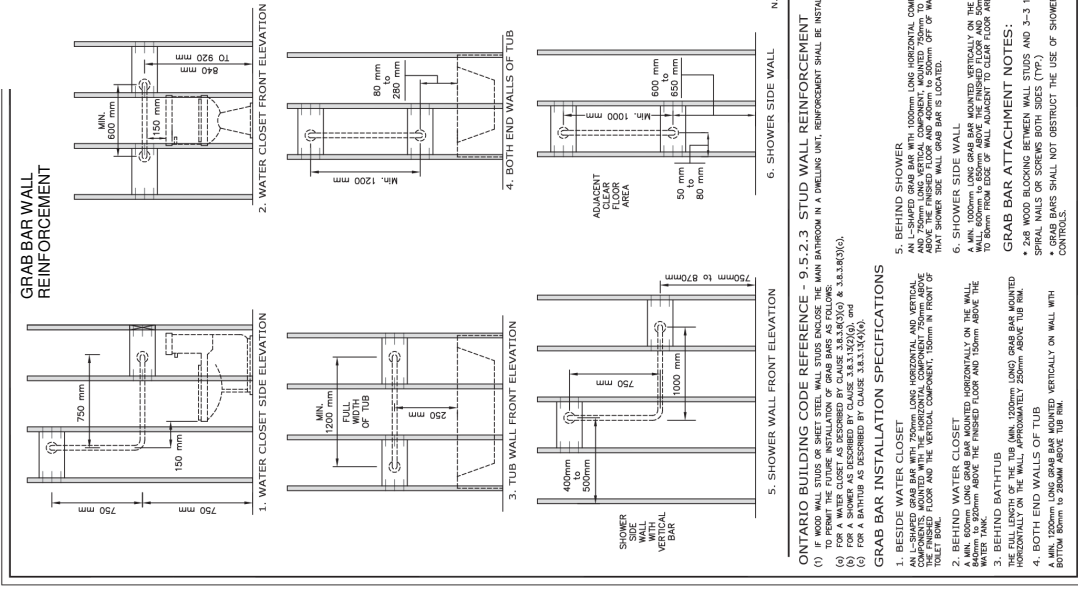


3 RIGHT ELEVATION G/W RATIO
1/8" = 1'-0"



5 LEFT ELEVATION G/W RATIO
1/8" = 1'-0"

- Traffic drawings & LVL slab drawings*, stamped by a Professional Engineer, designed in accordance with Part 9 of the Ontario Building Code must be on site for review at time of framing inspection.
- Smoke Alarms** are required on every floor level, in every sleeping room and must wire directly to the electrical supply. Where more than one alarm is required, they must be interconnected so that the activation of one alarm will cause all alarms to sound. Where bedrooms are accessible by a hallway, a smoke alarm must be provided in said hallway. All smoke alarms must have a visual signaling component.
- Carbon Monoxide Alarms** are required on every floor level where there is a bedroom, must wire directly to the electrical supply, and be interconnected if more than one is installed. CO alarms are to be adjacent to sleeping areas.
- A Drain Water Heat Recovery (DWHR) unit shall be installed in each dwelling unit, to receive drain water from all showers, and be interconnected if more than one is installed. CO alarms are to be water from all showers, or from at least two showers where there are two or more in the dwelling unit.
- Minimum **6" Rigid Duct** is required for kitchen exhaust and must vent directly to the exterior.
- TESTING AND INSPECTIONS** of all plumbing drains, wastes and vents is required before the plumbing is covered. Plumbing must be under test at time of inspection.
- The construction between the garage and dwelling unit must provide an effective barrier to gas and exhaust fumes. Garage doors to interior must be tight fitting, weather stripped, and be equipped with a self-closing device or hinges.
- Unprotected windows are not permitted in walls closer than 1.2m/4ft to the property line.
- Professional Engineer stamped specifications must be submitted for Glass, Aluminum, or Vinyl guard systems prior to installation.
- A waterproof finish must extend to a minimum of 1.8m/7'0" above the floor in shower stalls, 1.2m/4ft above the bathtub rim if it is equipped with a shower, or 400mm/16" above bath the bathtub rim if it is not equipped with a shower.
- An additional permit is required to subdivide and finish basement areas if not included as part of the initial building permit application submission.
- The SITE is to be GRADED so that it does NOT adversely affect the adjacent properties, BOTH during construction, and upon completion of the project. A final Lot Grading Certificate must be prepared and signed by an Ontario Land Surveyor, or Professional Engineer within 60 days of Occupancy being granted, and submitted to the Building Department prior to arranging a final inspection.
- Mud, dirt & dust, etc. on roads MUST be kept to a minimum and cleaned up immediately.
- Sump & Sewage pits/pumps must be provided with a SEALED lid.
- Foamed Plastics (Spray Foam) must be protected in accordance with OBC 9.10.17.10.



GRAB BAR ATTACHMENT SPECIFICATIONS

(1) IF 600 WALL STUDS OR SHEET STEEL WALL STUDS ENCLOSE THE MAIN BATHROOM OR A DWELLING UNIT, REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF GRAB BARS AS FOLLOWS:

(a) FOR A WATER CLOSET AS DESCRIBED BY CLAUSE 3.8.3.3.20(a) & 3.8.3.3.20(c)

(b) FOR A WATER CLOSET AS DESCRIBED BY CLAUSE 3.8.3.3.20(a) & 3.8.3.3.20(c)

(c) FOR A BATHUB AS DESCRIBED BY CLAUSE 3.8.3.3.14(c)

GRAB BAR INSTALLATION SPECIFICATIONS

1. **BEHIND WATER CLOSET**
AN L-SHAPED GRAB BAR WITH 2500mm LONG HORIZONTAL AND VERTICAL COMPONENTS ATTACHED TO THE HORIZONTAL COMPONENT 750mm ABOVE THE TUB OR CLOSET AND THE VERTICAL COMPONENT 1000mm ABOVE THE TOILET RIM.

2. **BEHIND WATER CLOSET**
A MIN. 1000mm LONG GRAB BAR MOUNTED VERTICALLY ON THE WATER TANK TO 200mm ABOVE THE FINISHED FLOOR AND 150mm ABOVE THE WATER TANK.

3. **BEHIND BATHTUB**
A MIN. 1000mm LONG GRAB BAR MOUNTED VERTICALLY ON THE HORIZONTAL COMPONENT OF THE WALL APPROXIMATELY 250mm ABOVE TUB RIM.

4. **BOTH END WALLS OF TUB**
A MIN. 1000mm LONG GRAB BAR MOUNTED VERTICALLY ON WALL WITH BOTTOM 60mm TO 80mm ABOVE TUB RIM.

5. **BEHIND SHOWER**
AN L-SHAPED GRAB BAR WITH 1000mm LONG HORIZONTAL COMPONENT ATTACHED TO THE HORIZONTAL COMPONENT 750mm ABOVE THE FINISHED FLOOR AND THE VERTICAL COMPONENT 1000mm ABOVE THE SHOWER SIDE WALL GRAB BAR IS LOCATED.

6. **SHOWER SIDE WALL**
A MIN. 1000mm LONG GRAB BAR MOUNTED VERTICALLY ON THE SHOWER SIDE WALL ADJACENT TO CLEAR FLOOR AREA.

GRAB BAR ATTACHMENT NOTES:

- 2x4 WOOD BLOCKING BETWEEN WALL STUDS AND p-3/12 SPIRAL NAILS OR SCREWS BOTH SIDES (TP)
- GRAB BARS SHALL NOT OBSTRUCT THE USE OF SHOWER CONTROLS.



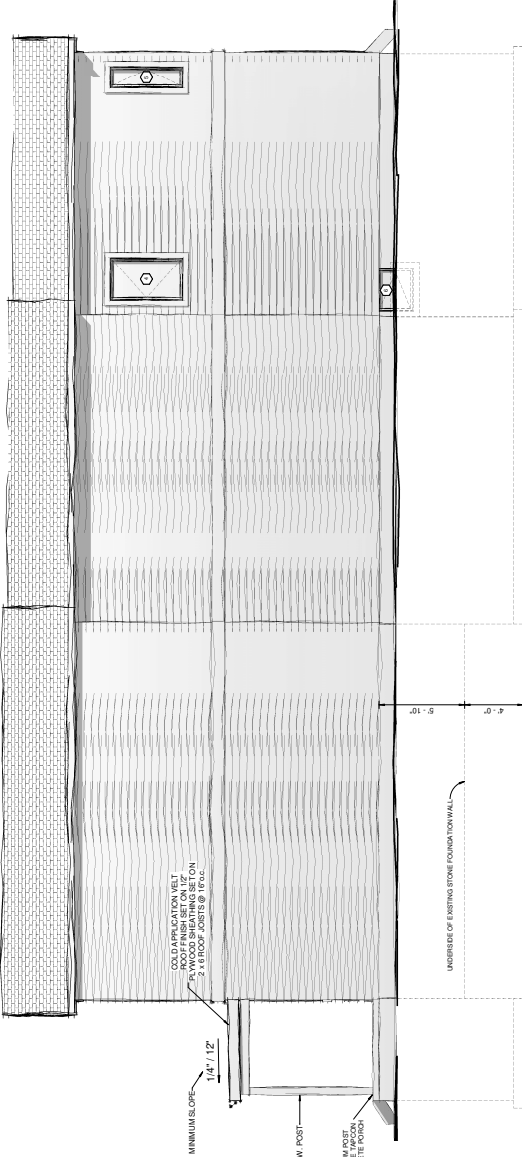
JOHN TODD FLANNERY
INC. SHEPPARD AVENUE EAST UNIT 101
416-291-3333
100 SHEPPARD AVENUE EAST UNIT 101
SCARBOROUGH, ONTARIO M1S 1W4

SANPA SHEPPARD
62 BEDFORD AVE. SUITE 101
M6M 1S5
416-491-2222

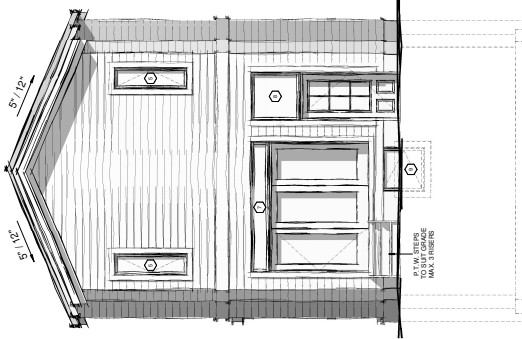
DATE: APRIL 2021 SHEET NO. 1 OF 4



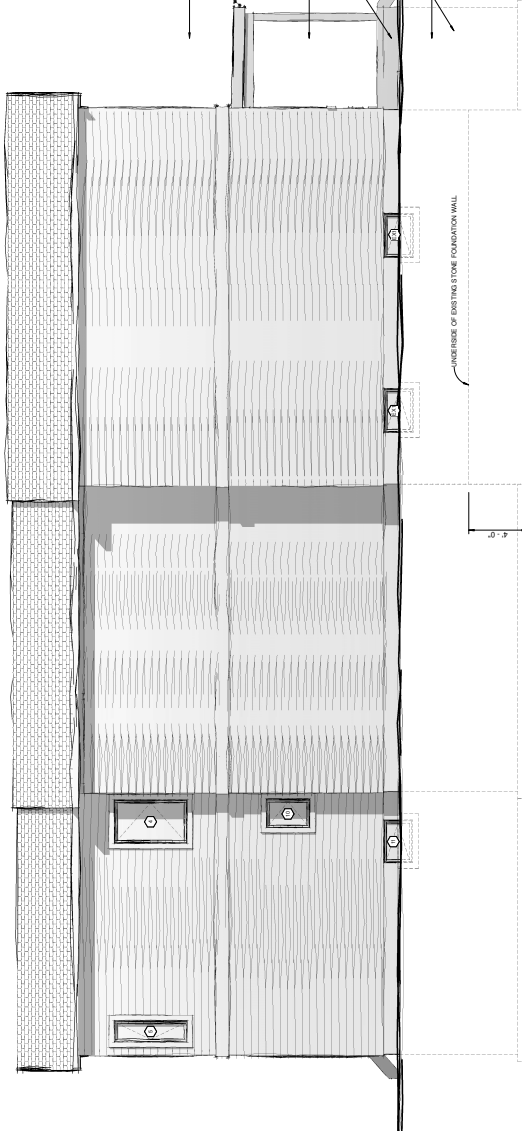
1 FRONT NORTH SIDE ELEVATION
1/4" = 1'-0"



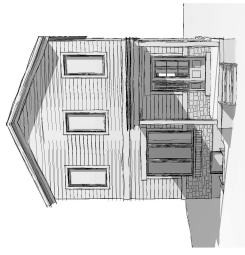
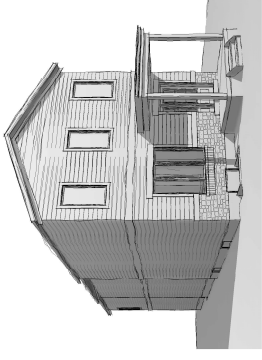
2 RIGHT WEST SIDE ELEVATION
1/4" = 1'-0"



3 REAR SOUTH SIDE ELEVATION
1/4" = 1'-0"



4 LEFT EAST SIDE ELEVATION
1/4" = 1'-0"



WINDOW SCHEDULE

Type	Count	Width	Height	Comments
1	3	50"	50"	
2	1	72"	72"	
3	2	50"	50"	
4	2	50"	50"	
5	4	10"	50"	
6	1	110"	15"	
7	1	50"	50"	
8	1	24"	36"	
9	2	50"	34"	EXISTING TO BE RE-AGED

BECKS AND GUARDS TO CONFORM TO I.B.C. SUPPLEMENTARY CHAPTERS 58-7



JOHN TODD FLANNERY
 THE ENGINEERING FIRM
 1000 N. G Street, Suite 100
 Medford, Oregon 97504
 Phone: 541-753-1100
 Fax: 541-753-1101
 Email: john@jtdfl.com
 www.jtdfl.com

SANJA SINGH
 62 BEDFORD ST. HAMILTON
 TEL: 541-753-1100
 DATE: APRIL 2021
 SHEET NO. 2 OF 4



Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS
Registered Owners(s)	HomeSource Corp.	
Applicant(s)*	Sanjay Singh	
Agent or Solicitor	Joseph M. Tomaino, MCIP, RPP	

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:
 NA

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

1. Lot area of 232.00 sq.m shall be provided instead of the min. 360 sq.m required.
2. Front Yard setback. Relief from min. 6.00 m to min. 2.17 m.
3. West Side Yard setback. Relief from min. 1.20 m to min. of 0.26 m.
4. East Side Yard setback. Relief from min. 1.20 m to min. of 1.02 m.
5. Zero parking spaces shall be provided instead of the min. 2 spaces based on up to 8 habitable rooms

5. Why it is not possible to comply with the provisions of the By-law?

Due to the extend of original permit for foundation work is was necessary to demolish the original wood super structure. In doing so the city has now asked for a new permit application. The original foundation remains & has been structurally underpinned, so all setbacks except for the rear setback is existing which contravenes the District "C" "Area" & "Intensity Of Use" requirements.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

LOT 36 - 62 Beechwood Avenue, Hamilton

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

8.1 If Industrial or Commercial, specify use N/A

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?

The nature and age of the existing house & neighboring houses & properties.

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application

May 17, 2021

Date

Signature Property Owner

SANJAY SINGH

Print Name of Owner

10. Dimensions of lands affected:

Frontage	<u>7.62m</u>
Depth	<u>30.48m</u>
Area	<u>232.00m²</u>
Width of street	<u>+/- 7.32m curb face to curb face.</u>

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

+/- 6.30m wide x +/-16.33m deep Engineered Underpinned existing foundation walls.

Proposed

To construct a +/-6.30m wide x +/-21.69m deep x 8.17m high two storey dwelling.

Basement floor = +/-90m²

Main Floor floor = 85.50m²

Second Floor area = +/-90m²

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

+/- 6.30m wide x +/-16.33m deep Engineered Underpinned existing foundation walls.

Proposed:

To construct a +/-6.30m wide x +/-21.69m deep x 8.17m high two storey dwelling.

Basement floor = +/-90m²

Main Floor floor = 85.50m²

Second Floor area = +/-90m²

13. Date of acquisition of subject lands:
July 17, 2020
-
14. Date of construction of all buildings and structures on subject lands:
Existing underpinned foundation was existing for +/- 95 years
-
15. Existing uses of the subject property:
Urban Protected Residential
16. Existing uses of abutting properties:
Urban Protected Residential
17. Length of time the existing uses of the subject property have continued:
+/- 95 years
18. Municipal services available: (check the appropriate space or spaces)
Water Yes Connected Yes
Sanitary Sewer Yes Connected Yes
Storm Sewers Yes
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
SECTION NINE "C" DISTRICTS
21. Has the owner previously applied for relief in respect of the subject property?
 Yes No
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.