

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-21:192

APPLICANTS: Agent Rock Kim
Owner Jay Trefethen

SUBJECT PROPERTY: Municipal address **104 Spadina Ave., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: "C" (Urban Protected Residential, etc.) district

PROPOSAL: To permit the construction of a new third storey dormer addition and to convert the existing single family dwelling to contain a secondary dwelling unit notwithstanding that:

1. A height of three (3) storeys shall be provided instead of the maximum permitted building height of 2.5 storeys.
2. A northerly side yard width of 0.6m shall be provided instead of the minimum required side yard width of 1.2m

NOTES:

- i. Please be advised that eaves and gutters are permitted to project into a required side yard not more than one-half of its width or 1.0m, whichever is the lesser. The distance of any proposed eave and gutter projections have not been provided in order to determine zoning compliance and as such, further variances may be required if compliance cannot be achieved.

This application will be heard by the Committee as shown below:

DATE: Thursday, August 12th, 2021
TIME: 2:50 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: July 27th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

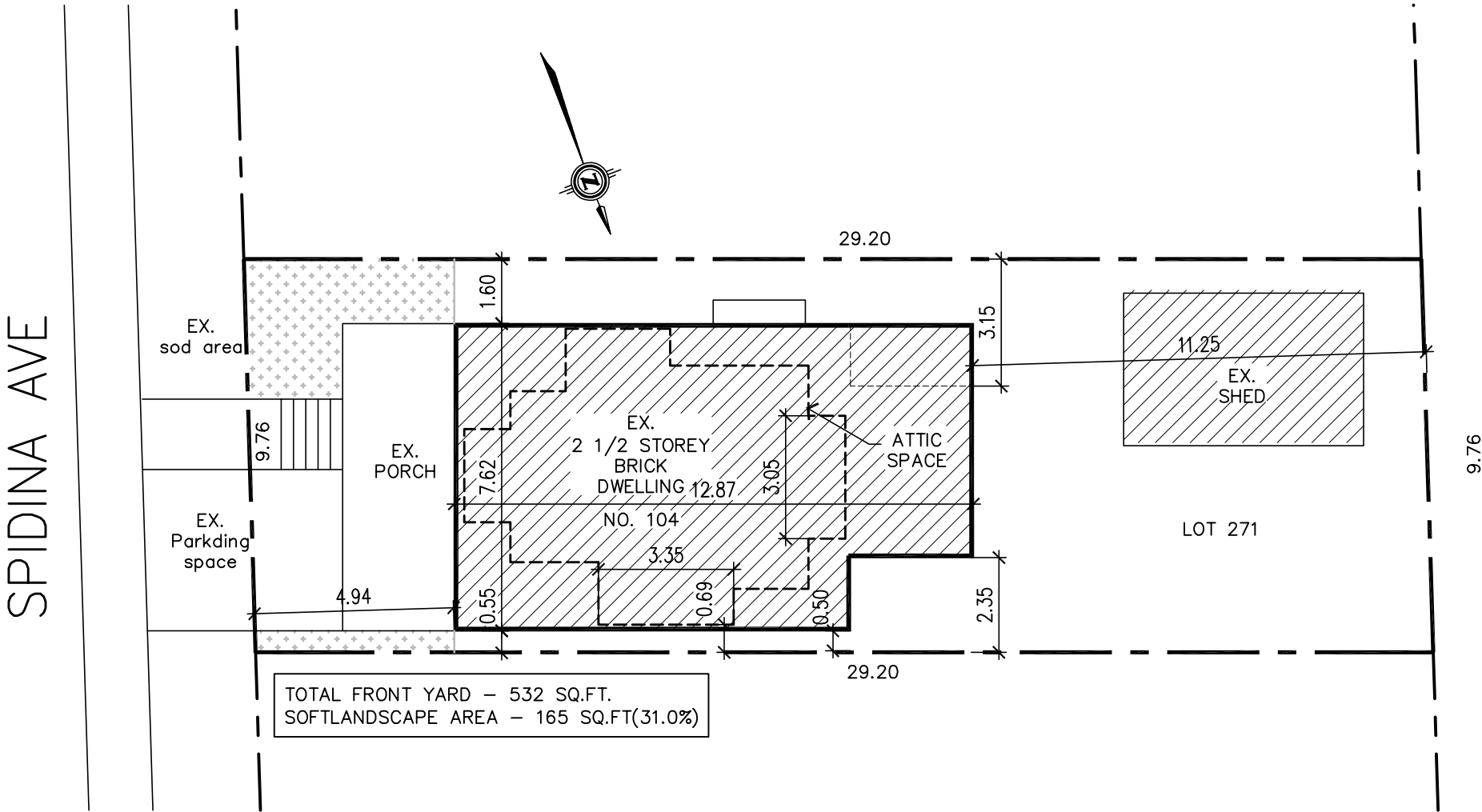
Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

PLAN SHOWS

LOT 271

REGISTERED PLAN 448

CITY OF HAMILTON



SITE DATA

LOT Area	284.73 Sq.m
Existing building area	
Ground floor area	93.83 Sq.m
Porch area	21.08 Sq.m
Second floor area	90.12 Sq.m
Shed area	22.29 Sq.m
Third floor area	49.39 Sq.m

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under 3.2.5.1 of the building code

ROCK KIM 36340

Name BCIN#

Signature JAN. 16, 2021

Date

REGISTRATION INFORMATION

Required unless design is exempt under 3.2.4.1 of the building code

ROCKIM DESIGN INC. 45379

Firm Name BCIN#

GENERAL NOTES:

This drawing, as an instrument of service, is provided by and is the property of the DESIGNER. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the DESIGNER of any variations from the supplied information. The Designer is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., engineering information shown on this drawing. Refer to the appropriated engineering drawings before proceeding with the work. Construction must conform to all applicable codes and requirement of authorities having jurisdiction. This drawing is not to be scaled.

REVISIONS		
No.	DESCRIPTION	DATE BY
1		
2		
3		
4		

PROJECT

PROPOSED
INTERIOR ALTEARTION
+ DORMER ADDITION

104 SPADINA AVENUE
HAMILTON, ON

DRAWING TITLE

SITE PLAN

DRAWN BY

R.K.

CHECKED BY

SCALE

1:150

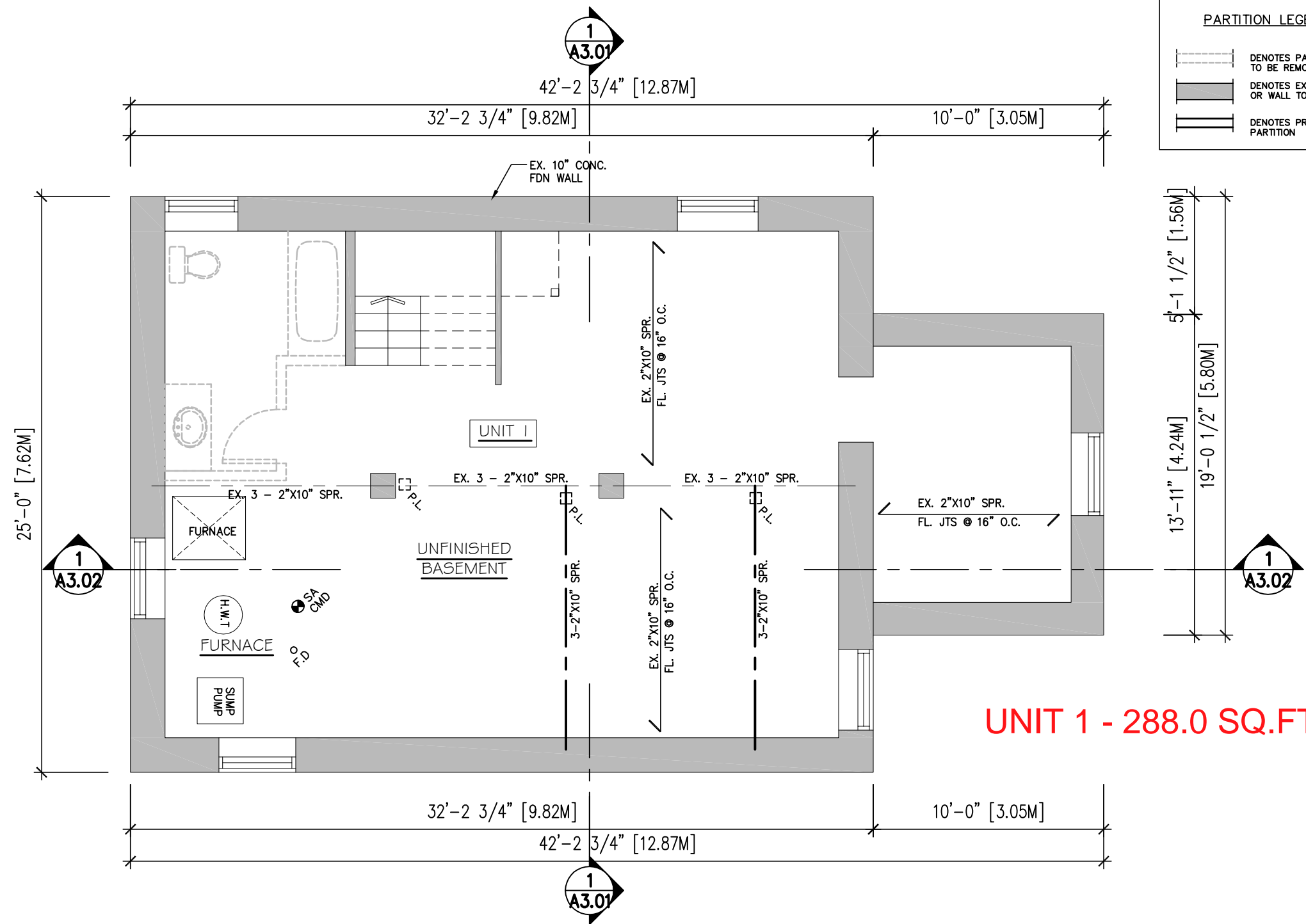
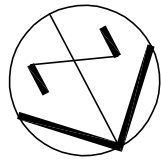
DATE

JAN., 2021

PROJECT NUMBER

DRAWING NUMBER

A0.01



PARTITION LEGEND	
	DENOTES PARTITION OR WALL TO BE REMOVED
	DENOTES EXISTING PARTITION OR WALL TO REMAIN
	DENOTES PROPOSED INTERIOR PARTITION

WOOD LINTEL SCHEDULE	
(2-PLY WOOD MEMBERS)	
W1	= 2-2" X 8" SPRUCE No.1
W2	= 2-2" X 10" SPRUCE No.1
W3	= 2-2" X 12" SPRUCE No.1
(3-PLY WOOD MEMBERS)	
W4	= 3-2" X 8" SPRUCE No.1
W5	= 3-2" X 10" SPRUCE No.1
W6	= 3-2" X 12" SPRUCE No.1
(LVL- 20 f-E Grade)	
W7	= 1 3/4" X 9 1/2" LVL
W8	= 1 3/4" X 11 7/8" LVL
W9	= 1 3/4" X 14" LVL
W10	= 1 3/4" X 16" LVL

STEEL LINTEL SCHEDULE	
L1	= L- 3 1/2" X 3 1/2" X 1/4"
L2	= L- 4" X 3 1/2" X 5/16"
L3	= L- 5" X 3 1/2" X 5/16"
L4	= L- 5" X 3 1/2" X 3/8"
L5	= L- 6" X 4" X 3/8"
L6	= 3-15M REBARS

UNIT 1 - 288.0 SQ.FT.

1

A1.01

BASEMENT FLOOR PLAN

SCALE: 3/16"=1'-0"

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under 3.2.5.1 of the building code

ROCK KIM

36340

BCIN#

Signature

JAN. 16, 2021

Date

REGISTRATION INFORMATION

Required unless design is exempt under 3.2.4.1 of the building code

ROCKIM DESIGN INC.

45379

BCIN#

Firm Name

36340

BCIN#

JAN. 16, 2021

Date

45379

BCIN#

GENERAL NOTES:			
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REVISIONS			
No.	DESCRIPTION	DATE	BY

PROJECT

PROPOSED
INTERIOR ALTEARTION
+ DORMER ADDITION

104 SPADINA AVENUE
HAMILTON, ON

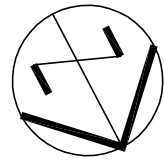
DRAWING TITLE

FLOOR PLAN

DRAWN BY	R.K.
CHECKED BY	
SCALE	AS NOTED
DATE	JAN., 2021
PROJECT NUMBER	

DRAWING NUMBER

A1.01



UNIT 1 ENTRANCE

UNIT 2 ENTRANCE

PARTITION LEGEND

	DENOTES PARTITION OR WALL TO BE REMOVED
	DENOTES EXISTING PARTITION OR WALL TO REMAIN
	DENOTES PROPOSED INTERIOR PARTITION

WOOD LINTEL SCHEDULE
(2-PLY WOOD MEMBERS)

W1 = 2-2" X 8" SPRUCE No.1
W2 = 2-2" X 10" SPRUCE No.1
W3 = 2-2" X 12" SPRUCE No.1

(3-PLY WOOD MEMBERS)

W4 = 3-2" X 8" SPRUCE No.1
W5 = 3-2" X 10" SPRUCE No.1
W6 = 3-2" X 12" SPRUCE No.1

(LVL- 20 f-E Grade)

W7 = 1 3/4" X 9 1/2" LVL
W8 = 1 3/4" X 11 7/8" LVL
W9 = 1 3/4" X 14" LVL
W10 = 1 3/4" X 16" LVL

STEEL LINTEL SCHEDULE

L1 = L- 3 1/2" X 3 1/2" X 1/4"
L2 = L- 4" X 3 1/2" X 5/16"
L3 = L- 5" X 3 1/2" X 5/16"
L4 = L- 5" X 3 1/2" X 3/8"
L5 = L- 6" X 4" X 3/8"
L6 = 3-15M REBARS

1
A1.02

GROUND FLOOR PLAN

SCALE: 3/16"=1'-0"

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Required unless design is exempt under 3.2.5.1 of the building code

ROCK KIM 36340
Name BCIN#

Signature JAN. 16, 2021
Date

Required unless design is exempt under 3.2.4.1 of the building code

ROCKIM DESIGN INC. 45379
Firm Name BCIN#

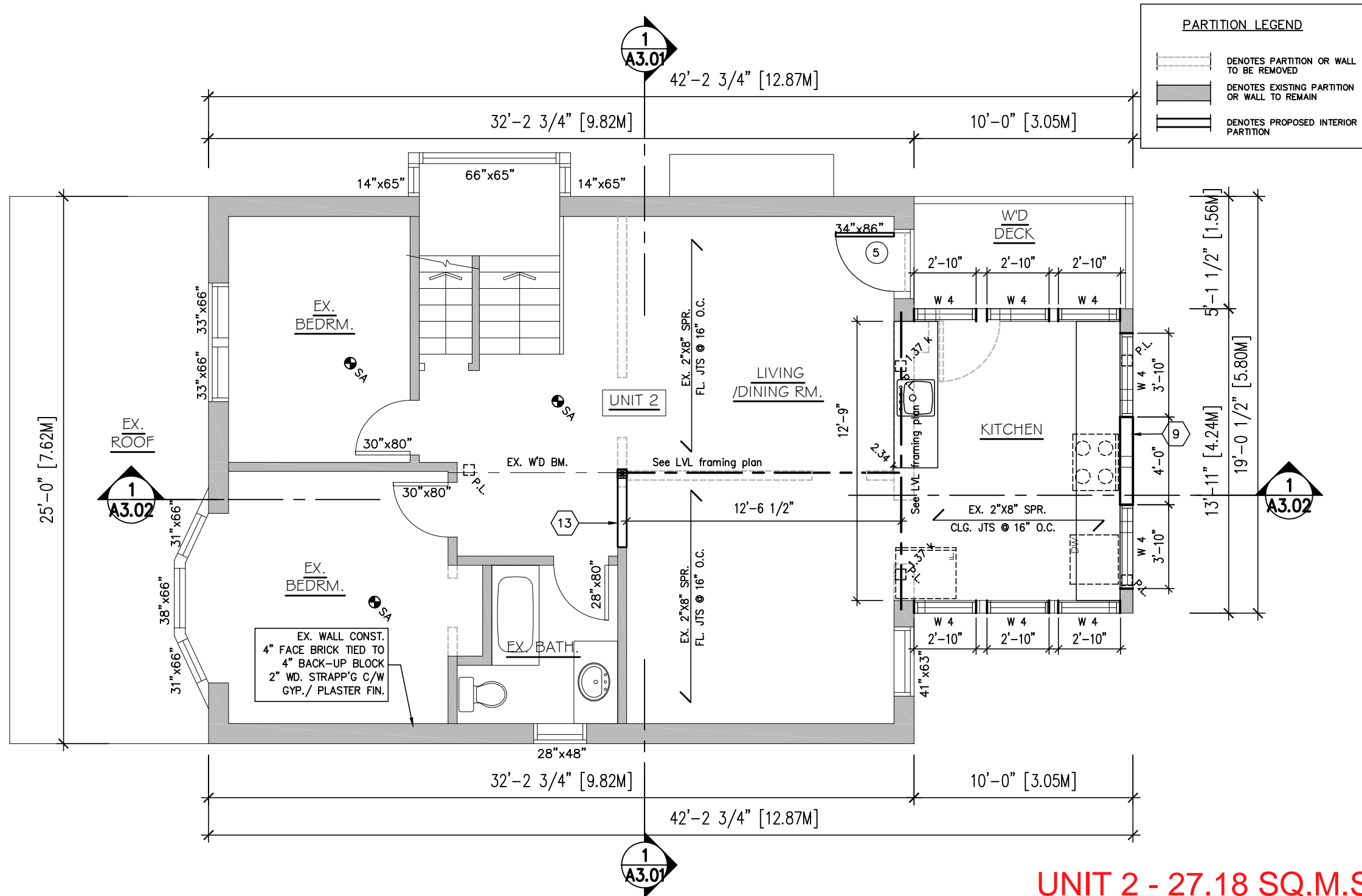
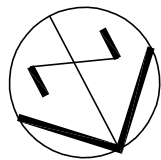
REVISIONS			
No.	DESCRIPTION	DATE	BY

PROJECT
PROPOSED
INTERIOR ALTEARTION
+ DORMER ADDITION
104 SPADINA AVENUE
HAMILTON, ON

DRAWING TITLE
FLOOR PLAN

DRAWN BY
R.K.
CHECKED BY
AS NOTED
DATE
JAN., 2021
PROJECT NUMBER

A1.02



PARTITION LEGEND

- DENOTES PARTITION OR WALL TO BE REMOVED
- DENOTES EXISTING PARTITION OR WALL TO REMAIN
- DENOTES PROPOSED INTERIOR PARTITION

WOOD LINTEL SCHEDULE

(2-PLY WOOD MEMBERS)

W1 = 2-2" X 8" SPRUCE No.1

W2 = 2-2" X 10" SPRUCE No.1

W3 = 2-2" X 12" SPRUCE No.1

(3-PLY WOOD MEMBERS)

W4 = 3-2" X 8" SPRUCE No.1

W5 = 3-2" X 10" SPRUCE No.1

W6 = 3-2" X 12" SPRUCE No.1

(LVL- 20 f-E Grade)

W7 = 1 3/4" X 9 1/2" LVL

W8 = 1 3/4" X 11 7/8" LVL

W9 = 1 3/4" X 14" LVL

W10 = 1 3/4" X 16" LVL

STEEL LINTEL SCHEDULE

L1 = L- 3 1/2" X 3 1/2" X 1/4"

L2 = L- 4" X 3 1/2" X 5/16"

L3 = L- 5" X 3 1/2" X 5/16"

L4 = L- 5" X 3 1/2" X 3/8"

L5 = L- 6" X 4" X 3/8"

L6 = 3-15M REBARS

UNIT 2 - 27.18 SQ.M.S

1 SECOND FLOOR PLAN

SCALE: 3/16"=1'-0"

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under 3.2.5.1 of the building code

ROCK KIM

36340

BCIN#

Signature

JAN. 16, 2021

Date

REGISTRATION INFORMATION

Required unless design is exempt under 3.2.4.1 of the building code

ROCKIM DESIGN INC.

45379

BCIN#

Firm Name

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REVISIONS

No.	DESCRIPTION	DATE	BY
1			
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PROJECT

PROPOSED
INTERIOR ALTEARTION
+ DORMER ADDITION

104 SPADINA AVENUE
HAMILTON, ON

DRAWING TITLE

FLOOR PLAN

DRAWN BY

R.K.

CHECKED BY

SCALE

AS NOTED

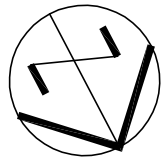
DATE

JAN., 2021

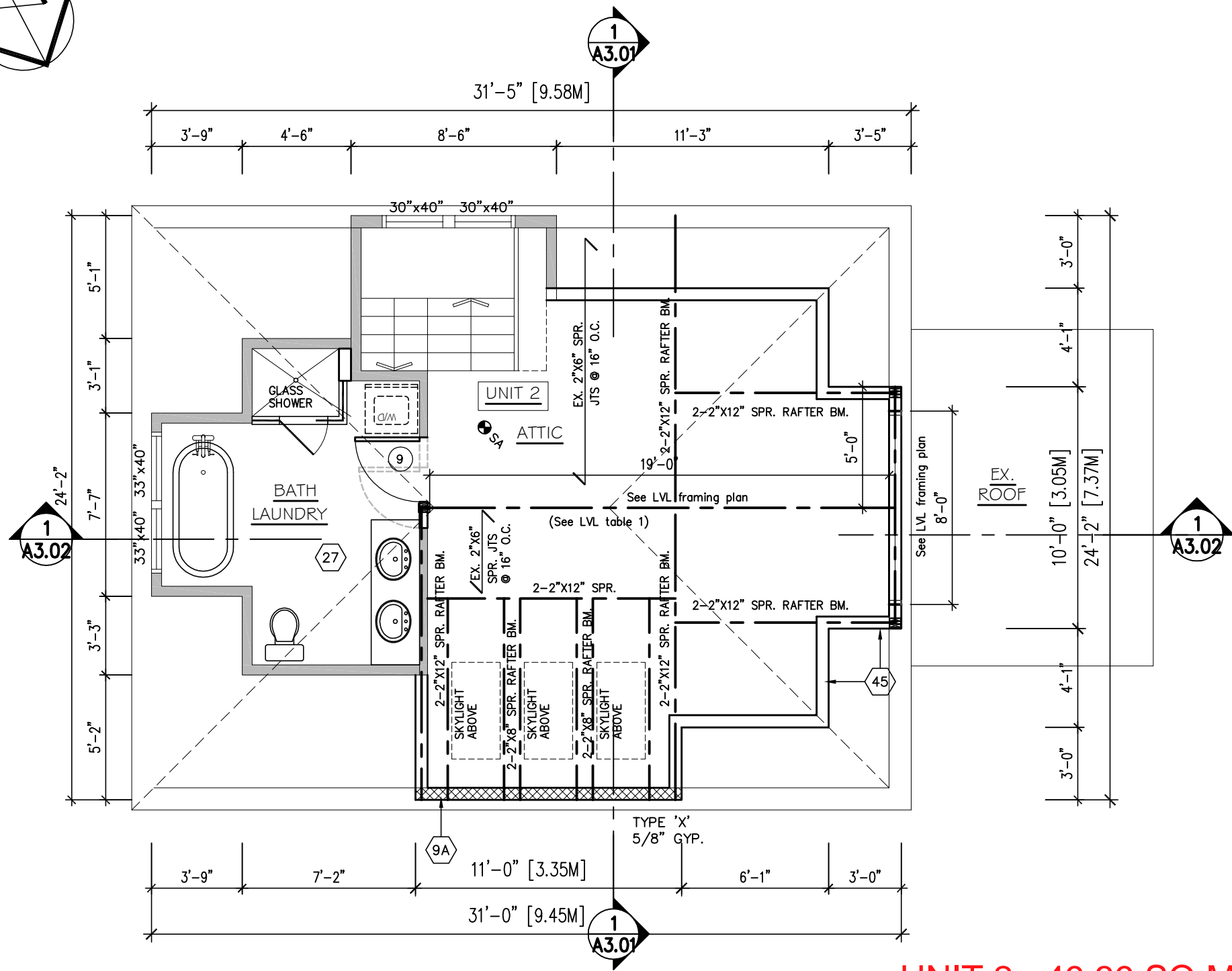
PROJECT NUMBER

A1.03

DRAWING NUMBER



PARTITION LEGEND	
	DENOTES PARTITION OR WALL TO BE REMOVED
	DENOTES EXISTING PARTITION OR WALL TO REMAIN
	DENOTES PROPOSED INTERIOR PARTITION



DOOR SCHEDULE

- 3'-0" X 7'-6" SOLID WOOD CUSTOM FRONT DOOR OPERABLE FROM THE INTERIOR WITHOUT THE USE OF A KEY.(GLAZING AS SHOWN ON ELEVATION)
- 2'-10" X 7'-0" SOLID WOOD CUSTOM FRONT DOOR OPERABLE FROM THE INTERIOR WITHOUT THE USE OF A KEY.(GLAZING AS SHOWN ON ELEVATION)
- 3'-0" X 7'-0" X 1 3/4" METAL INSULATED EXT. TYPE DOOR(GLAZING AS SHOWN ON ELEVATION)
- 2'-10" X 7'-0" X 1 3/4" METAL INSULATED EXT. TYPE DOOR(GLAZING AS SHOWN ON ELEVATION)
- 2'-8" X 7'-0" X 1 3/4" METAL INSULATED EXT. TYPE DOOR(GLAZING AS SHOWN ON ELEVATION)
- 2'-6" X 7'-0" X 1 3/4" METAL INSULATED EXT. TYPE DOOR(GLAZING AS SHOWN ON ELEVATION)
- 3'-0" X 7'-0" X 1 3/8" HOLLOW CORE DOOR
- 2'-10" X 7'-0" X 1 3/8" HOLLOW CORE DOOR
- 2'-8" X 7'-0" X 1 3/8" HOLLOW CORE DOOR
- 2'-6" X 7'-0" X 1 3/8" HOLLOW CORE DOOR
- 2'-4" X 7'-0" X 1 3/8" HOLLOW CORE DOOR
- 2'-0" X 7'-0" X 1 3/8" HOLLOW CORE DOOR

ALL EXTERIOR DOORS, WINDOWS, AND SKYLIGHTS RESISTANCE TO FORCED ENTRY TO CONFORM WITH O.B.C. REQUIREMENTS SUBSECTION 9.6.6 AND 9.6.7

WOOD LINTEL SCHEDULE	
(2-PLY WOOD MEMBERS)	
W1 = 2-2" X 8"	SPRUCE No.1
W2 = 2-2" X 10"	SPRUCE No.1
W3 = 2-2" X 12"	SPRUCE No.1
(3-PLY WOOD MEMBERS)	
W4 = 3-2" X 8"	SPRUCE No.1
W5 = 3-2" X 10"	SPRUCE No.1
W6 = 3-2" X 12"	SPRUCE No.1
(LVL- 20 f-E Grade)	
W7 = 1 3/4" X 9 1/2"	LVL
W8 = 1 3/4" X 11 7/8"	LVL
W9 = 1 3/4" X 14"	LVL
W10 = 1 3/4" X 16"	LVL

STEEL LINTEL SCHEDULE	
L1 = L- 3 1/2" X 3 1/2" X 1/4"	
L2 = L- 4" X 3 1/2" X 5/16"	
L3 = L- 5" X 3 1/2" X 5/16"	
L4 = L- 5" X 3 1/2" X 3/8"	
L5 = L- 6" X 4" X 3/8"	
L6 = 3-15M REBARS	

UNIT 2 - 49.39 SQ.M.

1 ATTIC FLOOR PLAN

SCALE: 3/16"=1'-0"

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under 3.2.5.1 of the building code

ROCK KIM 36340

Signature: [Signature] BCIN#

JAN. 16, 2021 Date

REGISTRATION INFORMATION

Required unless design is exempt under 3.2.4.1 of the building code

ROCKIM DESIGN INC. 45379

Firm Name BCIN#

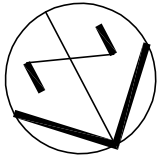
GENERAL NOTES:		
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REVISIONS		
No.	DESCRIPTION	DATE BY

PROJECT	PROPOSED INTERIOR ALTEARTION + DORMER ADDITION
DRAWING TITLE	104 SPADINA AVENUE HAMILTON, ON ROOF PLAN

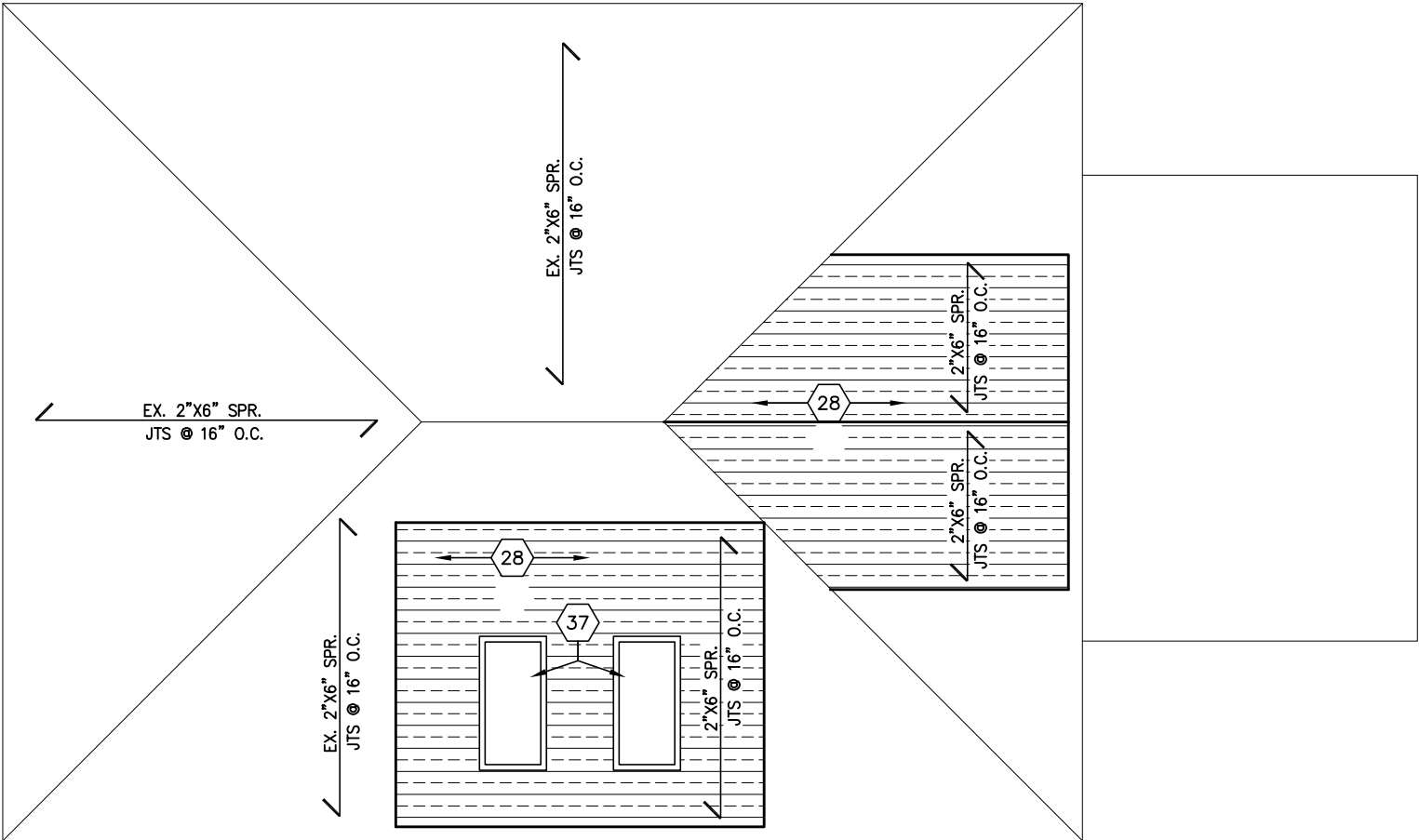
DRAWN BY	R.K.
CHECKED BY	
SCALE	AS NOTED
DATE	JAN., 2021
PROJECT NUMBER	

A1.04

DRAWING NUMBER



PARTITION LEGEND	
	DENOTES PARTITION OR WALL TO BE REMOVED
	DENOTES EXISTING PARTITION OR WALL TO REMAIN
	DENOTES PROPOSED INTERIOR PARTITION



1

A1.05

ROOF PLAN

SCALE: 3/16"=1'-0"

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under 3.2.5.1 of the building code

ROCK KIM	36340
Name	BCIN#
	JAN. 16, 2021
Signature	Date

REGISTRATION INFORMATION

Required unless design is exempt under 3.2.4.1 of the building code

ROCKIM DESIGN INC.	45379
Firm Name	BCIN#

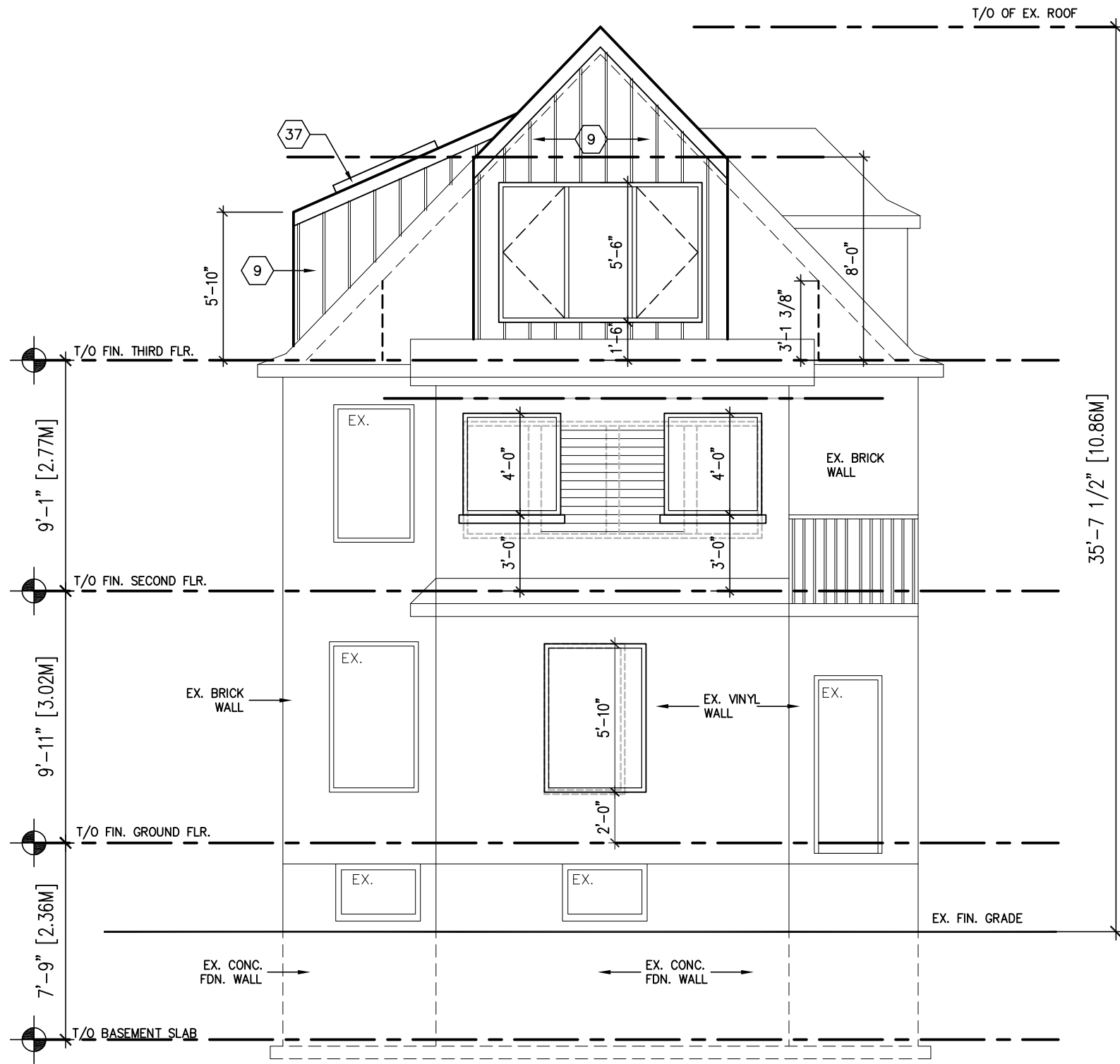
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REVISIONS			
No.	DESCRIPTION	DATE	BY
1			
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PROJECT	PROPOSED INTERIOR ALTEARTION + DORMER ADDITION 104 SPADINA AVENUE HAMILTON, ON
DRAWING TITLE	ROOF PLAN

DRAWN BY	R.K.
CHECKED BY	
SCALE	AS NOTED
DATE	JAN., 2021
PROJECT NUMBER	

A1.05

DRAWING NUMBER



1 WEST SIDE ELEVATION
A2.01 SCALE: 3/16"=1'-0"

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5.1 of the building code
Name: ROCK KIM BCIN# 36340
Signature: [Signature] Date: JAN. 16, 2021
REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.1 of the building code
Firm Name: ROCKIM DESIGN INC. BCIN# 45379

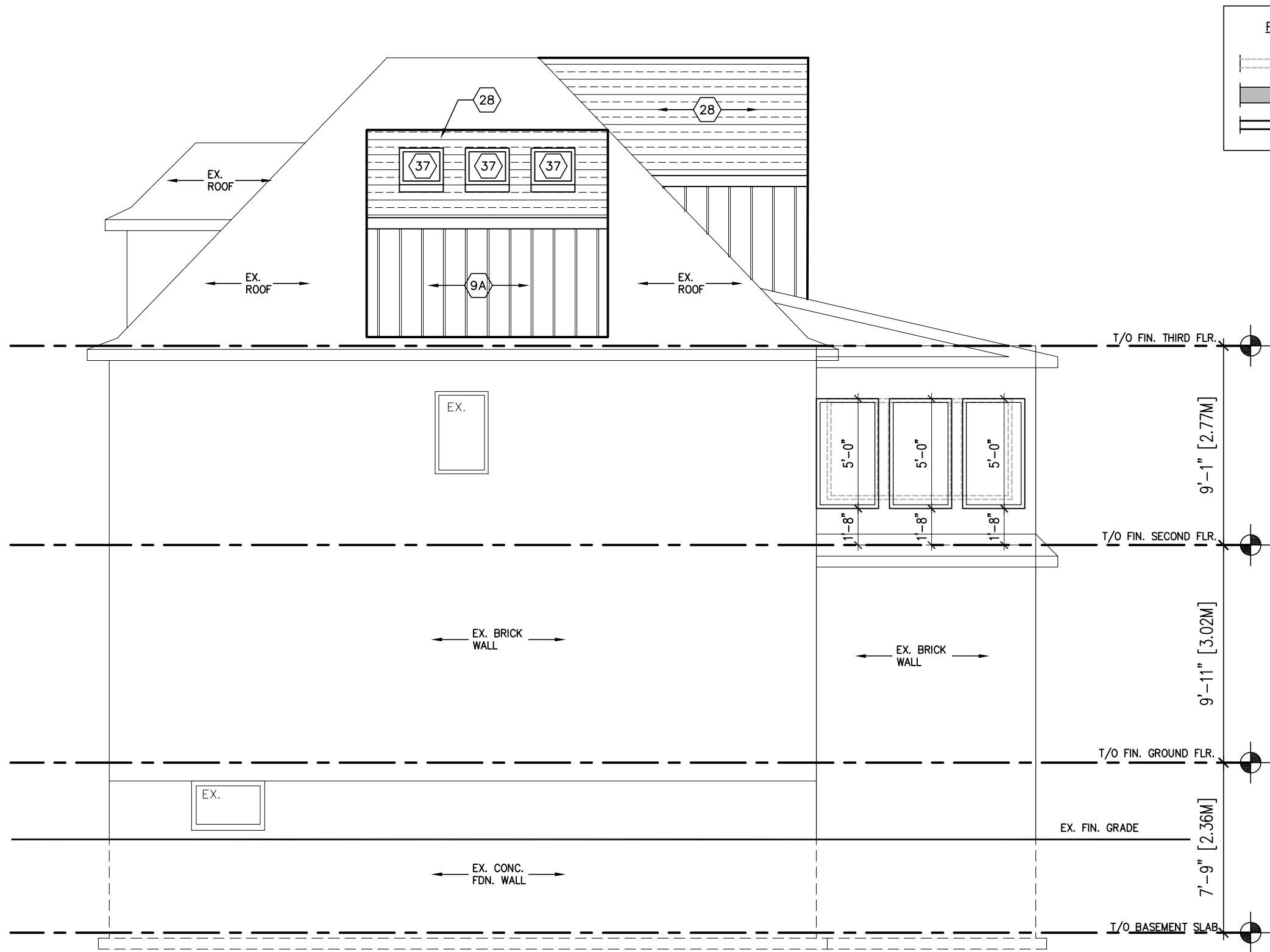
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REVISIONS		
No.	DESCRIPTION	DATE BY
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PROJECT
PROPOSED
INTERIOR ALTEARTION
+ DORMER ADDITION
104 SPADINA AVENUE
HAMILTON, ON
DRAWING TITLE
ELEVATION

DRAWN BY
R.K.
CHECKED BY
SCALE
AS NOTED
DATE
JAN., 2021
PROJECT NUMBER

DRAWING NUMBER
A2.01



PARTITION LEGEND	
	DENOTES PARTITION OR WALL TO BE REMOVED
	DENOTES EXISTING PARTITION OR WALL TO REMAIN
	DENOTES PROPOSED INTERIOR PARTITION

UNPROTECTED OPENING CALCULATION

LIMITING DISTANCE:	7.5	ft.
ALLOWABLE PERCENTAGE:	18.0	%
ALLOWABLE AREA:	40.5	Sq.ft.
TOTAL WALL AREA:	225	Sq.ft.
TOTAL AREA OF OPENING:	35.0	Sq.ft.

1 NORTH SIDE ELEVATION
A2.02 SCALE: 3/16"=1'-0"

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under 3.2.5.1 of the building code

ROCK KIM 36340
Name BCIN#

Signature JAN. 16, 2021
Date

REGISTRATION INFORMATION

Required unless design is exempt under 3.2.4.1 of the building code

ROCKIM DESIGN INC. 45379
Firm Name BCIN#

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REVISIONS			
No.	DESCRIPTION	DATE	BY
1			
2			
3			
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PROJECT	PROPOSED INTERIOR ALTEARTION + DORMER ADDITION 104 SPADINA AVENUE HAMILTON, ON
DRAWING TITLE	ELEVATION

DRAWN BY	R.K.
CHECKED BY	
SCALE	AS NOTED
DATE	JAN., 2021
PROJECT NUMBER	

A2.02

Committee of Adjustment

Address: 104 Spadina Ave, Hamilton, ON

Date: Jun. 19th, 2021

Description of relief applied for Minor Variances.

1. 1. **Maximum Building Height** [As per Section 9(2) of Hamilton Zoning By-law 6593]
Maximum 2.5 storey allowed and proposed 3 storey required.
2. Minimum Side Yard [As per Section 9(3) of Hamilton Zoning By-law 6593]
Minimum 1.2 m required and proposed dormer addition has 0.6m.

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS	
Registered Owners(s)	JAY TREFETHEN		
Applicant(s)*	ROCK KIM		
Agent or Solicitor			Phone:
			E-mail:

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Scotiabank
4 King St W 2nd floor, Toronto, ON M5H 1B6
416 350 7400

ID: 0118877

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:
Existing single family dwelling.
5. Why it is not possible to comply with the provisions of the By-law?
Existing house has 0 parking space.
3rd floor is existing and make dormer for windows.
6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):
LOT 271, REG. PLAN 448
104 SPADINA AVE
7. PREVIOUS USE OF PROPERTY
Residential ☒ Industrial ☐ Commercial ☐
Agricultural ☐ Vacant ☐
Other _____
- 8.1 If Industrial or Commercial, specify use _____
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes ☐ No ☒ Unknown ☐
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes ☐ No ☒ Unknown ☐
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes ☐ No ☒ Unknown ☐
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes ☐ No ☒ Unknown ☐
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes ☐ No ☒ Unknown ☐
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes ☐ No ☒ Unknown ☐
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes ☐ No ☒ Unknown ☐
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
Yes ☐ No ☒ Unknown ☐

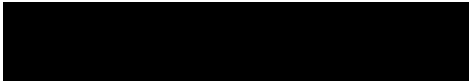
8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?
Yes ☐ No ☒ Unknown ☐

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?
Legal survey and City map

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.
Is the previous use inventory attached? Yes ☐ No ☒

9. **ACKNOWLEDGEMENT CLAUSE**
I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

APR. 29, 2021
Date


Signature Property Owner
JAY TREFETHEN
Print Name of Owner

10. Dimensions of lands affected:
Frontage 9.75 m
Depth 29.26 m
Area 285 sq.m.
Width of street 6.5m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)
Existing:
Ground floor area - 93.83 sq.m. Gross floor area -233.34 sq.m. 2 1/2 storey
7.62m width x 12.87 m length x 10.86m height

Shed-22.29 sq.m.

Proposed
Ground floor area - 93.83 sq.m. Gross floor area -233.34 sq.m. 3 storey
7.62m width x 12.87 m length x 10.86m height

Shed-22.29 sq.m.

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)
Existing:
Front setback- 4.95 m Side setback - 0.5m Side setback - 1.6 m
Rear setback-11.33 m

Proposed:
Front setback- 4.95 m Side setback - 0.5m Side setback - 1.6 m
Rear setback-11.33 m

13.

Date of acquisition of subject lands:
DEC. 2020
-
14.

Date of construction of all buildings and structures on subject lands:
1950
-
15.

Existing uses of the subject property:
Single family dwelling
16.

Existing uses of abutting properties:
Single family dwelling
17.

Length of time the existing uses of the subject property have continued:
Since it built
18.

Municipal services available: (check the appropriate space or spaces)
Water ☒ Connected ☒
Sanitary Sewer ☒ Connected ☒
Storm Sewers ☐
19.

Present Official Plan/Secondary Plan provisions applying to the land:
Urban Protected Residential / 6593 Former Hamilton
20.

Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
76-205
21.

Has the owner previously applied for relief in respect of the subject property?

☐ Yes ☒ No

If the answer is yes, describe briefly.
22.

Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

☐ Yes ☒ No
23.

Additional Information
24.

The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.