

NOTICE OF PUBLIC HEARING

Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-21:243

APPLICANTS: Agent Kelsey Hammerton
Owner John Apanashk

SUBJECT PROPERTY: Municipal address **174 Beach Blvd., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: "C/S-1436b" (Urban Protected Residential) district

PROPOSAL: To permit the construction of a new addition to the existing single family dwelling notwithstanding that:

1. A building height of 3 storeys shall be provided instead of the maximum permitted 2.5 storeys.
2. Two (2) parking spaces shall be provided in the front yard whereas the by-law permits a maximum of one (1) parking space to be provided in the front yard of a Single Family Dwelling.
3. No onsite manoeuvring shall be provided for the two (2) parking space located within the front yard instead of the minimum required 6.0m manoeuvring aisle width and the requirement that a manoeuvring space shall be provided and maintained on the lot.

NOTES:

- i. These variances are necessary to facilitate Site Plan Control Application DAB-19-151.
- ii. Please be advised that the current zoning designation generally permits a maximum building height of 2.5 storeys and 11.0m. However, Committee of Adjustment Decision HM/A-20:175 previously approved a maximum building height of 2.5 storeys and 11.71m.

This application will be heard by the Committee as shown below:

DATE: Thursday, August 12th, 2021
TIME: 2:00 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: July 27th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

CITY OF HAMILTON ZONING BY-LAW 6593
ZONING REGULATION – C/S-1436B
AS AMENDED BY BY-LAW 99-170

ZONE	REQUIRED	PROVIDED
LOT WIDTH	12.0 m	15.98 m
LOT AREA	360 sq.m (min)	762.39 sq.m.
FRONT YARD	6.0 m	11.60 m (EXISTING)
REAR YARD	7.5 m (min)	13.99 m
SIDE YARD	1.7 m (min)	2.46 m
	1.7 m (min)	4.48 m (EXISTING)
BUILDING AREA		157.25 sq.m. (EXISTING STRUCTURES)
		188.43 sq.m. (PROPOSED STRUCTURES)
		188.43 sq.m. (TOTAL AREA)
LOT COVERAGE		24.7%
BUILDING HEIGHT	11.0 m (max)	11.49 m*
GROUND FLOOR	76.00 (min)	77.41 (EXISTING)

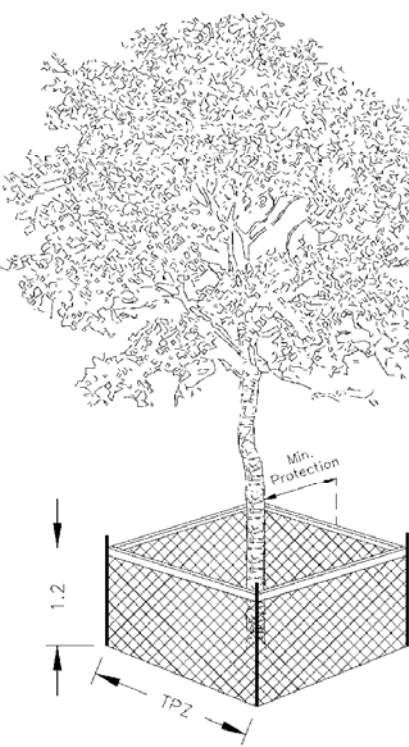
PROPOSED ADDITION = 2 STOREYS

*VARIANCE REQUIRED

BUILDING HEIGHT=PEAK (88.36) – CURB GRADE(76.87)=11.49m.

TOTAL FRONT YARD AREA=185.4 sq.m.
LANDSCAPED AREA (RIGHT SIDE OF DRIVEWAY)=80.3 sq.m.
LANDSCAPED AREA (LEFT SIDE OF DRIVEWAY)=17.1 sq.m.
TOTAL LANDSCAPED AREA=97.4 sq.m.
LANDSCAPED AREA=52.5% OF FRONT YARD

Tree Protection and Preservation
Specification No.:SS12



Detail TP-1 – Tree Protection Detail

Trunk Diameter (DBH) ¹	Minimum Tree Protection Zone (TPZ) Distances Required ²	Critical Root Zone (CRZ) Distances Required ³
< 10 cm	1.8 m	1.8 m
11 - 40 cm	2.4 m	4.0 m
41 - 50 cm	3.0 m	5.0 m
51 - 60 cm	3.6 m	6.0 m
61 - 70 cm	4.2 m	7.0 m
71 - 80 cm	4.8 m	8.0 m
81 - 90 cm	5.4 m	9.0 m
91 - 100+ cm	6.0 m	10.0 m

NOTES:

¹ The roots of a tree can extend from the trunk to approximately 2-3 times the distance of the drip line.

² Diameter at breast height (DBH) is the measurement of tree trunk taken at 1.4 metres above ground.

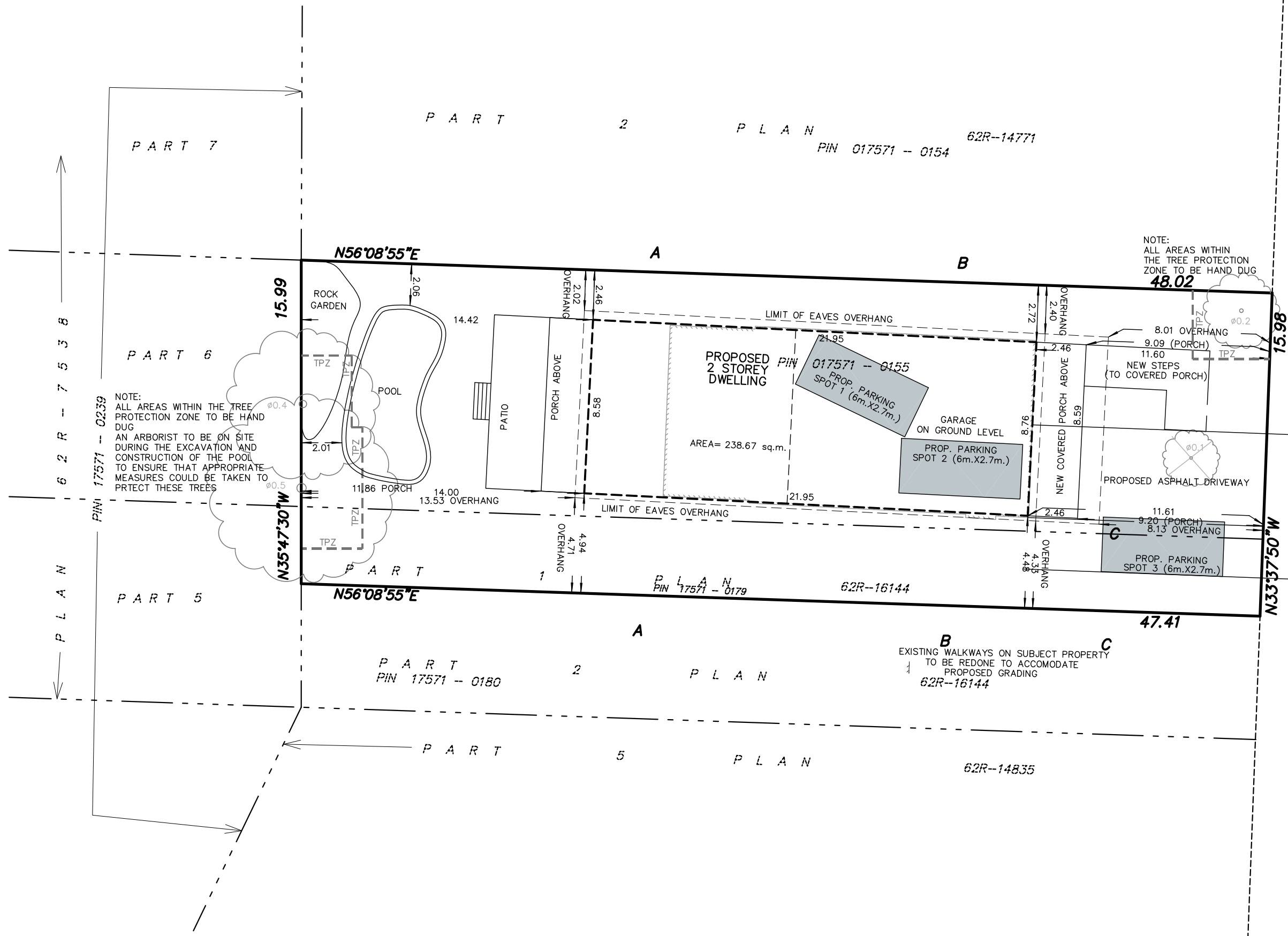
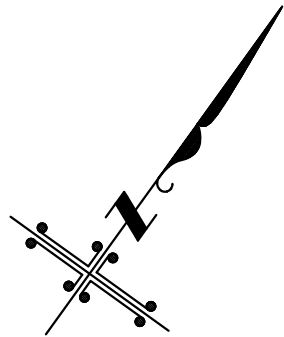
³ Minimum Tree Protection Zone and Critical Root Zone distances are to be measured from the outside edge of the tree base towards the drip line and may be limited by an existing paved surface, provided the existing paved surface remains intact throughout the construction work and is subject to Section 6 of this specification.

⁴ Where work is being performed beyond the Minimum Tree Protection Zone but within the Critical Root Zone the works are subject to Section 8 of this specification.

TREE PROTECTION BARRIER

- Tree protection barriers for trees situated on the City road allowance where visibility must be maintained can be 1.2m high and consist of orange plastic web snow fencing on a wood frame of 2"x6"s, supported on metal "T" bars, 2.1m O/C max. Where orange plastic web snow fencing creates restriction to sightlines, page wire fencing shall be used.
- All supports and bracing used to safely secure the barrier should be located outside the TPZ. All supports and bracing should minimize damage to roots.
- Where some fill or excavated material must be temporarily located near a TPZ, a wooden barrier with silt fencing must be used to ensure no material enters the TPZ.
- No materials or fill may be stored within the TPZ.
- Equipment or vehicles shall not be operated, parked, repaired, or refueled within the TPZ.
- No construction activity, grade changes, surface treatment or excavations of any kind is permitted within the TPZ without written authorization from the City of Hamilton.

Page 6
February 2013



KNOWN AS BEACH BOULEVARD
(BY DEPOSED PLAN 1489 MNG.)
PIN 17571-0104

UNDERTAKING:

RE: SITE PLAN CONTROL APPLICATION FOR 174 BEACH BOULEVARD

FILE NO. DAB-19-151

I, (WE) JOHN APANASHK THE OWNER(S) OF THE LAND, HEREBY UNDERTAKE AND AGREE WITHOUT ANY RESERVATIONS.

- TO COMPLY WITH ALL THE CONTENT OF THIS PLAN AND DRAWING AND NOT TO VARY THEREFROM;
- TO PERFORM THE FACILITIES, WORKS OR MATTERS MENTIONED IN SECTION 41(7)(a) OF THE PLANNING ACT SHOWN ON THIS PLAN AND DRAWINGS) IN ACCORDANCE WITH THE CONDITIONS OF APPROVAL AS SET OUT IN THE LETTER OF APPROVAL DATED FEBRUARY 10, 2021;
- TO MAINTAIN TO THE SATISFACTION OF THE CITY AND AT MY (OUR) SOLE RISK AND EXPENSE, ALL OF THE FACILITIES, WORKS OR MATTERS MENTIONED IN SECTION 41(7)(b) OF THE SAID ACT, SHOWN IN THIS PLAN AND DRAWING, INCLUDING REMOVAL OF SNOW FROM ACCESS RAMPS AND DRIVEWAYS, PARKING AND LOADING AREAS AND WALKWAYS;
- IN THE EVENT THAT THE OWNER DOES NOT COMPLY WITH THE PLAN DATED MARCH 4, 2021, THE OWNER AGREES THAT THE CITY MAY ENTER THE LAND AND DO THE REQUIRED WORKS; AND FURTHER THE OWNER AUTHORIZES THE CITY TO USE THE SECURITY FILED TO OBTAIN COMPLIANCE WITH THIS PLAN.
- CAUTION: NOTWITHSTANDING CURRENT SURFACE CONDITIONS, THE PROPERTY HAS BEEN DETERMINED TO BE AN AREA OF ARCHAEOLOGICAL POTENTIAL. ALTHOUGH AN ARCHAEOLOGICAL ASSESSMENT IS NOT REQUIRED BY THE CITY OF HAMILTON, THE PROPONENT IS CAUTIONED THAT DURING DEVELOPMENT ACTIVITIES, SHOULD DEEPLY BURIED ARCHAEOLOGICAL MATERIALS BE FOUND ON THE PROPERTY THE ONTARIO MINISTRY OF HERITAGE, SPORT, TOURISM AND CULTURE INDUSTRIES (MHSITO) SHOULD BE NOTIFIED IMMEDIATELY (416-212-8886). IN THE EVENT THAT HUMAN REMAINS ARE ENCOUNTERED DURING CONSTRUCTION, THE PROPONENT SHOULD IMMEDIATELY CONTACT BOTH MHSITO AND THE REGISTRAR OR DEPUTY REGISTRAR OF THE CEMETERIES REGULATION UNIT OF THE MINISTRY OF GOVERNMENT AND CONSUMER SERVICES (416-212-7499).

Dated this _____ day of _____

Witness (signature) _____ Owner(s) (signature) _____

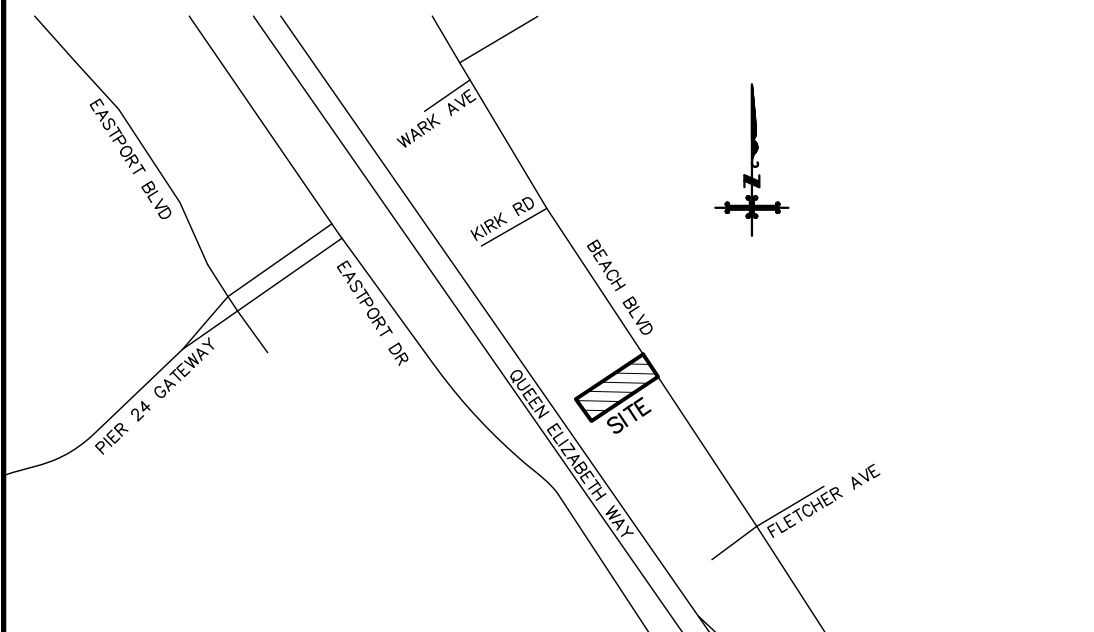
Witness (print) _____ Owner (print) _____

Address of Witness _____

SITE PLAN NOTES

- ALL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICIPAL SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF PLANNING AND CHIEF PLANNER, PLANNING AND ECONOMIC DEPARTMENT.
- THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - BUILDING PERMIT
 - SEWER AND WATER PERMIT
 - ROAD CUT PERMITS
 - RELOCATION OF SERVICES
 - APPROACH APPROVAL PERMITS
 - ENCROACHMENT AGREEMENTS (IF REQUIRED)
 - COMMITTEE OF ADJUSTMENT
- ABANDONED ACCESS MUST BE REMOVED AND THE CURB AND BOULEVARD RESTORED WITH SOD AT THE OWNER'S EXPENSE TO THE SATISFACTION OF THE TRAFFIC ENGINEERING SECTION, PUBLIC WORKS DEPARTMENT.
- THE OWNER IS TO BE AWARE OF THE MIGRATORY BIRD CONVENTION ACT, 1994 WHICH IS IMPLEMENTED BY ENVIRONMENT CANADA. THE OWNER IS TO MAKE EVERY EFFORT TO AVOID REMOVAL OF VEGETATION BETWEEN MARCH 31st AND AUGUST 31st.
- WHEREVER POSSIBLE, THE CUTTING OF SURFACE ROOTS OF THE EXISTING TREES IS TO BE AVOIDED. HOWEVER, IF THESE CUTS ARE REQUIRED, CUTS SHOULD BE COMPLETED UNDER THE SUPERVISION OF A TREE MANAGEMENT PROFESSIONAL (I.E. CERTIFIED ARBORIST) SO THAT CUTS ARE MADE APPROPRIATELY

174 BEACH BOULEVARD
SITE PLAN FOR BUILDING PERMIT
FILE: DAB-19-151



KEYPLAN

NOT TO SCALE

GEOGRAPHIC LOCATION NOTE

PART OF BURLINGTON BEACH
WEST SIDE BEACH BOULEVARD
(UNREGISTERED)

(GEOGRAPHIC TOWNSHIP OF SALT FLEET)

NOW IN THE

CITY OF HAMILTON

SCALE 1 : 200

MackKay, MacKay & PETERS LIMITED – ONTARIO LAND SURVEYORS
© 2021

"METRIC" DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

BENCHMARK NOTE

BENCHMARK No. 00119653130H ELEVATION 76.809 METRES (CGVD 1928:1978 READJUSTMENT)

CONCRETE PIER AT SOUTHEAST SIDE OF BURLINGTON CANAL, AT NORTHEAST SIDE OF LIFT BRIDGE, TABLET IN TOP OF AND AT THE CORNER OF A CONCRETE WALL, 7.6 METRES SOUTHEAST OF WOODEN EDGE OF PIER, 8.5 METRES SOUTHWEST OF HYDRO POLE, 0.42 METRES ABOVE TOP OF PIER

LEGEND

- DSILL DENOTES ELEVATION AT DOOR SILL
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- GM DENOTES GAS METER
- Ø DENOTES ROUND
- OHW DENOTES OVERHEAD WIRE
- ↓ DENOTES DOWNSPOUT
- DENOTES DIRECTION OF DRAINAGE
- XXX.XX DENOTES EXISTING ELEVATIONS
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- AC DENOTES AIR CONDITIONER
- △ DENOTES TREE TO BE REMOVED
- XXX.XX DENOTES EXISTING ELEVATIONS TO REMAIN
- SW DENOTES SWALE
- SW DENOTES GRADING BY A.T. McLAREN
- SITE & GRADING PLAN
- 31125-SG DATED JULY 27, 2017

NOTES

- PROPOSED TIES SHOWN HEREON ARE TO FOUNDATION ONLY
- BUILDING DIMENSIONS WERE TAKEN FROM PLANS SUPPLIED BY THE CLIENT
- EXISTING ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE SURVEY REAL PROPERTY REPORT ISSUED BY MACKAY, MACKAY & PETERS LIMITED, DRAWING No. 19-009, DATED FEBRUARY 11, 2019
- LOT GRADING SHALL MATCH WITH THE EXISTING DRAINAGE PATTERNS
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- SUMP PUMP AND DOWNSPOUTS TO DRAIN TO PERMEABLE SURFACE VIA SPLASH PADS
- ALL TIES ARE TO FOUNDATION UNLESS OTHERWISE NOTED
- ALL UNDERGROUND SERVICES MUST BE LOCATED BY CONTRACTOR PRIOR TO ANY CONSTRUCTION
- CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS BEFORE PROCEEDING WITH WORK
- PROPOSED BUILDING IS POSITIONED BY CALCULATION, NOT BY AN ACTUAL SURVEY
- THIS PROPOSED PLAN IS PRELIMINARY UNTIL THE APPROPRIATE BUILDING DEPARTMENT'S SIGNED APPROVAL HAS BEEN OBTAINED
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- UTILITIES AND SERVICES SHOWN ON THIS SKETCH ARE APPROXIMATE AND MUST BE VERIFIED BEFORE CONSTRUCTION

CAUTION

- THIS IS NOT AN ORIGINAL COPY UNLESS EMBOSSED.
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CERTIFICATION NOTE

- BOUNDARY DIMENSIONS SHOWN HEREON ARE DERIVED FROM LAND REGISTRY OFFICE RECORDS AND FROM SURVEY RECORDS OF MMP LIMITED
- WE HAVE REVIEWED THE PLANS FOR CONSTRUCTION OF A 2 STOREY ADDITION LOCATED AT 174 BEACH BOULEVARD AND CERTIFY THAT THE GRADING SHOWN HEREON IS COMPATIBLE WITH THE ADJACENT PROPERTIES AND EXISTING MUNICIPAL SERVICES.

MAY 3, 2021
DATE

No.	DATE	REVISIONS
10	MAY 3, 2021	REVISED AS PER CITY COMMENTS
9	MARCH 5, 2021	REVISED AS PER CLIENT AND CITY COMMENTS
8	FEBRUARY 24, 2021	REVISED AS PER CLIENT
7	FEBRUARY 18, 2021	REVISED AS PER CITY COMMENTS
6	FEBRUARY 9, 2021	ADDED DRIVEWAY DIMENSIONS
5	JANUARY 28, 2021	ADDED LANDSCAPED AREA PERCENTAGE
4	NOVEMBER 18, 2020	ADDRESSED ZONING COMMENTS
3	NOVEMBER 03, 2020	ADDRESSED CITY COMMENTS
2	JULY 23, 2020	SITE PLAN DESIGN REVISED
1	MAY 15, 2019	SITE PLAN COMPLETED

MMP
Mackay, MacKay & Peters Limited
LAND SURVEYORS & MAPPERS
SINCE 1906

3380 South Service Road
Unit 101
Burlington, ON
L7N 3J5
(905) 639-1375
halton@mmplimited.com
mmplimited.com

CAD FILE: E:\(62) Hamilton-Wentworth\TWP\ SALT FLEET\BURLINGTON BEACH\19-009\19-009-SP	DRAWN BY: A.R./M.S.	CHECKED BY: D.R.	PROJECT No. 19-009-SP	DWG. No. 1
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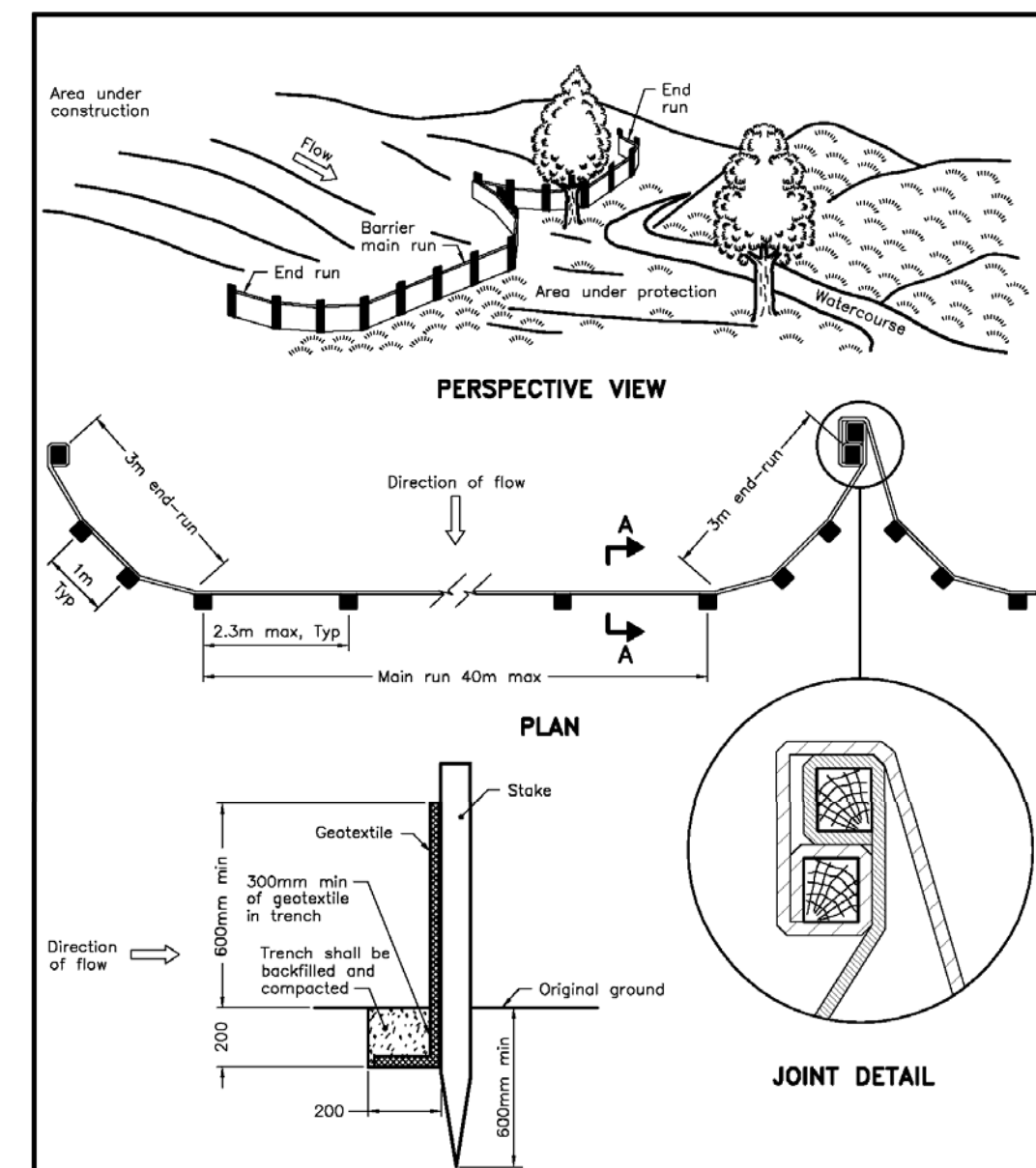
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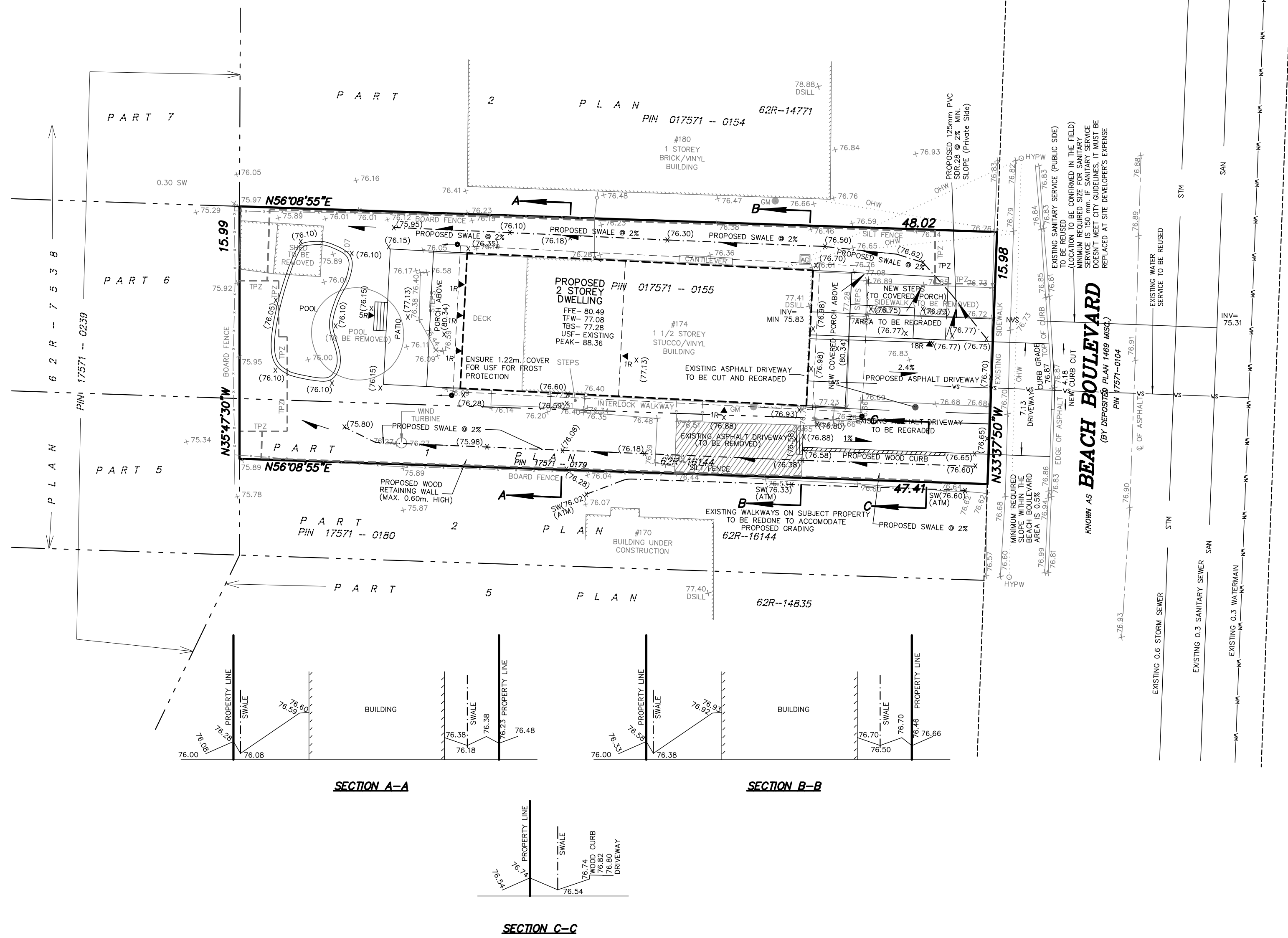
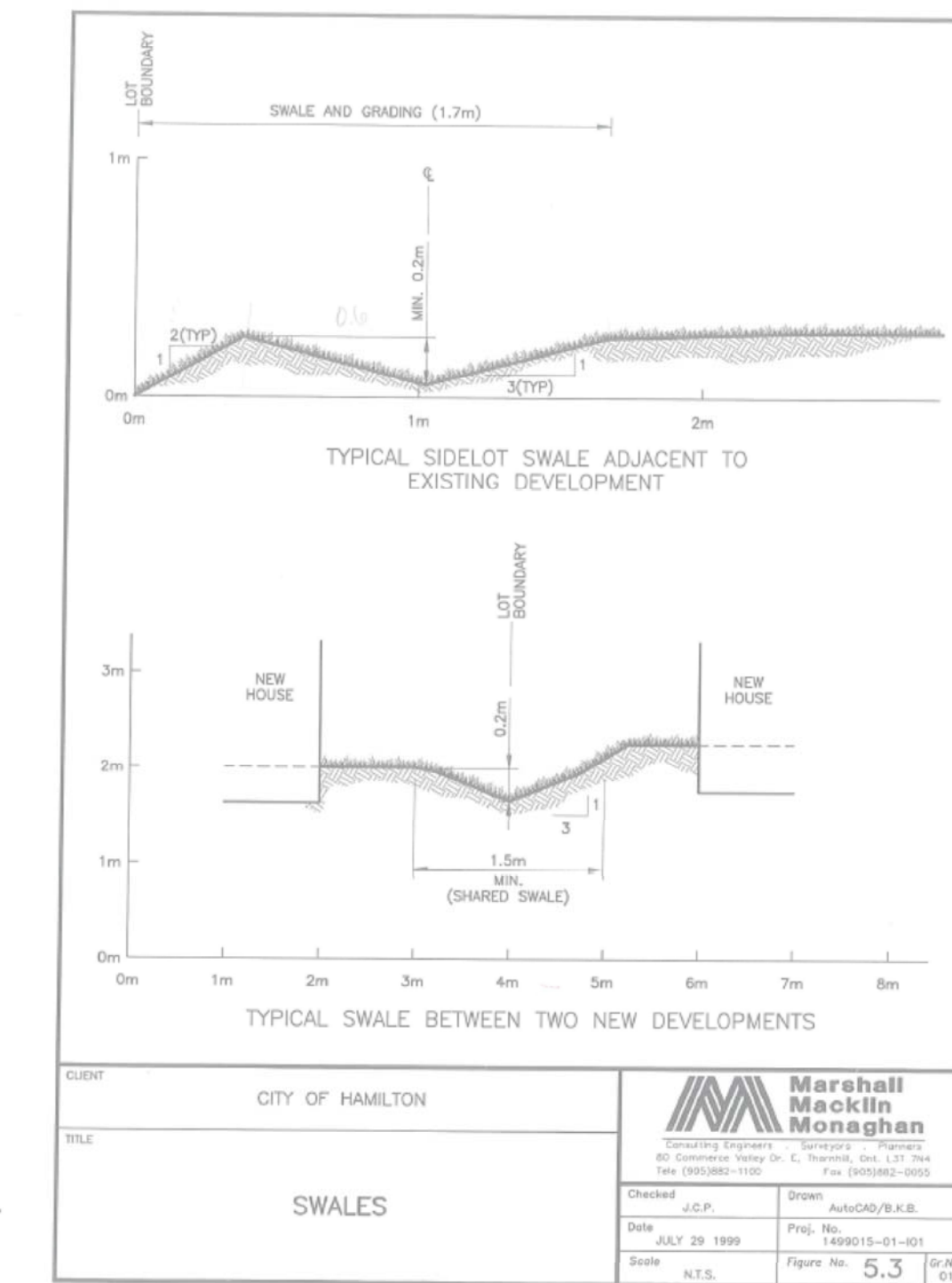
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*VARIANCE REQUIRED

BUILDING HEIGHT=PEAK (88.36) - CURB GRADE(76.87)=11.49m.



NOTE: A All dimensions are in millimetres unless otherwise shown.	ONTARIO PROVINCIAL STANDARD DRAWING Nov 2015 Rev 2
LIGHT-DUTY SILT FENCE BARRIER	OPSD 219.110



UNDERTAKING:

RE: SITE PLAN CONTROL APPLICATION FOR 174 BEACH BOULEVARD

FILE No. DAB-19-151

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Dated this _____ day of _____

Witness (signature) _____ Owner(s) (signature) _____

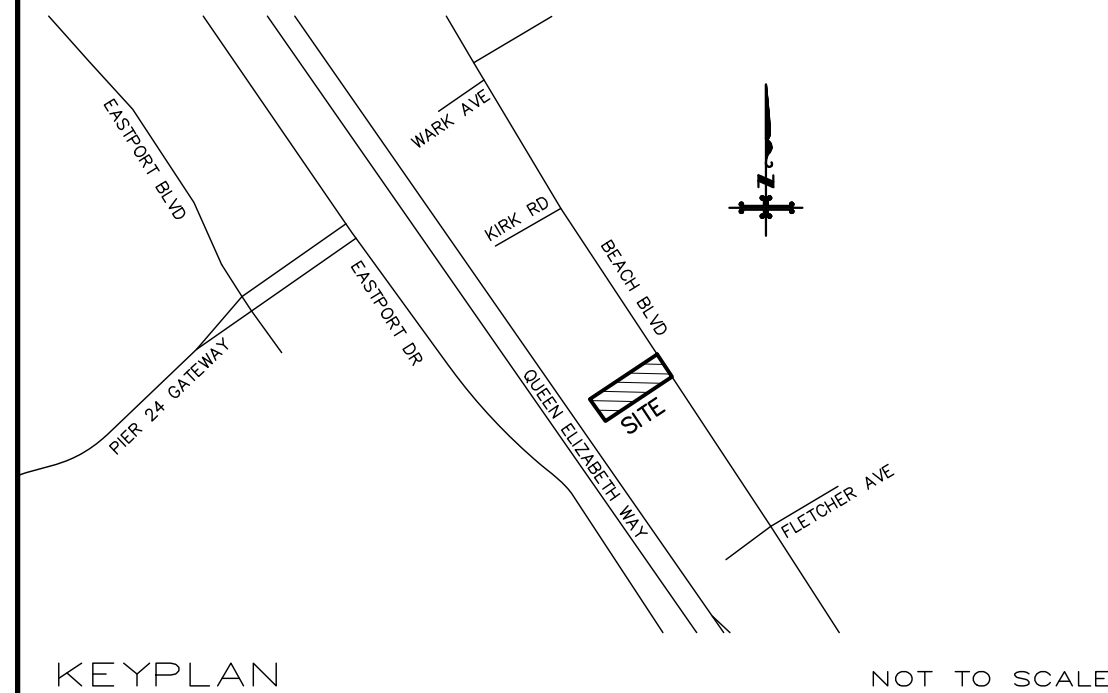
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174 BEACH BOULEVARD
GRADING PLAN FOR BUILDING PERMIT
FILE: DAB-19-151



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**PART OF BURLINGTON BEACH
WEST SIDE BEACH BOULEVARD
(UNREGISTERED)**
(GEOGRAPHIC TOWNSHIP OF SALT FLEET)
NOW IN THE
CITY OF HAMILTON
SCALE 1 : 200

MacKay, MacKay & PETERS LIMITED - ONTARIO LAND SURVEYORS
© 2021

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 - ATM DENOTES GRADING BY A.T. McLAREN
 - 31125-SG DATED JULY 27, 2017

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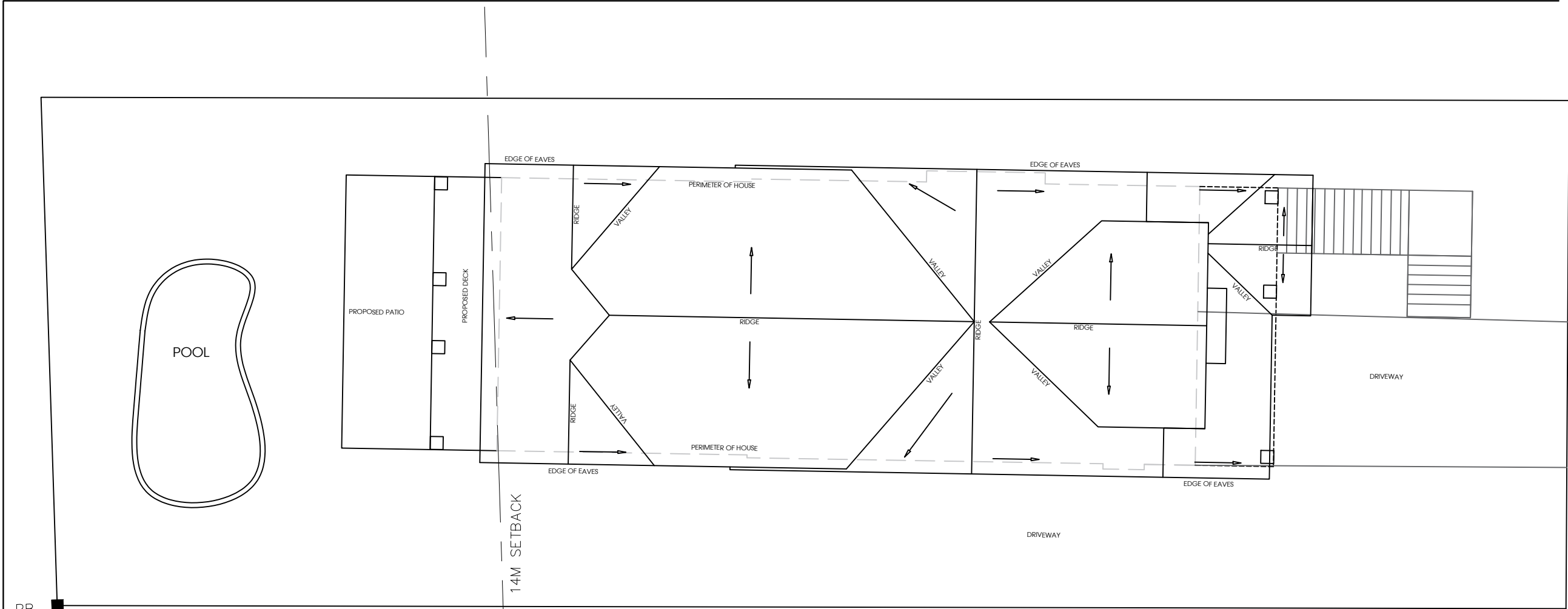
MAY 3, 2021
DATE _____

No.	DATE	REVISIONS
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9	MARCH 3, 2021	REVISED AS PER CLIENT AND CITY COMMENTS
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7	FEBRUARY 18, 2021	REVISED AS PER CITY COMMENTS
6	FEBRUARY 9, 2021	ADDED DRIVEWAY DIMENSIONS
5	JANUARY 28, 2021	ADDED LANDSCAPED AREA PERCENTAGE
4	NOVEMBER 18, 2020	ADDRESSED ZONING COMMENTS
3	NOVEMBER 03, 2020	ADDRESSED CITY COMMENTS
2	JULY 23, 2020	SITE PLAN DESIGN REVISED
1	MAY 15, 2019	SITE PLAN COMPLETED

MMP
Mackay, MacKay & Peters Limited
LAND SURVEYORS & MAPPERS
SINCE 1906

3380 South Service Road
Unit 101
Burlington, ON
L7N 3J5
(905) 639-1375
halton@mmplimited.com
mmplimited.com

CAD FILE: E:\(62) Hamilton-Westworth\TWP\ SALT FLEET\BURLINGTON BEACH\19-009\19-009-SP	DRAWN BY: A.R./M.S.	CHECKED BY: D.R.	PROJECT No. 19-009-SP	DWG. No. 1
--	---------------------	------------------	-----------------------	------------



PB

1 SITE PLAN
ID1 SCALE: 1/16" = 1'-0"

UNPROTECTED OPENINGS ANALYSIS

NORTH FACE		Opening MS # of Openings Total Areas			
MS Area	209.76	Existing Window	0.89	4.00	3.57
Limiting Distance	2.5	Existing Window	2.72	2.00	5.43
Percentage Allowed	9.00%	Existing Window	3.79	1.00	3.79
Permissible Area (MS)	18.88	Existing Window	5.17	1.00	5.17
		Existing Window	0.46	1.00	0.46
		Proposed Window N1	3.12	1.00	3.12
Proposed Area	21.54				21.54
Requires Variance					
SOUTH FACE					
MS Area	209.76	Proposed Window S1	3.71	3.00	11.12
Limiting Distance	4.5	Proposed Window S2	0.89	3.00	2.68
Percentage Allowed	15.00%	Proposed Door S3	3.62	1.00	3.62
Permissible Area (MS)	31.46	Existing Window	0.84	3.00	2.51
		Existing Window	0.89	1.00	0.89
		Existing Window	0.69	2.00	1.38
		Existing Window	0.46	1.00	0.46
Actual Area	22.66				22.66
EAST (street facing)					
MS Area	66.08	Proposed Garage Door E1	11.71	1.00	11.71
Limiting Distance	8.01	Existing Window	3.96	1.00	3.96
Percentage Allowed	70.00%	Existing Door	3.67	1.00	3.67
Permissible Area (MS)	46.26	Existing Windows	0.84	2.00	1.67
		Proposed Door E2	2.08	1.00	2.08
Actual Area	23.09				23.09
WEST FACE					
MS Area	84.05	Proposed Patio Doors W1			
Limiting Distance	14		38.90	9.00	350.10
Percentage Allowed	no limits				0.00
					0.00
					0.00
					0.00
					0.00
Actual Area	32.53717472				0.00
Permissible Area (MS)	no limits				350.10

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--	AG	11/08/20	COMM OF ADJUSTMENTS
--	KH	07/06/21	COMM OF ADJUSTMENTS

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Angelo Gatti

B.C.I.N 30263

Registration Information
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Baudit Interior Design

B.C.I.N. 108411

BAUDIT

INTERIOR DESIGN

3077 NEW ST, SUITE 101
BURLINGTON, ONTARIO L7N 1M6
905 335 9828 info@baudit.ca
www.baudit.ca

project

APANASHK RESIDENCE
174 BEACH BLVD
HAMILTON, ONT

drawing title

SITE PLAN

date22/08/19project no.18-058

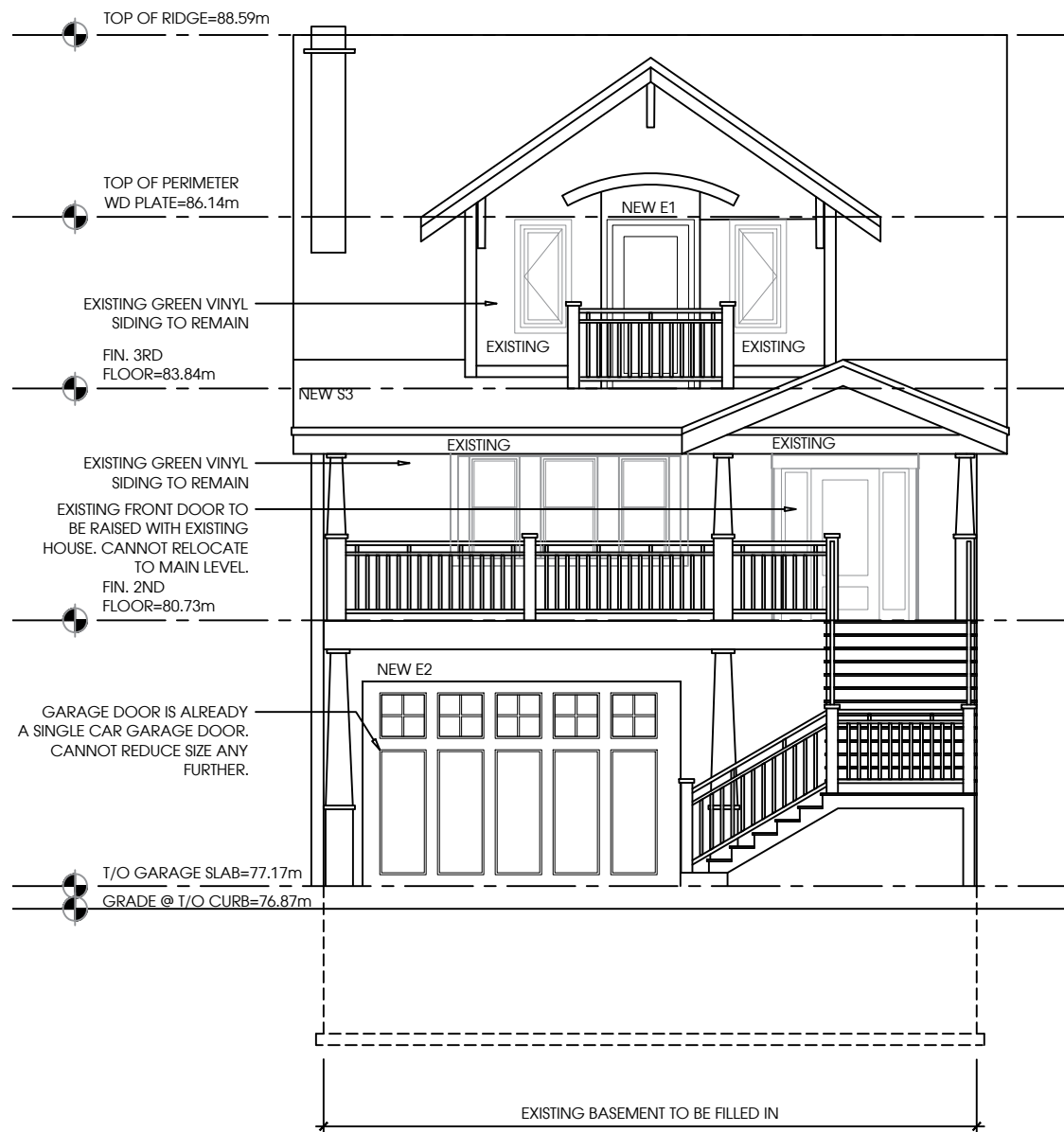
drawn byKHchecked byAG

north

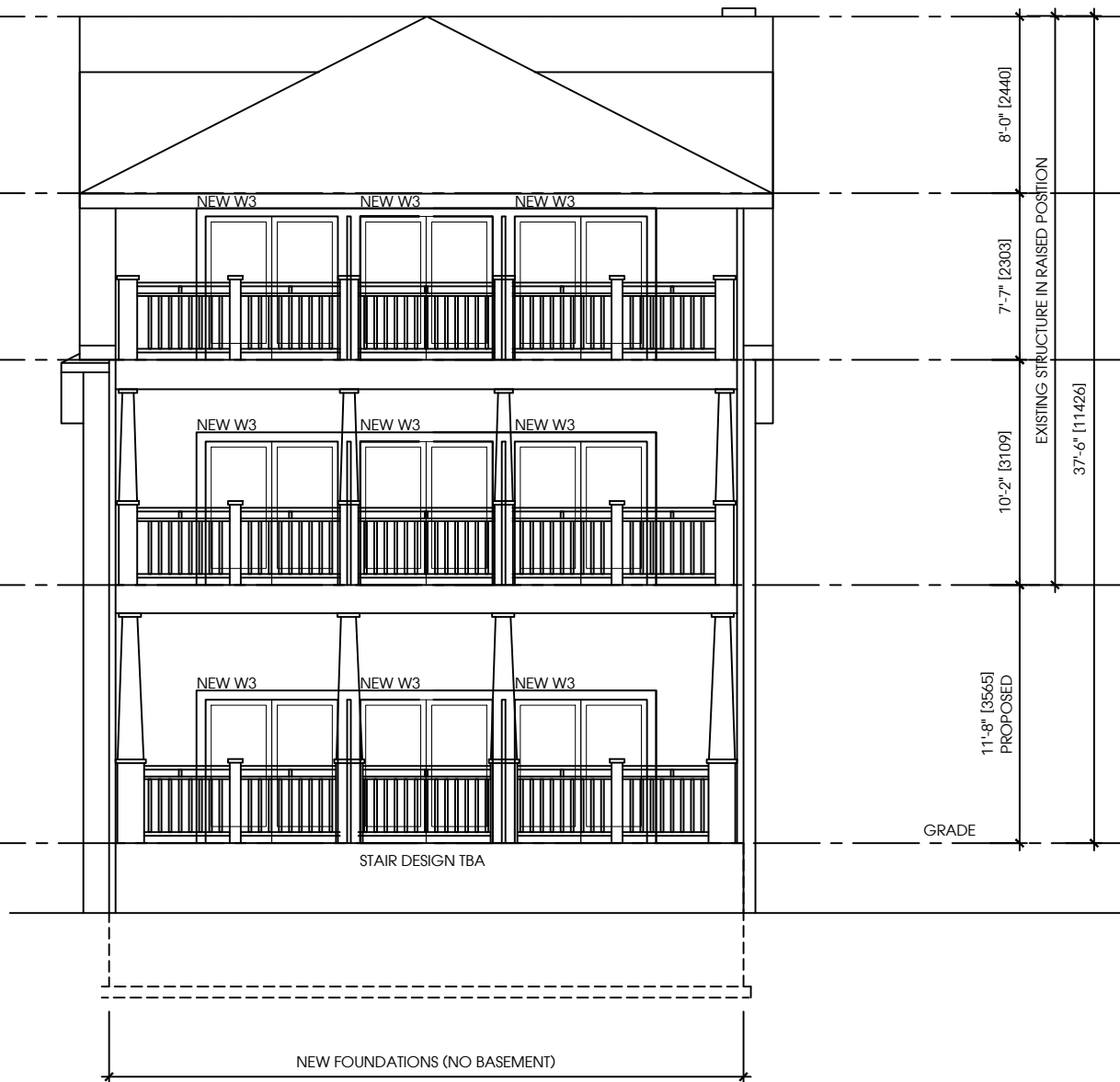
N

scaleAS NOTED

drawing no.ID1



1 EAST EXTERIOR ELEVATION
ID2 SCALE: 1/8" =1'-0"



2 WEST EXTERIOR ELEVATION
ID2 SCALE: 1/8" =1'-0"

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DAB-19-151

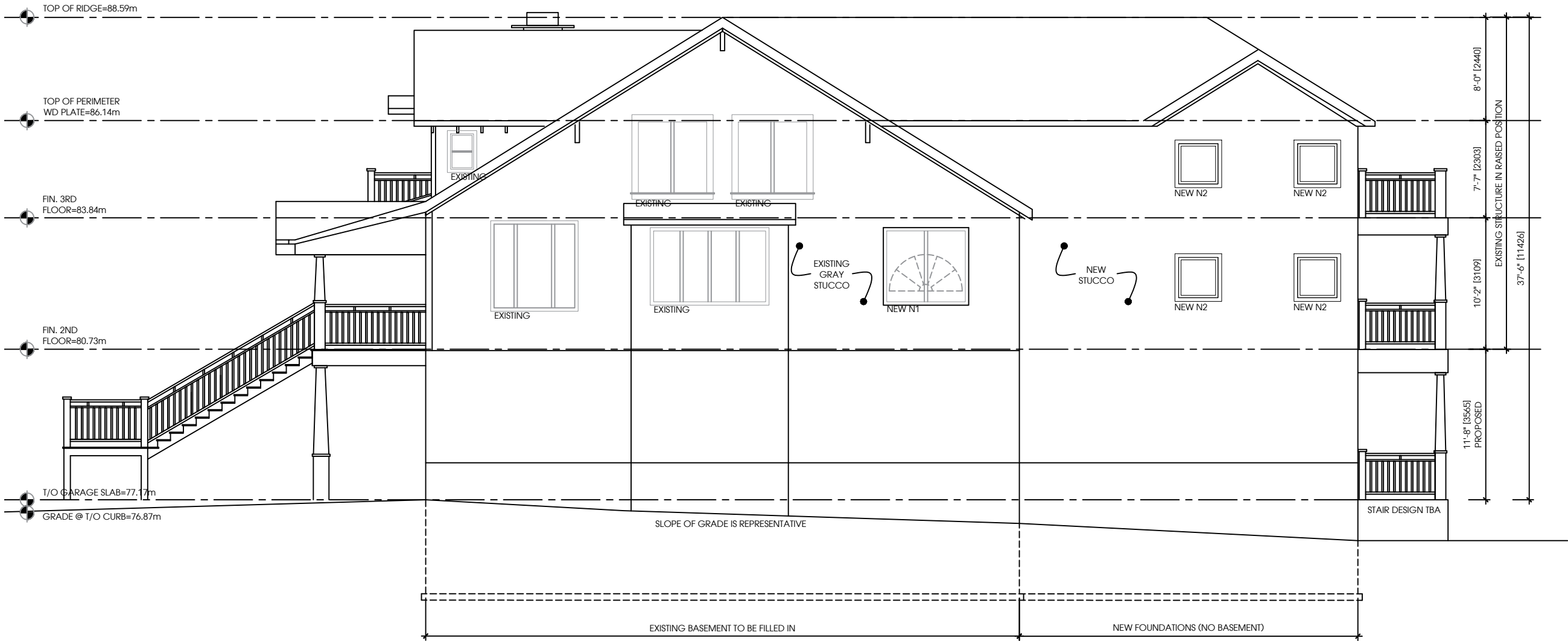
project

APANASHK RESIDENCE
174 BEACH BLVD
HAMILTON, ONT

drawing title

EXTERIOR ELEVATIONS

date	22/08/19	project no.	18-058
drawn by	KH	checked by	AG
north		scale	AS NOTED
		drawing no.	ID2



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B.C.I.N. 108411

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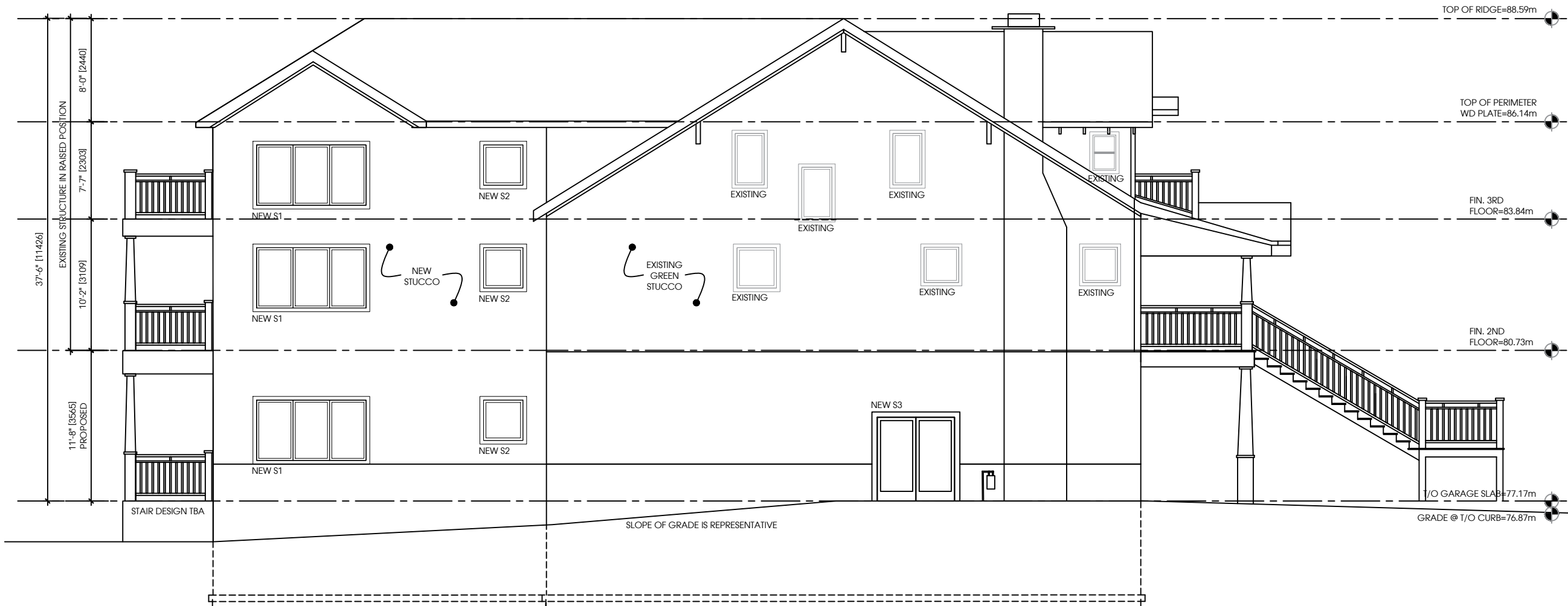
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905 335 9828 info@baudit.ca
www.baudit.ca

DAB-19-151

project
APANASHK RESIDENCE
174 BEACH BLVD
HAMILTON, ONT

drawing title
EXTERIOR ELEVATIONS

date	22/08/19	project no.	18-058
drawn by	KH	checked by	AG
north		scale	AS NOTED
		drawing no.	ID3



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B.C.I.N. 108411

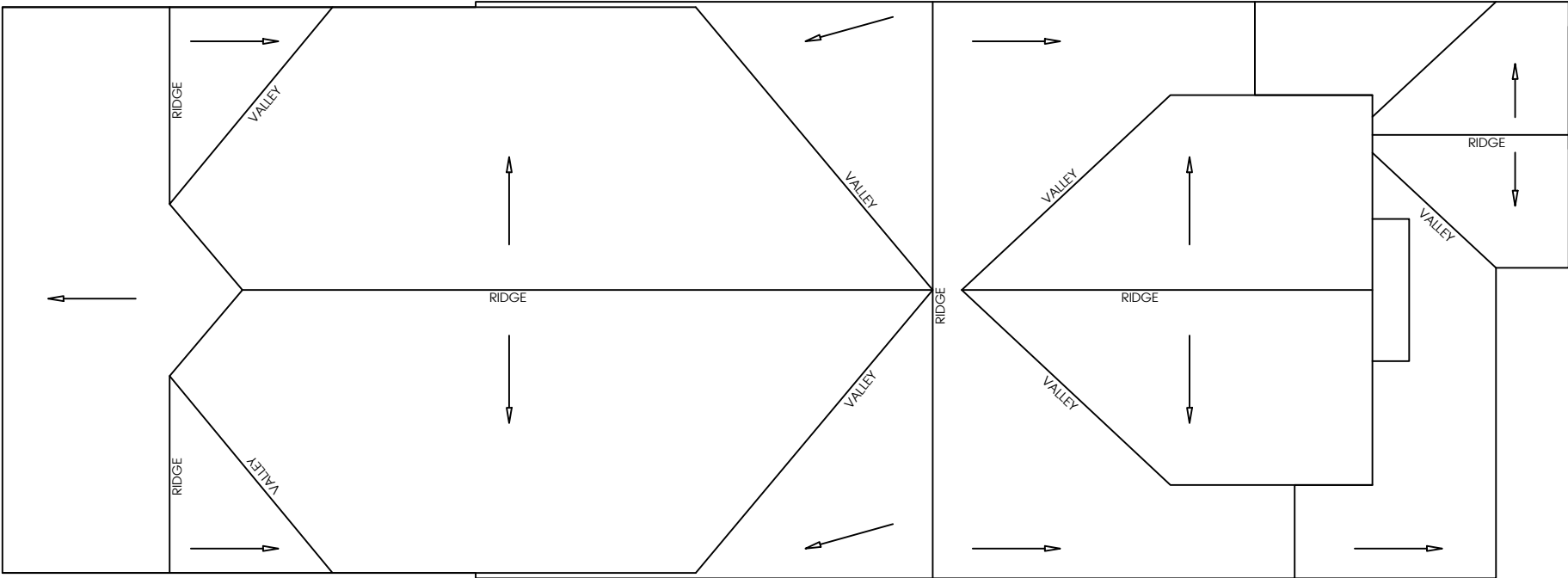
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INTERIOR DESIGN

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905 335 9828 info@baudit.ca
www.baudit.ca

project
APANASHK RESIDENCE
174 BEACH BLVD
HAMILTON, ONT

drawing title
SOUTH EXTERIOR ELEVATION

date	22/08/19	project no.	18-058
drawn by	KH	checked by	AG
north		scale	AS NOTED
		drawing no.	ID4



1 ROOF PLAN
ID5 SCALE: 1/8" =1'-0"

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Baudit Interior Design

B.C.I.N. 108411

BAUDIT

INTERIOR DESIGN

3 0 7 7 N E W S T, S U I T E 1 0 1
BURLINGTON, ONTARIO L7N 1M6
905 335 9828 info@baudit.ca
w w w . b a u d i t . c a

project


APANASHK RESIDENCE
174 BEACH BLVD
HAMILTON, ONT

drawing title

ROOF PLAN

date04/20/2018

drawn byM.PARSONS

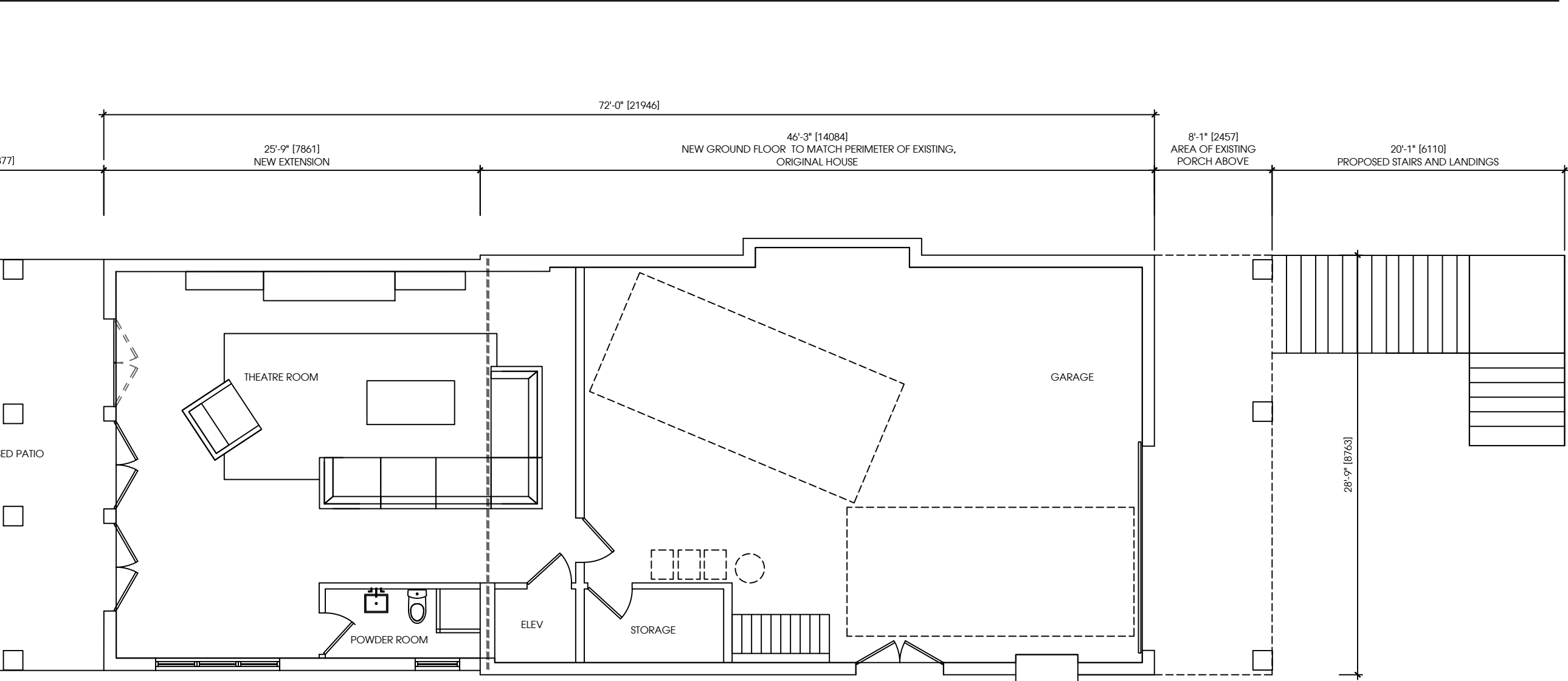
north

project no. PROJECT

checked byE.McCARTHY

scaleAS NOTED

drawing no. ID5



1
ID6

GROUND FLOOR
SCALE: 1/8" = 1'-0"

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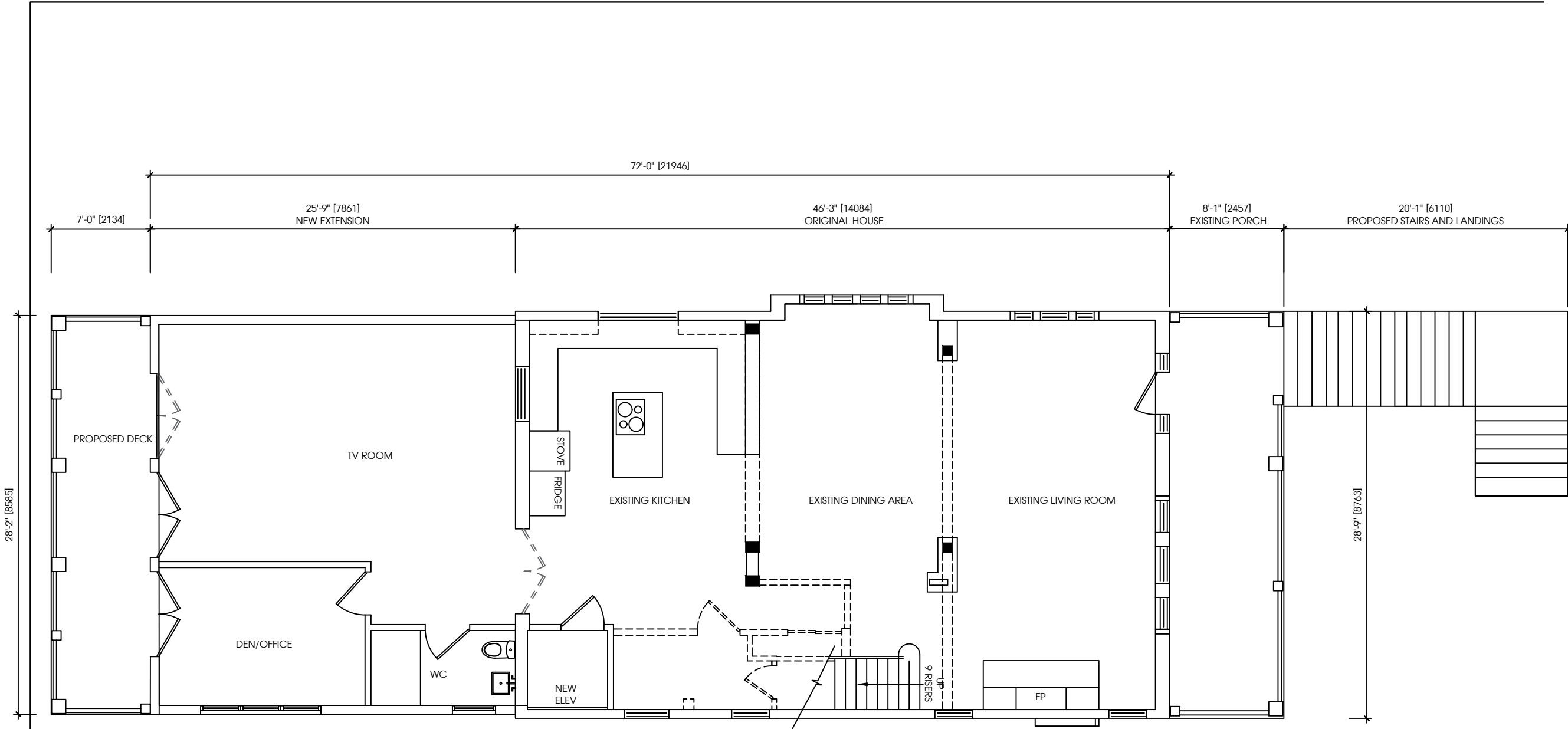
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Registration Information	
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Baudit Interior Design	B.C.I.N. 108411

BAUDIT
INTERIOR DESIGN

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BURLINGTON, ONTARIO L7N 1M6
905 335 9828 info@baudit.ca
www.baudit.ca

project	
APANASHK RESIDENCE 174 BEACH BLVD HAMILTON, ONT	
drawing title	
GROUND FLOOR	
date	project no.
04/20/2018	PROJECT
drawn by	checked by
M.PARSONS	E.McCARTHY
north	scale
	AS NOTED
	drawing no.
	ID6



1 SECOND FLOOR
ID7 SCALE: 1/8"=1'-0"

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Angelo Gatti 8.C.I.N 30263

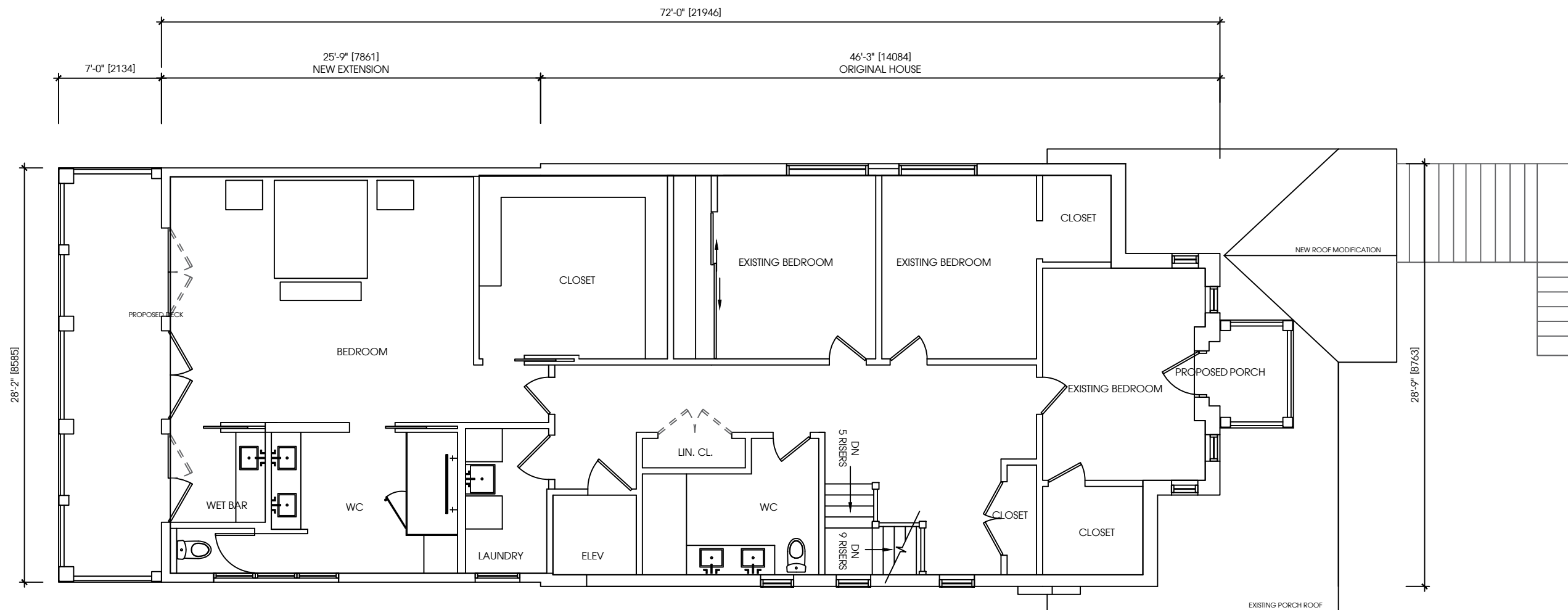
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BAUDIT
INTERIOR DESIGN

3077 NEW ST, SUITE 101
BURLINGTON, ONTARIO L7N 1M6
905 335 9828 info@baudit.ca
www.baudit.ca

project			
APANASHK RESIDENCE 174 BEACH BLVD HAMILTON, ONT			
drawing title			
SECOND FLOOR			
date	04/20/2018	project no.	PROJECT
drawn by	M.PARSONS	checked by	E.McCARTHY
north		scale	AS NOTED
		drawing no.	ID7



1 THIRD FLOOR
ID8 SCALE: 1/8" = 1'-0"

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BURLINGTON, ONTARIO L7N 1M6
905 335 9828 info@baudit.ca
www.baudit.ca

project

APANASHK RESIDENCE
174 BEACH BLVD
HAMILTON, ONT

drawing title

THIRD FLOOR

date	04/20/2018	project no.	PROJECT
drawn by	M. PARSONS	checked by	E. McCARTHY
north	scale		AS NOTED
drawing no.		ID 8	



Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

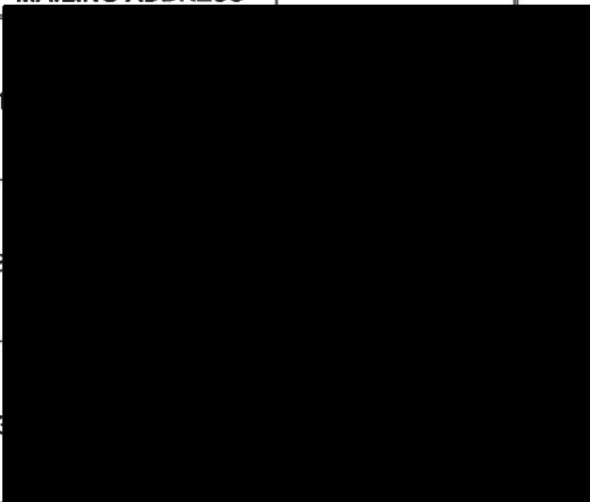
PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)	JOHN APANASHK LORRAINE APANASHK	
Applicant(s)*	KELSEY HAMMERTON	
Agent or Solicitor	KELSEY HAMMERTON	

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:
- Scotia Bank
547 Brant St,
Burlington, ON L7R 2G6

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

3 STOREY HOUSE WHERE ONLY 2.5 STOREY IS ALLOWED
2 CARS PARKING IN FRONT OF GARAGE WHERE 1 IS ALLOWED

☐ Secondary Dwelling Unit ☒ Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

2 CARS, INCLUDING MANEUVERING SPACE, DOES NOT FIT WITHIN GARAGE.
ONE SPACE REQUIRED IN FRONT OF GARAGE, ONE SPACE REQUIRED TO THE
SIDE OF THE GARAGE. HEIGHT OF HOUSE PREVIOUSLY APPROVED IN MINOR
VARIANCE CASE HM/A-20:175, BUT NOW REQUIRE APPROVAL FOR 3 STOREY
HEIGHT.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

174 BEACH BLVD, HAMILTON, ON
PIN 017571-0155

7. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☐ Other ☐

Other _____

- 8.1 If Industrial or Commercial, specify use _____

- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☒ Unknown ☐

- 8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☒ Unknown ☐

- 8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Historical Record

- 8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☐

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application

June 4, 2021

Date

John Apanashk

Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage	15.98m
Depth	48.02m
Area	762.8 sq m
Width of street	

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:

GROUND FLOOR - 1,554 SQ FT
SECOND FLOOR - 1,100 SQ FT
GROSS FLOOR AREA - 2,656 SQ FT
+/- 60'-7"L x 29'-6"W x 26'-7"H

Proposed

LOWER LEVEL - 1,900 SQ FT (INCL. GARAGE)
GROUND FLOOR - 1,932 SQ FT
SECOND FLOOR - 1,833 SQ FT
GROSS FLOOR AREA - 5,665 SQ FT (INCL. GARAGE)

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

FRONT LOT - 9m TO LOT LINE
NORTH SIDE LOT - 2.74m TO LOT LINE
SOUTH SIDE LOT - 4.48m TO LOT LINE
REAR LOT - 16m TO LOT LINE

Proposed:

FRONT LOT - 9m TO LOT LINE
NORTH SIDE LOT - 2.74m TO LOT LINE
SOUTH SIDE LOT - 4.48m TO LOT LINE
REAR LOT - 14.1m TO LOT LINE

13. Date of acquisition of subject lands:
-
14. Date of construction of all buildings and structures on subject lands:
1911
-
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
RESIDENTIAL
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
Single family
17. Length of time the existing uses of the subject property have continued:
18. Municipal services available: (check the appropriate space or spaces)
- | | | | |
|----------------|-------------------------------------|-----------|-------------------------------------|
| Water | <input checked="" type="checkbox"/> | Connected | <input checked="" type="checkbox"/> |
| Sanitary Sewer | <input checked="" type="checkbox"/> | Connected | <input checked="" type="checkbox"/> |
| Storm Sewers | <input checked="" type="checkbox"/> | | |
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
21. Has the owner previously applied for relief in respect of the subject property?
Yes ☐ No ☒
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes ☐ No ☒
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.