

NOTICE OF PUBLIC HEARING

Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: FL/A-21:255

APPLICANTS: Owner B. & G. Clark

SUBJECT PROPERTY: Municipal address **881 Valens Rd., Flamborough**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: "A1" (Agricultural (A1) Zone

PROPOSAL: To permit construction of a "L" shaped addition onto an existing detached garage for a total detached garage/shed size of 17.07m (56') x 20.12m (66') accessory to the single detached dwelling notwithstanding that:

1. The detached garage/shed shall be permitted within a flankage yard instead of the requirement that accessory buildings shall not be located within a front or flankage yard.
2. A maximum gross floor area of 351m² shall be permitted for all accessory buildings instead of the requirement that the aggregate gross floor area of all accessory buildings shall not exceed 200m².
3. A maximum building height of 7.2m shall be permitted for the proposed 17.07m (56') x 20.12m (66') accessory building instead of the requirement that all accessory buildings shall have a maximum height of 6.0m.

NOTE:

- i) This is a corner lot. Valens Road has been considered the front lot line and Concession 5 Road West is considered the side (flankage) lot line.
- ii) Pursuant to Variance No. 2 above, the total accessory building gross floor area of 351m² is based on the combined gross floor areas of the 7.32m² (8' x 10') existing pool shed and the 343.37m² (56' x 66' storage shed/3 car garage). The owner has advised that there is an existing "12' x 24' temporary structure" which has not been shown on the Site Plan submitted which is intended to be removed once the 56' x 66' shed/garage is constructed. Further, the owner advised that she is not proceeding with construction of a 16' x 24' shed which was subject of Building Permit No. 19-109847. Be advised if the "12' x 24' temporary structure" is not removed/demolished and if Building Permit No. 19-109847 is not cancelled, a further variance shall be required as the gross floor area of all accessory structures will exceed 351m².

This application will be heard by the Committee as shown below:

DATE: Thursday, August 12th, 2021
TIME: 1:25 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

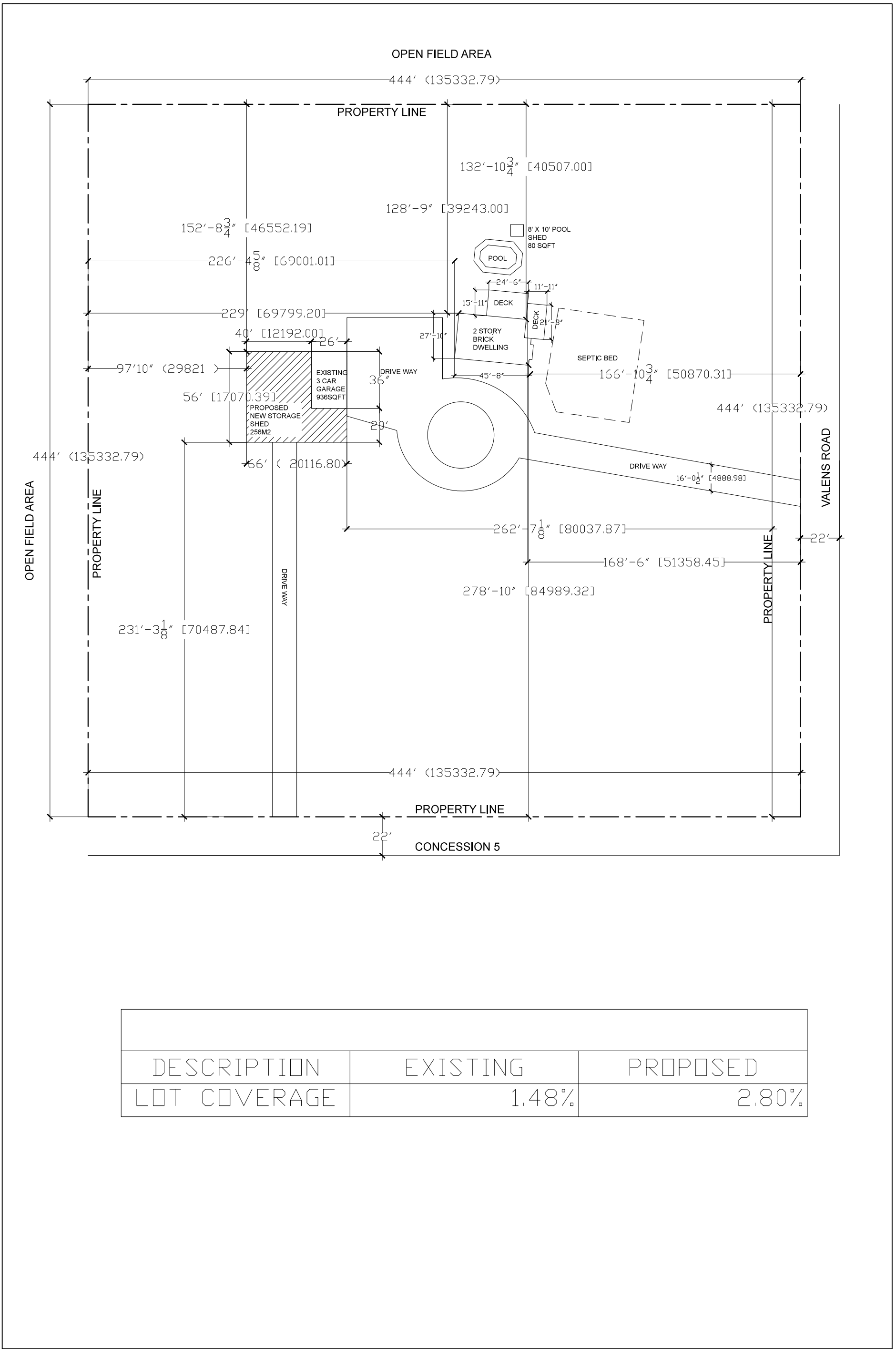
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: July 27th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



DESCRIPTION	EXISTING	PROPOSED
LOT COVERAGE	1.48%	2.80%

NAILING DETAIL FOR STITCHED SCREW (BOTH GABLE ENDS)



DO NOT SCALE DRAWINGS

(GROUP C)

BEFORE MANUFACTURING



FRONT ELEVATION



2. - ZXA PURLIN
- SAMPSON STRONG THE LSTA24 STRAP THE
- ONE ON EACH SIDE OF PURLIN SPLICE.
- INSTALL AS PER MANUFACTURERS SPEC.

CONTINUOUS PURLIN SPLICE DETAIL

PROVIDE 2X4 BLOCKING
ON FLAT BETWEEN ROOF
PURLINS. FASTEN TOP
CHORD OF END WALL TRUSS
WITH 3 1/2" ARDOX @ 12" O.C.
AND FASTEN SHEET STEEL
TO BLOCKING @ 12" O.C.
(TYP.) EACH END OF BUILDING
SEE THIS PG

**NOTE:
EXTEND OVERLAY OUT TO GABLE OVERHANGS**

Existing Child

RIGHT SIDE ELEVATION

Rockton, Ont. L0R 1X0

[illegible]

email - phil@ruhlmansdesign.com

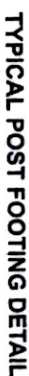
PROJECT NAME	DRAWING
CONCRETE	

Rockton, Ont. L0K 1A0

THESE OBLIGATIONS ARE TRANSFERRED BY THE BUILDING CONTRACTOR FOR THE DESIGNER TO THE DESIGNER. THE DESIGNER SHALL BE RESPONSIBLE FOR DISCREPANCIES AND REPORT TO THIS DESIGNER BEFORE COMMENCING ANY FURTHER WORK. THIS DESIGNER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR ERRORS OR OMISSIONS NOT REPORTED BY THE BUILDING CONTRACTOR OR FOR THE BUILDING CONTRACTOR'S OWN NEGLIGENCE. THE DESIGNER SHALL BE RESPONSIBLE FOR THE BUILDING CONTRACTOR'S FAILURE TO CARRY OUT THE OBLIGATIONS OF THE BUILDING PLAN, SPECIFICATIONS AND RELATED DOCUMENTS. CONSTRUCTION MUST COMPLY WITH THE LATEST STANDARDS OF THE D.B.C. AND THE LOCAL MUNICIPAL REGULATIONS.

BUILDING CLASSIFICATION
THIS BUILDING IS DESIGNED FOR PART 9 O.B.C.
(GROUP C)

**ROOF TRUSS DESIGNS AND LAYOUT TO BE
SUBMITTED TO THIS DESIGNER FOR APPROVAL
BEFORE MANUFACTURING**



DECLARATION OF DESIGNER
I, PHILIP RUHLMAN DECLARE THAT I REVIEW
AND TAKE RESPONSIBILITY FOR THE DESIGN
WORK OF THIS PLAN. I AM QUALIFIED, AND
I AM REGISTERED.

ARCHITECTURAL DESIGN
82 Piper St. 519-223-7042
Aur. Ontario

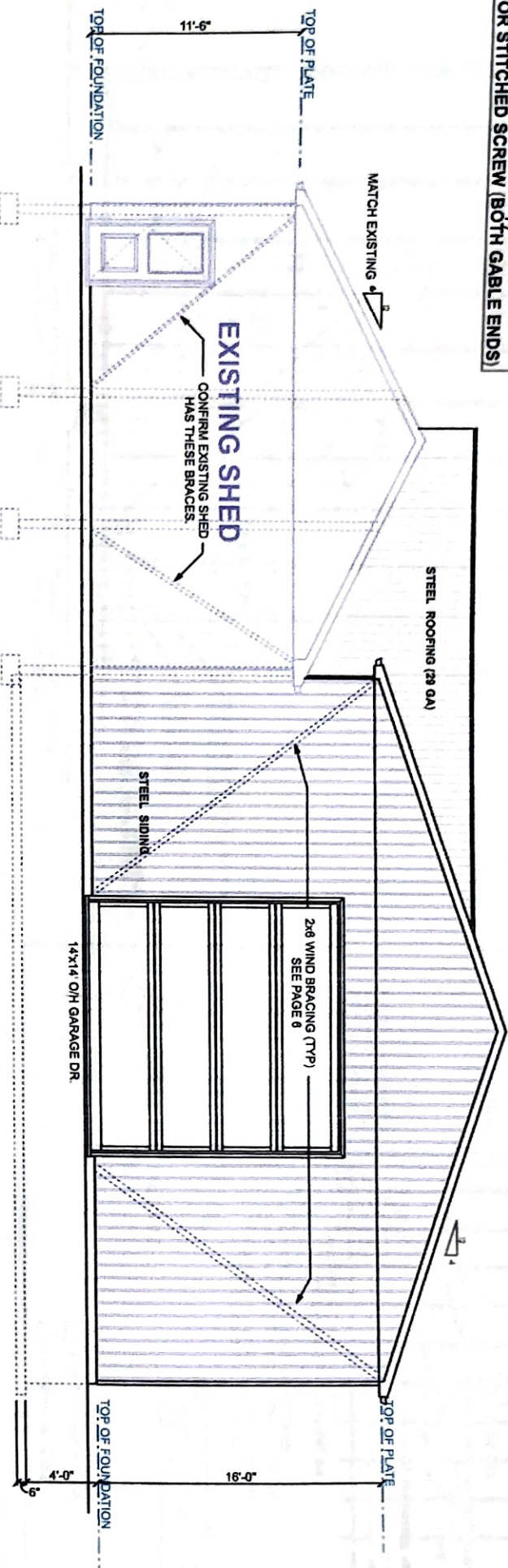
DRAWING TITLE	PROJECT NUMBER
FOUNDATION	PHR21-774

Rockton, Ont. L0R 1X0

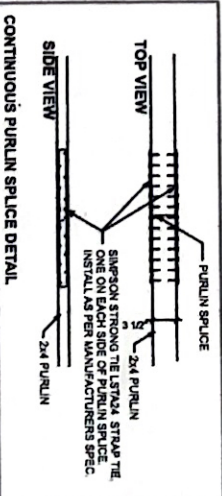
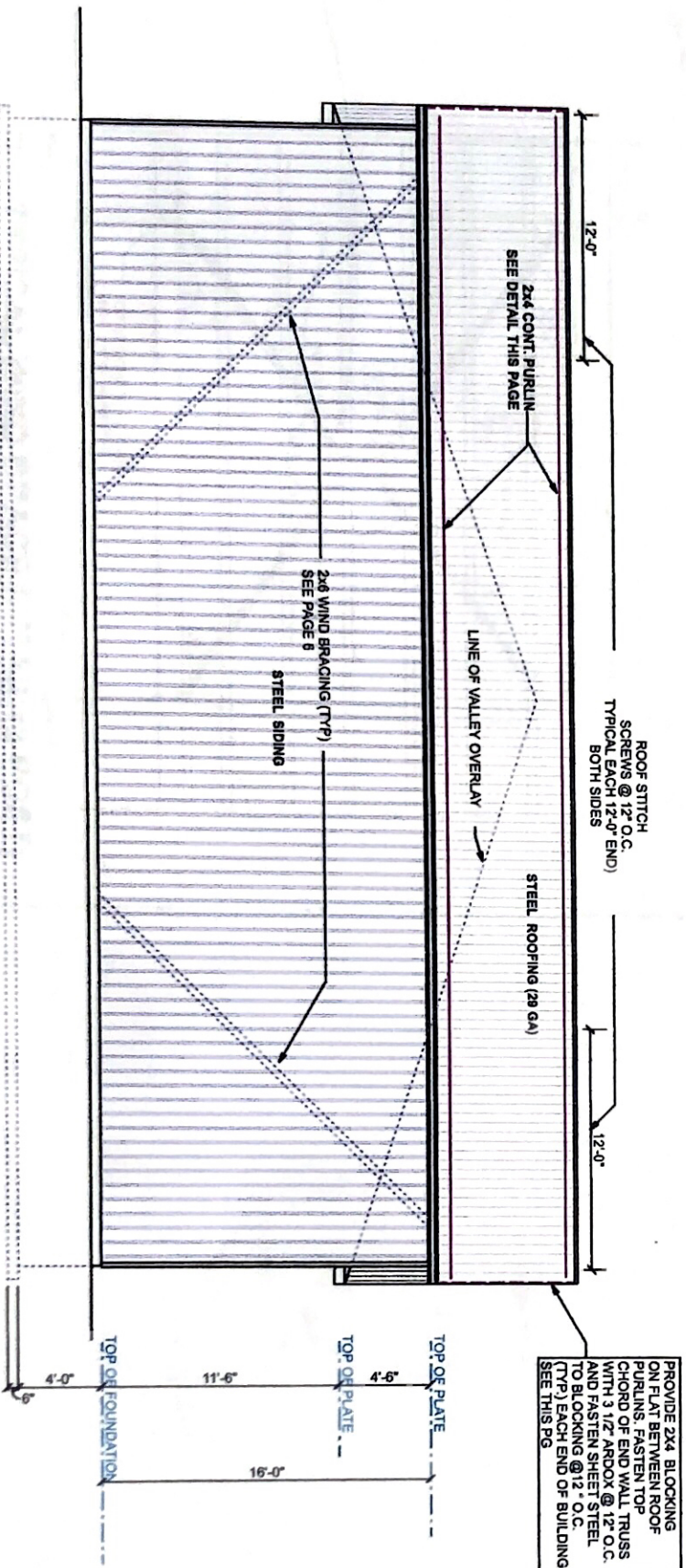
May 11, 2021	1/8"=1'-0"	3,200 Sq. Ft.
PROJECT NAME		DRAWING
GREG CLARK 881 Valens Rd. Branchton, Ont.		A2

2x4 SOLID BLOCKING BETWEEN ROOF PURLINS
(3 1/2" ARDOX @ 8' O.C. - BLOCKING TO TRUSS TOP CHORD)
ATTACH STEEL CLADDING TO BLOCKING
WITH #8 X 1" SCREWS @ 12" O.C.
INTO BLOCKING

NAILING DETAIL FOR STITCHED SCREW (BOTH GABLE ENDS)



REAR ELEVATION



NOTES
THESE DRAWINGS, DIMENSIONS, AND SPECIFICATIONS, MUST BE CHECKED AND VERIFIED BY THE BUILDING CONTRACTOR FOR DISCREPANCIES AND REPORT TO THIS DESIGNER BEFORE COMMENCING ANY FURTHER WORK. THE CONTRACTOR ASSUMES NO RESPONSIBILITY FOR THE BUILDING CONTRACTOR OR HIS SUBTRADEES REPORTED BY THE BUILDING CONTRACTOR FOR THEIR FAILURE TO CARRY OUT THE WORK ACCORDING TO THESE PLANS, SPECIFICATIONS AND RELATED DOCUMENTS. CONSTRUCTION MUST COMPLY WITH THE LATEST STANDARDS OF THE O.B.C., C.B.C. AND THE LOCAL MUNICIPAL REGULATIONS. SUPPLIERS AND SUBTRADEES TO VERIFY DIMENSIONS BETWEEN THE PLANS AND FIELDWORK. THIS DESIGNER ASSUMES NO RESPONSIBILITY FOR ERRORS NOT REPORTED.

DO NOT SCALE DRAWINGS

BUILDING CLASSIFICATION
THIS BUILDING IS DESIGNED FOR PART 9 O.B.C. (GROUP C)

NOTE: NO ADJUSTMENTS OR CHANGES TO BE MADE TO THESE DRAWINGS WITHOUT WRITTEN APPROVAL FROM THIS DESIGNER.
ROOF TRUSS DESIGNS AND LAYOUT TO BE SUBMITTED TO THIS DESIGNER FOR APPROVAL BEFORE MANUFACTURING



Detailed Buildings
P.O. Box 8
Rockton, Ont. L0R 1X0

DECLARATION OF DESIGNER
I, PHILIP RUHLMAN DECLARE THAT I REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK OF THIS PLAN. I AM QUALIFIED, AND I AM REGISTERED.

INDIVIDUAL BCIN: 21095 FIRM BCIN: 31613
PHILIP H. RUHLMAN

ARCHITECTURAL DESIGN
82 Piper St. 519-223-7042
Ayr, Ontario
email - phil@ruhmandesign.com

DRAWING TITLE
ELEVATIONS
DATE
May 11, 2021
SCALE
1/8"=1'-0"
AREA
3,200 Sq. Ft.
PROJECT NAME
GREG CLARK
881 Valens Rd.
Branchton, Ont.
DRAWING #
A4

Detailed Buildings
P.O. Box 8
Rockton, Ont. L0R 1X0



Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS	
Registered Owners(s)	Bonnie Clark Greg Clark Erenest Bergsma Katherine Bergsma		
Applicant(s)*	Bonnie Clark		
Agent or Solicitor	N/A		Phone: E-mail:

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

The Royal Bank of Canada 304 Dundas St E Waterdown ON L0R 2H0

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:
Requesting to increase the allowable size of a accessory building to 256m2 from the allowed 200m2 and increase the height of the building to 7.13m from the allowed 6.0m as well as allowing the accessory building to be loacated on the front yard of the property.

☐ Secondary Dwelling Unit ☐ Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?
We require a large storage building for our personal storage and our RV inside and hight are required to accomodate the RV. The location is requested as this is where the existing accessory structure is located and we are adding to the current building.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

881 Valens Road Branchton ON N0B1L0 - (Con 5 PT lot 24 Bev FLM Reg 4.53 AC 444FR 444 D)

7. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐
Agricultural ☐ Vacant ☐ Other ☐
Other _____

- 8.1 If Industrial or Commercial, specify use _____
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes ☐ No ☒ Unknown ☐
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes ☐ No ☒ Unknown ☐
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes ☐ No ☒ Unknown ☐
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes ☐ No ☐ Unknown ☒
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes ☐ No ☒ Unknown ☐
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes ☐ No ☒ Unknown ☐
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes ☐ No ☒ Unknown ☐
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
Yes ☐ No ☒ Unknown ☐

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☒ Unknown ☐

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Common Knowledge of the area

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☐

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property for any reason of its approval to this Application

June 17, 2021

Date

Bonnie Clark, Greg Clark
Print Name of Owner(s) Katherine Bergsma
EDENEST BERGSMIA

10. Dimensions of lands affected:

Frontage	<u>444'</u>
Depth	<u>444'</u>
Area	<u>18314.53m2</u>
Width of street	<u>22'</u>

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

Dwelling unit - 2 story, Length 46', Width 28', Height 23' 1288 SQFT, Gross floor area 2576 SQFT

3 car accessory building - 1 story, Length 36', Width 26', Height 19' 936 SQFT

Proposed

Accessory building - 1 story Length 66', Width 56', Height 23'-5" Area 256m2

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Dwelling unit - Front Yard 168'-6" Side R- 128'-9" Side L- 288' Rear 229'

Existing accessory building - Front yard -280' Side R- 152'-9" Side L- 252'-3" Rear- 137'-7"

Proposed:

Accessory Building - Front yard - 280' Side R - 152'-8" Side L- 231'-3" Rear 97'-10"

13. Date of acquisition of subject lands:
August 2016
-
14. Date of construction of all buildings and structures on subject lands:
Dwelling unit 1985, Accessory Building unknown
-
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
Single Family Home
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
Agriculture
17. Length of time the existing uses of the subject property have continued:
18. Municipal services available: (check the appropriate space or spaces)
Water ☐ Connected ☐
Sanitary Sewer ☐ Connected ☐
Storm Sewers ☐
19. Present Official Plan/Secondary Plan provisions applying to the land:
None
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
None
21. Has the owner previously applied for relief in respect of the subject property?
Yes ☐ No ☒
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes ☐ No ☒
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.