

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: AN/A-21:241

APPLICANTS: Agent Steven Albanese
Owners R. & C. Kelly

SUBJECT PROPERTY: Municipal address **58 Norma Cres., Ancaster**

ZONING BY-LAW: Zoning By-law 87-57, as Amended 85-129 & 88-58

ZONING: "R3-207" (Residential R3) Zone

PROPOSAL: To permit the construction 4.88m (16'0") x 13.51m (44'4") deck with stairs of which 4.22m (13'10") x 9.4m (30'8") is a roofed-over deck at the rear of the existing single detached dwelling notwithstanding that:

1. A minimum rear yard of 4.0m shall be provided instead of the minimum required rear yard of 7.5m.

This application will be heard by the Committee as shown below:

DATE: Thursday, August 12th, 2021
TIME: 3:10 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

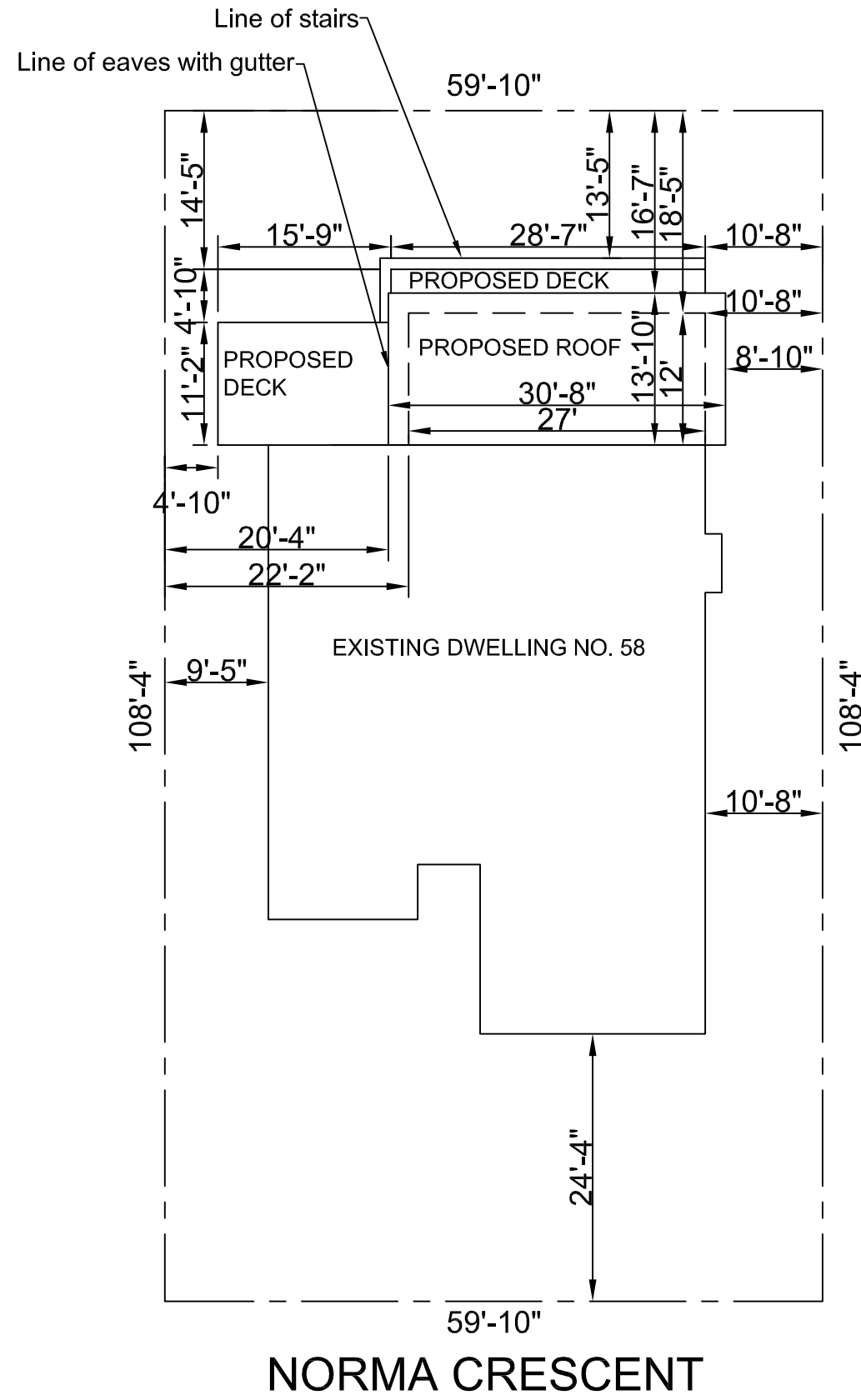
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

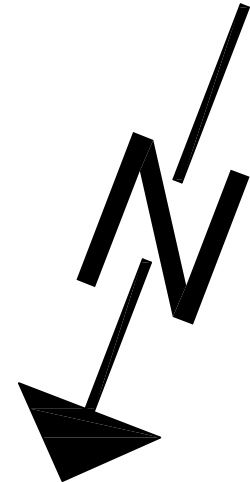
DATED: July 27th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



LOT AREA: 6482sqft
EXISTING LOT COVERAGE: 1910sqft
DECK & ROOF COVERAGE: 634sqft
TOTAL LOT COVERAGE: 2544sqft (39.25%)



No.	Revision / Issue:	Date:
1	FOR PERMIT	05/19/21
2	FOR PERMIT	06/17/21
Firm Name & Address:		
Project Name & Address:		
Site Plan 58 Norma Crescent, Ancaster, On		
Project: Proposed Deck & Roof		
Date: 05/19/21		
Scale: N.T.S.		
Sheet: A1		

No.	Revision / Issue:	Date:
1	FOR PERMIT	05/19/21
2	FOR PERMIT	06/17/21

Firm Name & Address:

Project Name & Address:

Elevations
58 Norma Crescent
Ancaster, On

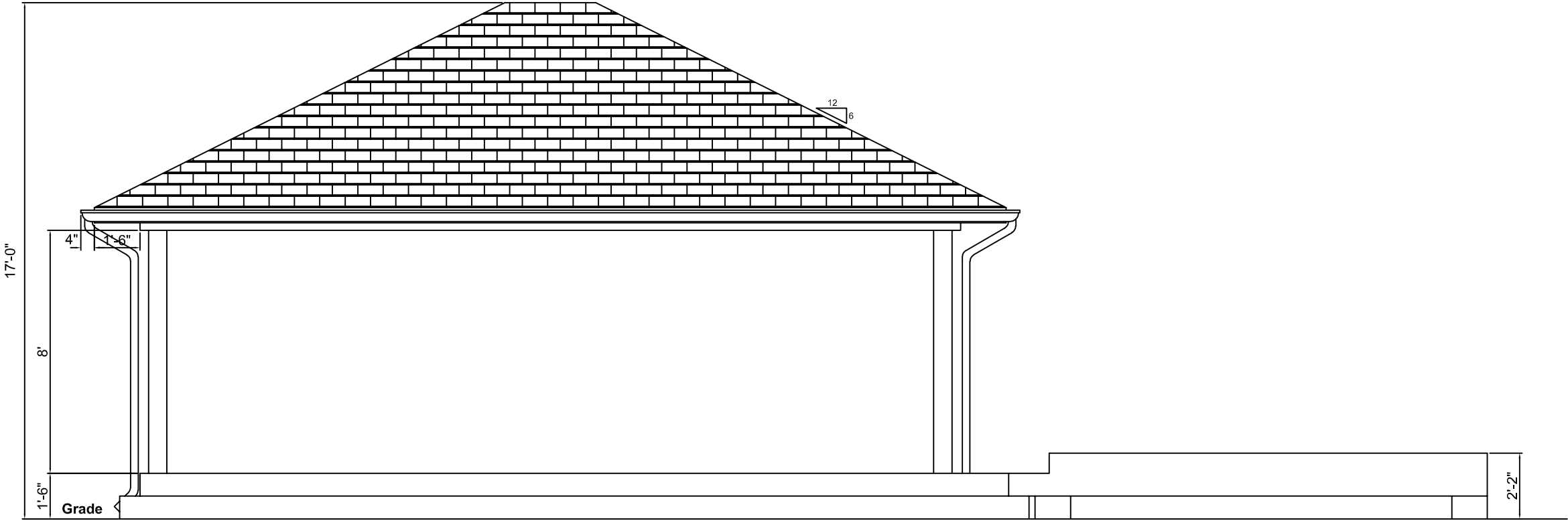
Project:
Proposed Deck & Roof

Date:
05/19/21

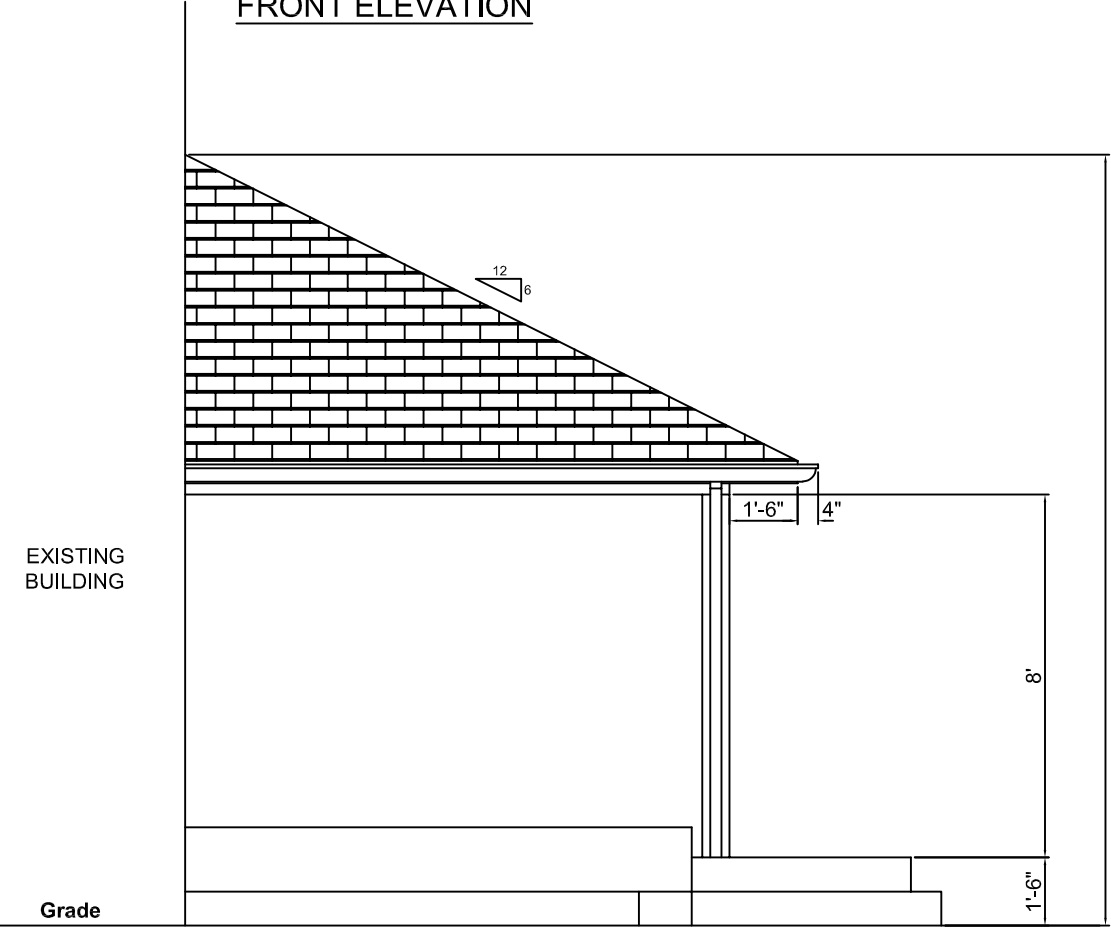
Scale:
N.T.S.

Sheet:

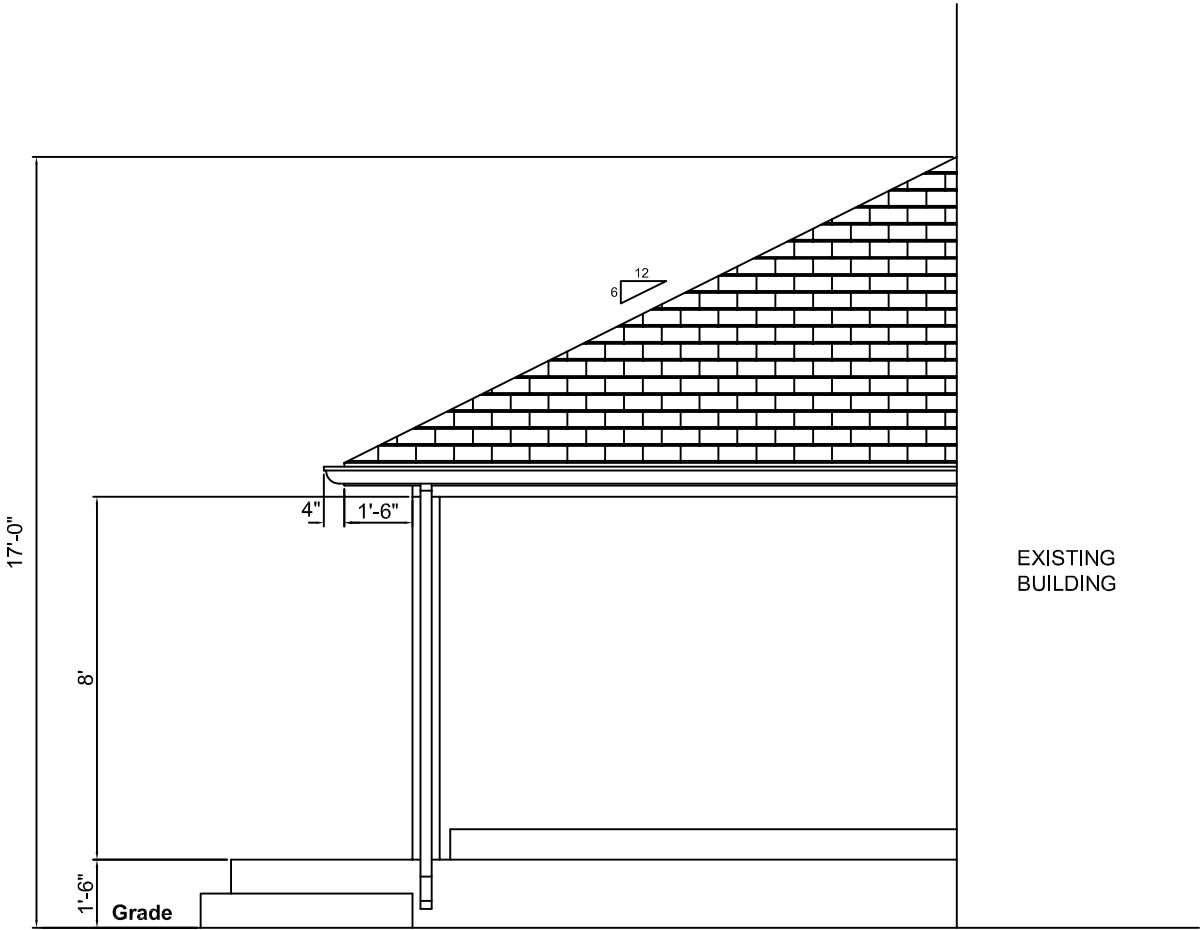
A5



FRONT ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

No.	Revision / Issue:	Date:
1	FOR PERMIT	05/19/21
2	FOR PERMIT	06/17/21

Firm Name & Address:

Project Name & Address:

Building Sections
58 Norma Crescent
Ancaster, On

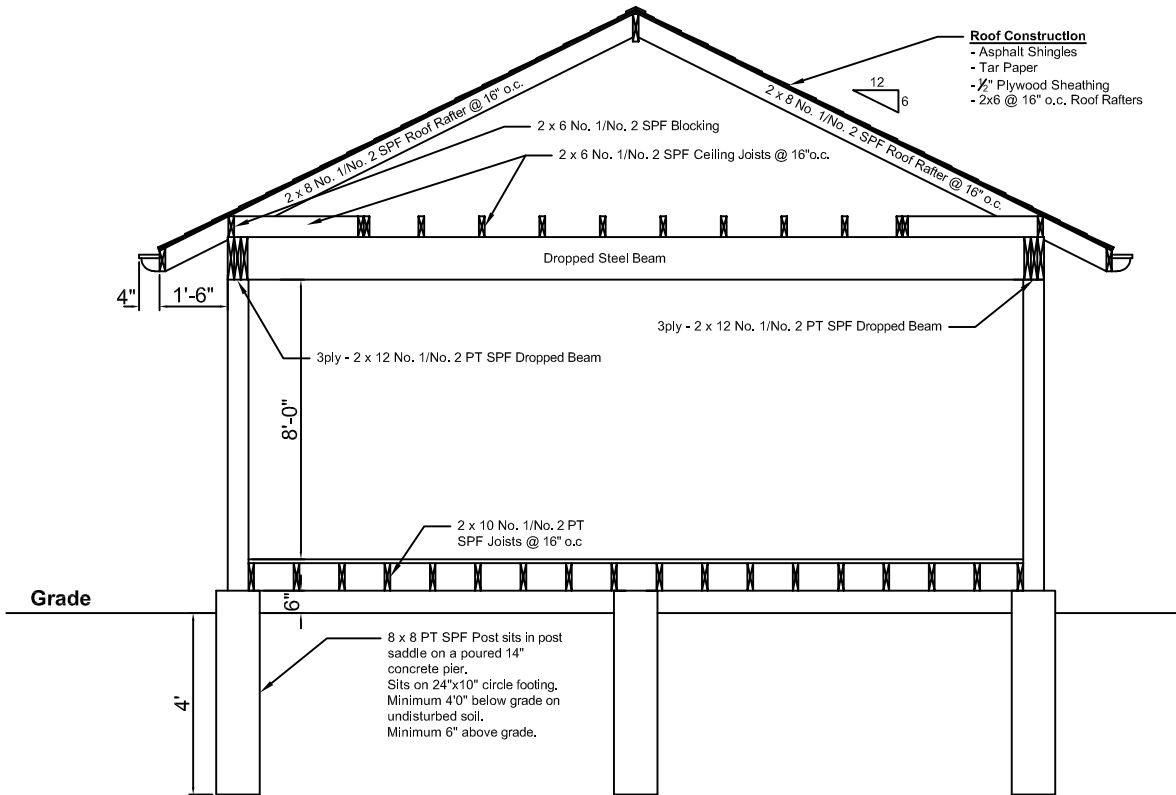
Project:
Proposed Deck & Roof

Date:
05/19/21

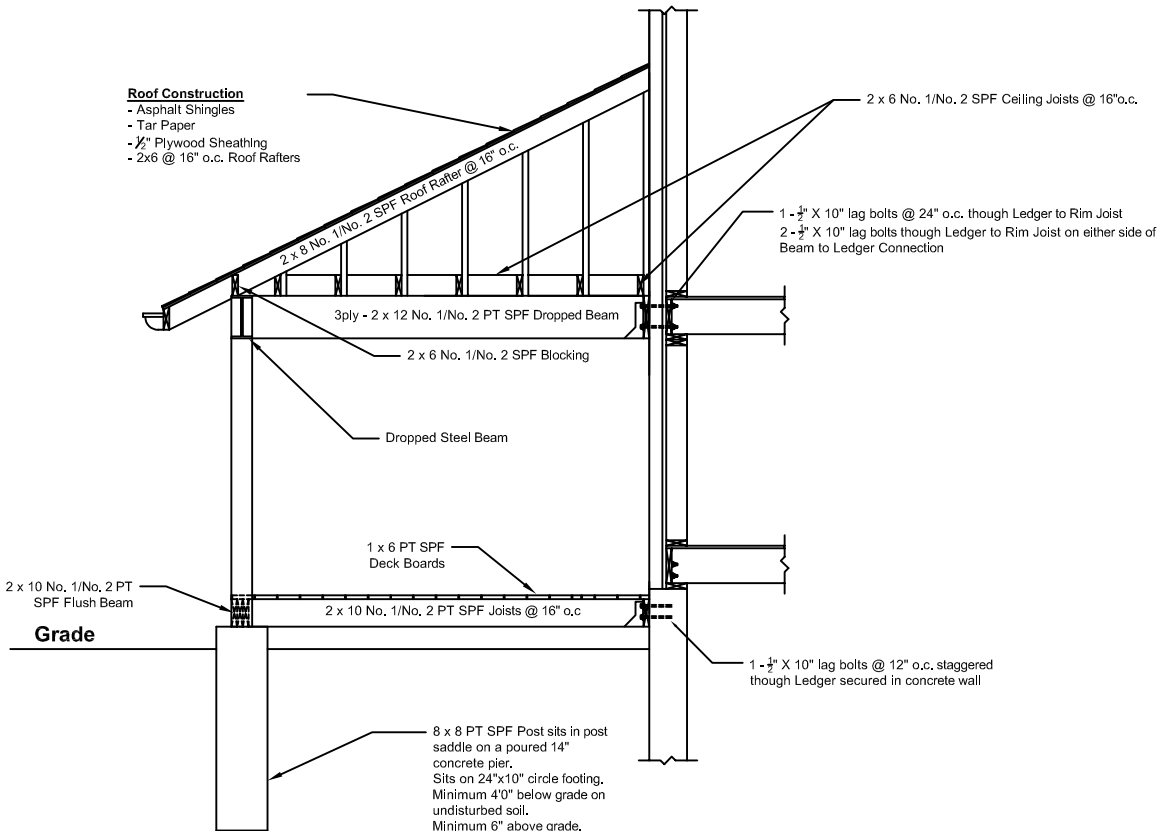
Scale:
N.T.S.

Sheet:

A6



BUILDING SECTION #1



BUILDING SECTION #2

No.	Revision / Issue:	Date:
1	FOR PERMIT	05/19/21
2	FOR PERMIT	06/17/21

Firm Name & Address:

Project Name & Address:

Foundation Plan
58 Norma Crescent
Ancaster, On

Project:

Proposed Deck & Roof

Date:

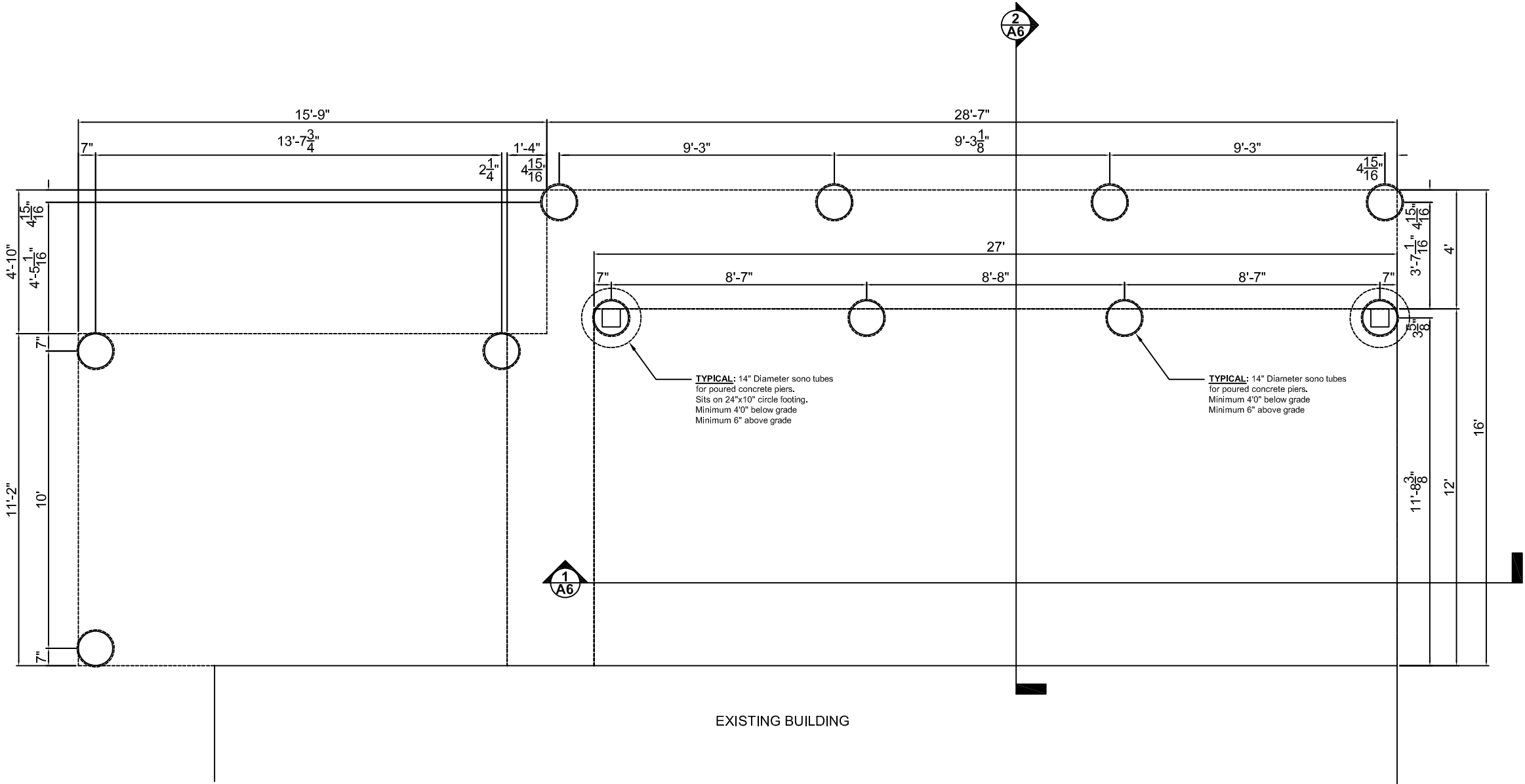
05/19/21

Scale:

N.T.S.

Sheet:

A2



FOUNDATION PLAN

No.	Revision / Issue:	Date:
1	FOR PERMIT	05/19/21
2	FOR PERMIT	06/17/21

Firm Name & Address:

Project Name & Address:

Roof Plan
58 Norma Crescent
Ancaster, On

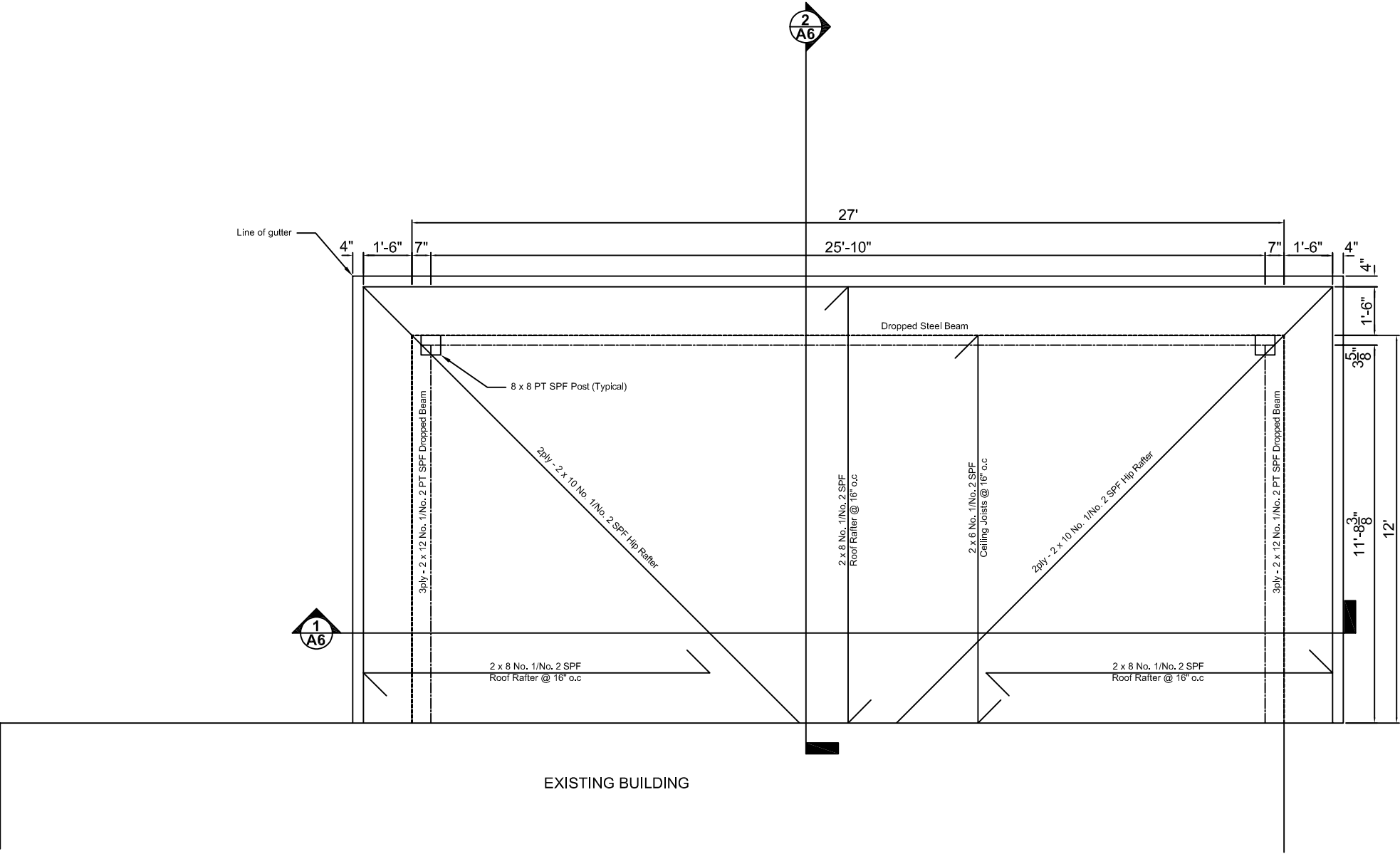
Project:
Proposed Deck & Roof

Date:
05/19/21

Scale:
N.T.S.

Sheet:

A4



ROOF PLAN



Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment

City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

**PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.**

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

**CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO**

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner Ryan & Caitlyn Kelly Telephone No. _____

FAX NO. _____ E-mail address _____

2. Address _____

Postal Code _____

3. Name of Agent Steven Albanese Telephone No. _____

FAX NO. _____ E-mail address _____

4. Address _____

Note: Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Postal Code _____

Postal Code _____

6. Nature and extent of relief applied for:

REAR YARD SETBACK.

7. Why it is not possible to comply with the provisions of the By-law?

Current Rear yard Set back is 7m, only allowing 7' +/- (2.1m) for a covered porch which is too small for a family of 4.

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

58 NORMA CRESCENT.

9. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☐

Other ☐

- 9.1 If Industrial or Commercial, specify use

- 9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

- 9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

- 9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

- 9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

- 9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

Yes ☐ No ☐ Unknown ☐

- 9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☒ Unknown ☐

- 9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Information Requested From the City

- 9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☐

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

May 28, 2021
Date

Ryan Kelly Caitlin Kelly
Print Name of Owner

10. Dimensions of lands affected:

Frontage	<u>59'10"</u>	-	<u>18.23m</u>
Depth	<u>108'4"</u>	-	<u>33m</u>
Area	<u>6482 SF</u>	-	<u>602.19m²</u>
Width of street	<u>30'</u>	-	<u>9.14m</u>

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: Ground Floor Area - 1760 SF (163.5m²)
Gross Floor Area - 3253 SF (302.21m²)

STORIES - TWO
Width - 39'8" (12m) Length - 53'6" (16.3m) Height - 26' (7.92m)

Proposed: Ground Floor Area - 1760 SF (163.5m²)
Gross Floor Area - 3253 SF (302.21m²)

Width - 39'8" (12m) Length - 53'6" (16.3m) Height - 26' (7.92m)

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: LS - 9'5" (2.87m) RS - 10'8" (3.25m)
Rear - 30'5" (9.27m)
Front - 24'4" (7.41m)

Proposed: LS - 4'10" (1.47) RS - 10'8" (3.25)
RWAR - 14'6" (4.39)
FRCMT - 24'4" (7.41)

13. Date of acquisition of subject lands:

FALL 2020

14. Date of construction of all buildings and structures on subject lands:

1990

15. Existing uses of the subject property: SFD.

16. Existing uses of abutting properties: SFD.

17. Length of time the existing uses of the subject property have continued:

1990 +

18. Municipal services available: (check the appropriate space or spaces)

Water ✓ Connected ✓

Sanitary Sewer ✓ Connected ✓

Storm Sewers

19. Present Official Plan/Secondary Plan provisions applying to the land:

Low Density Residential - Meadowbrook West -
Secondary PLAN.

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

R3-207 ZONING - Ancaster Zoning By-law 87-57

21. Has the owner previously applied for relief in respect of the subject property?

Yes

No

If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps