

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: GL/A-21:151

APPLICANTS: Agent Chris Hopkins
J. & P. Cook

SUBJECT PROPERTY: Municipal address **50 Rosebury Way, Glanbrook**

ZONING BY-LAW: Zoning By-law 464, as Amended 04-160

ZONING: "R4" (Residential 4) district

PROPOSAL: To permit the construction of a roofed-over unenclosed porch in the rear yard on a residential parcel of land, notwithstanding that:

1. A maximum of 47 percent lot coverage shall be permitted instead of the requirement that lot coverage shall not exceed a total of 35 percent.

NOTE:

1. The proposed development is subject to the issuance of a building permit in the normal manner. Be advised that Ontario Building Code regulations may require specific setbacks and construction types.

This application will be heard by the Committee as shown below:

DATE: Thursday, August 12th, 2021
TIME: 3:30 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

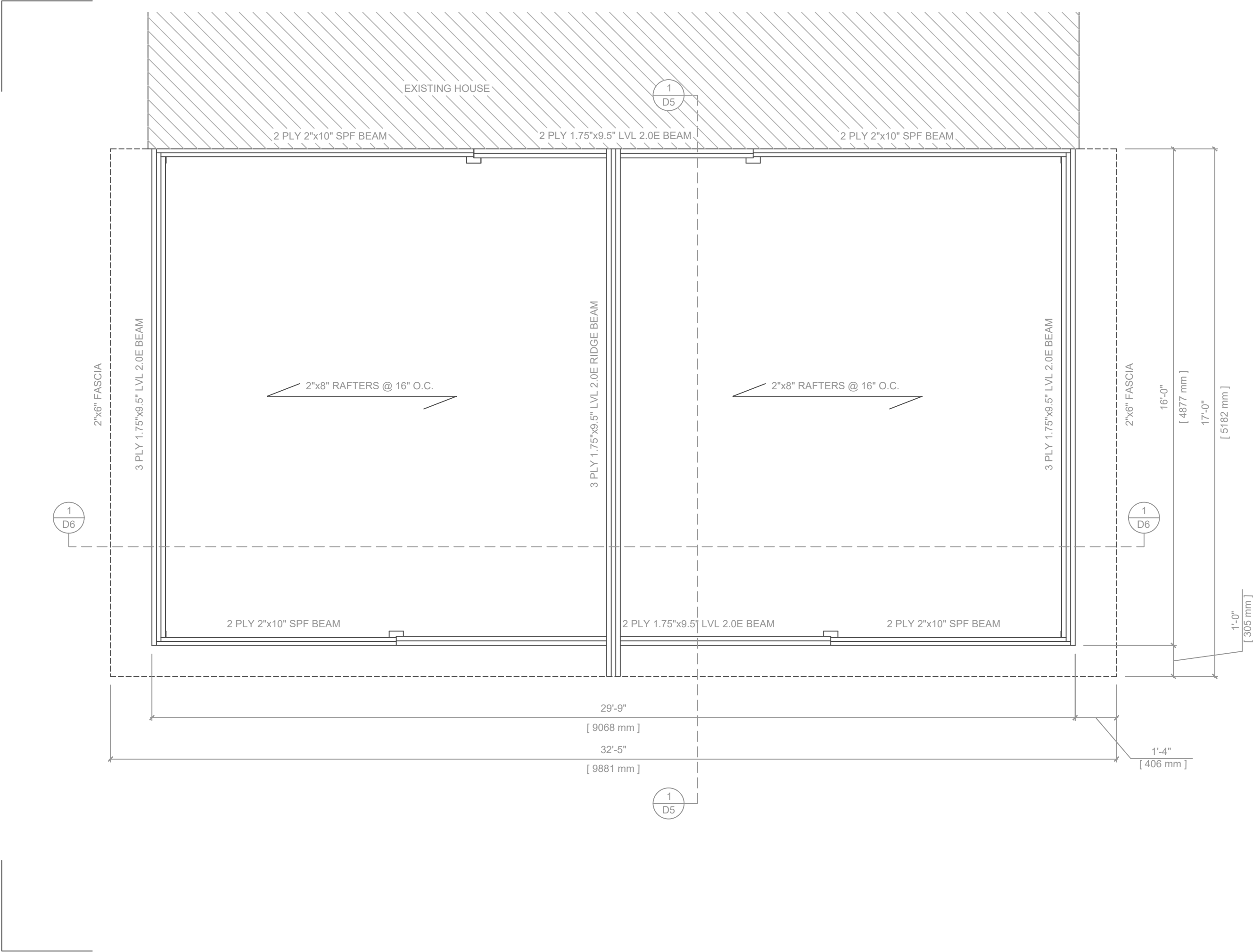
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: July 27th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



REVISIONS:		
#	DATE	REVISION
1	05-24-21	ISSUED
2	06-28-21	REVISED FOR PERMIT

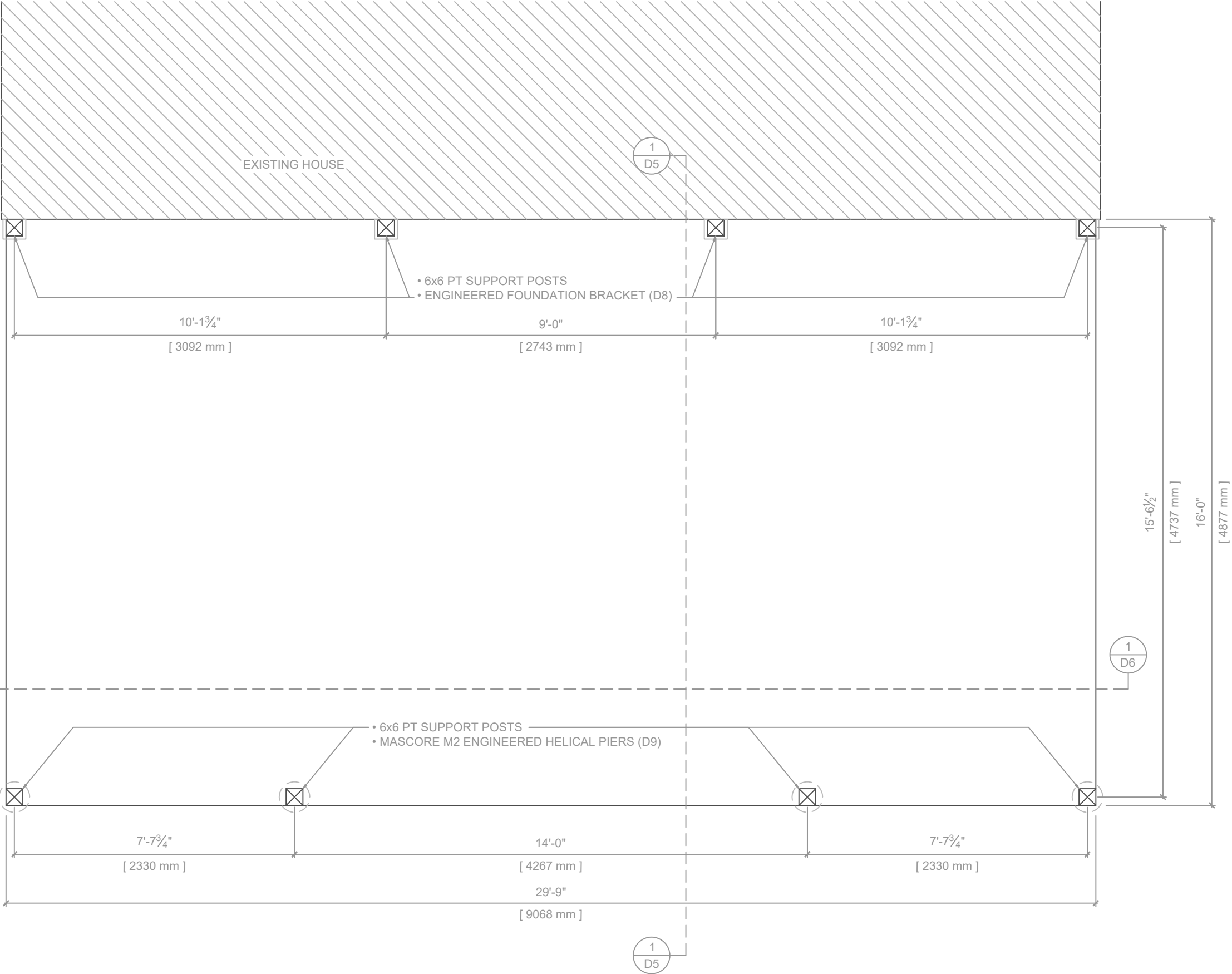
PROJECT ADDRESS:
50 ROSEBURY WAY
MOUNT HOPE, ON

DRAWING:
PAVILION
FRAMING PLAN

DATE:
MAY 24, 2021

REVISION DATE:
-

PAPER SIZE: 11" x 17"	D1
SCALE: 1:35	



REVISIONS:		
#	DATE	REVISION
1	05-24-21	ISSUED
2	06-28-21	REVISED FOR PERMIT

PROJECT ADDRESS:
50 ROSEBURY WAY
MOUNT HOPE, ON

DRAWING:
PAVILION
FOUNDATION PLAN

DATE:
MAY 24, 2021

REVISION DATE:
-

PAPER SIZE: 11" x 17"	D2
SCALE: 1:35	



REVISIONS:		
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1	05-24-21	ISSUED
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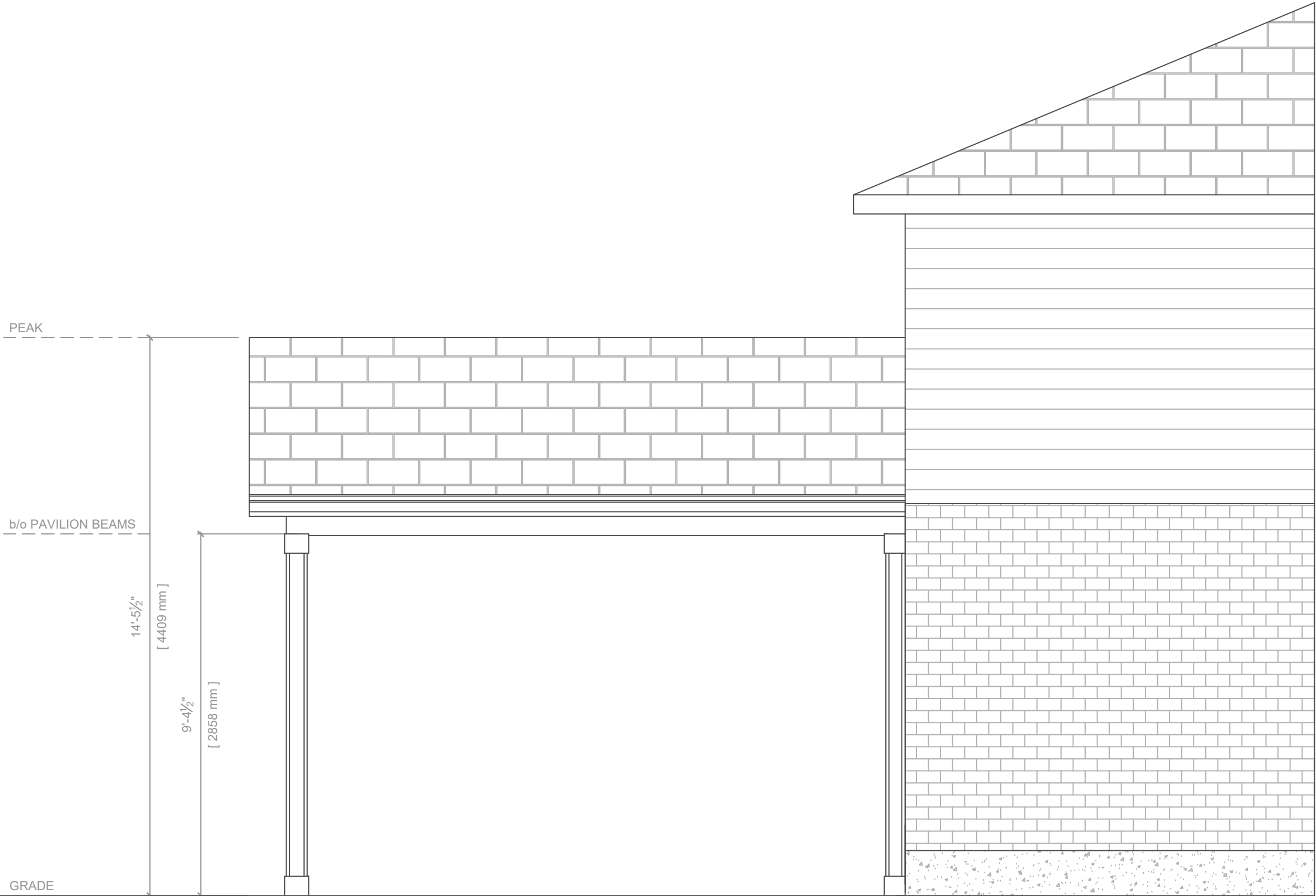
PROJECT ADDRESS:
50 ROSEBURY WAY
MOUNT HOPE, ON

DRAWING:
PAVILION
FRONT ELEVATION

DATE:
MAY 24, 2021

REVISION DATE:
-

PAPER SIZE: 11" x 17"	D3
SCALE: 1:35	



LEFT ELEVATION IS IDENTICAL

REVISIONS:

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PROJECT ADDRESS:

50 ROSEBURY WAY
MOUNT HOPE, ON

DRAWING:

PAVILION
RIGHT ELEVATION

DATE:

MAY 24, 2021

REVISION DATE:

-

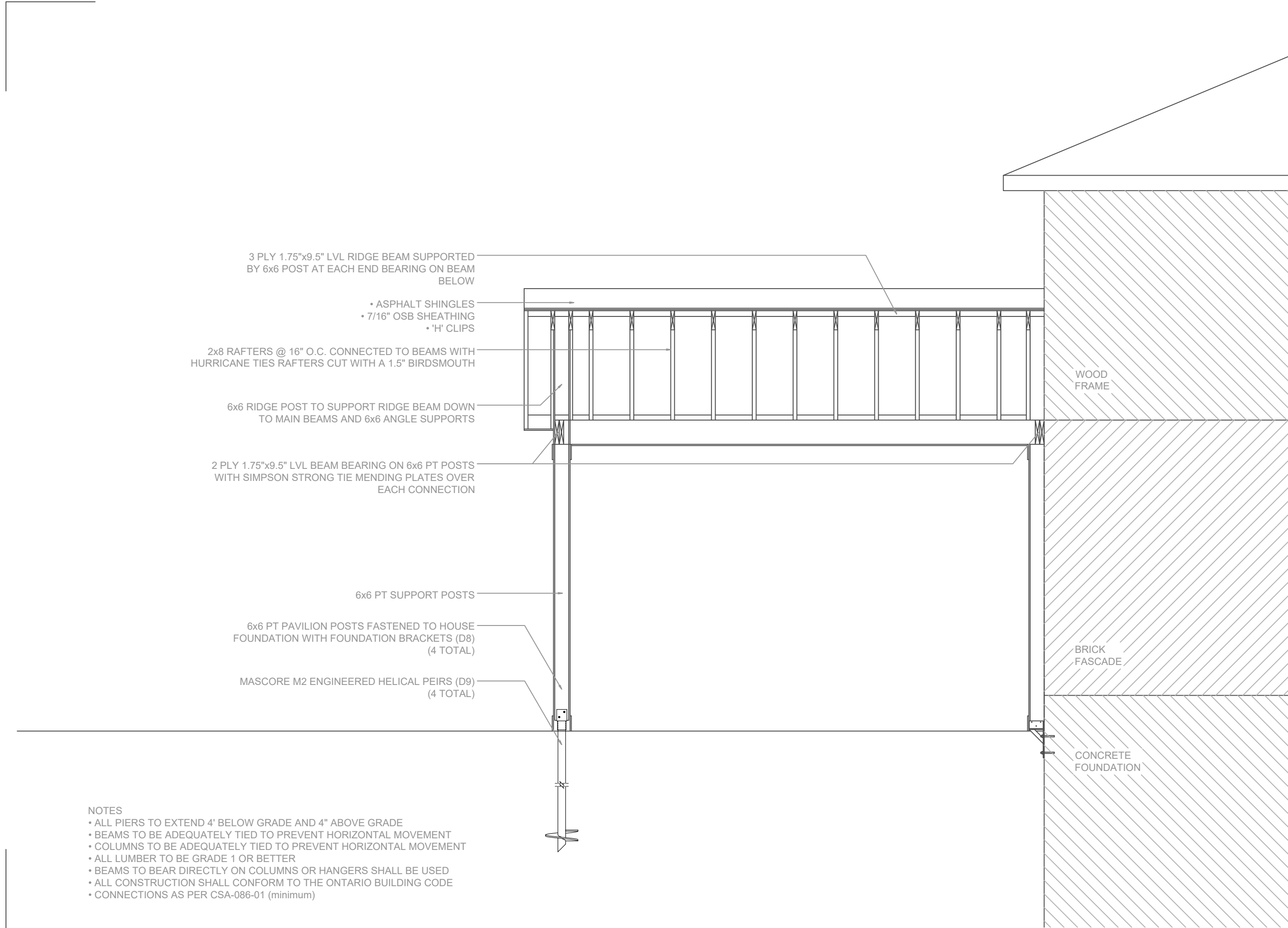
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11" x 17"

SCALE:

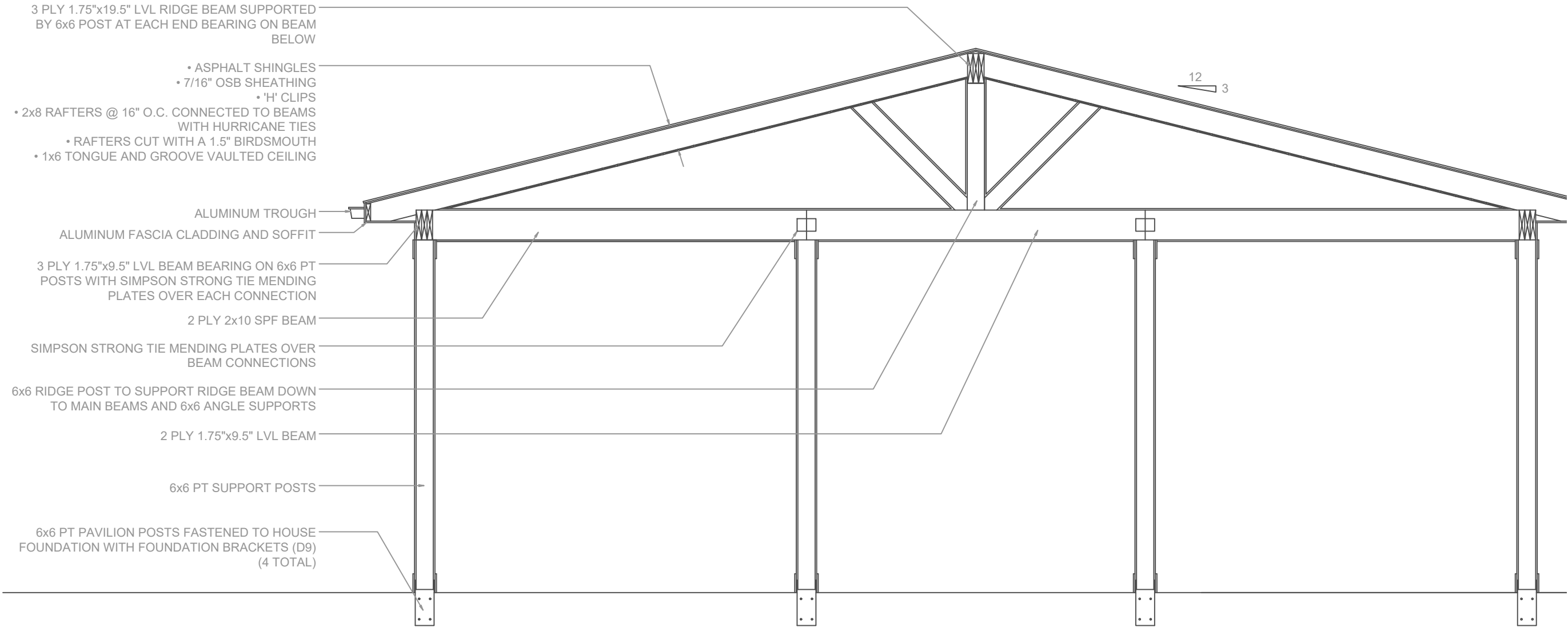
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D4



REVISIONS:		
#	DATE	REVISION
1	05-24-21	ISSUED
2	06-28-21	REVISED FOR PERMIT

PROJECT ADDRESS:	
50 ROSEBURY WAY MOUNT HOPE, ON	
DRAWING:	
PAVILION SECTION	
DATE:	
MAY 24, 2021	
REVISION DATE:	
-	
PAPER SIZE:	D5
SCALE:	
11" x 17"	
1:35	



- NOTES
- ALL PIERS TO EXTEND 4' BELOW GRADE AND 4" ABOVE GRADE
 - BEAMS TO BE ADEQUATELY TIED TO PREVENT HORIZONTAL MOVEMENT
 - COLUMNS TO BE ADEQUATELY TIED TO PREVENT HORIZONTAL MOVEMENT
 - ALL LUMBER TO BE GRADE 1 OR BETTER
 - BEAMS TO BEAR DIRECTLY ON COLUMNS OR HANGERS SHALL BE USED
 - ALL CONSTRUCTION SHALL CONFORM TO THE ONTARIO BUILDING CODE
 - CONNECTIONS AS PER CSA-086-01 (minimum)

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PROJECT ADDRESS:

50 ROSEBURY WAY
MOUNT HOPE, ON

DRAWING:

PAVILION
SECTION

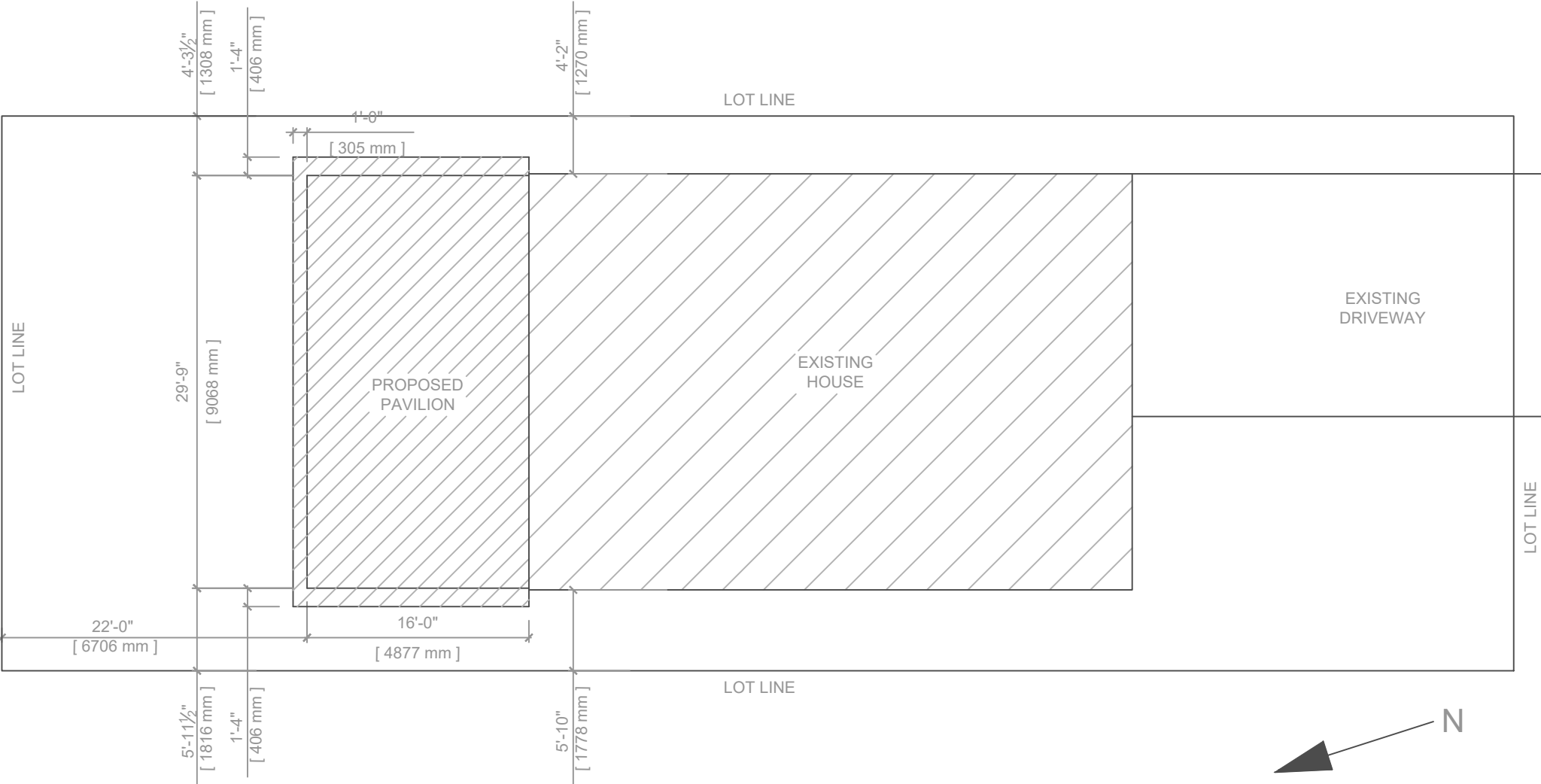
DATE:

MAY 24, 2021

REVISION DATE:

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PAPER SIZE: 11" x 17"	D6
SCALE: 1:35	



EXISTING SITE STATISTICS:	
LOT AREA:	405.69 m ²
EXISTING HOUSE FOOTPRINT:	121.24 m ²
EXISTING HOUSE ROOF AREA:	140.11 m ²
TOTAL EXISTING LOT COVERAGE:	140.11 m ²
EXISTING LOT COVERAGE:	34.53 %

PROPOSED STRUCTURE STATISTICS:	
PAVILION FOOTPRINT:	44.22 m ²
PAVILION ROOF FOOTPRINT:	51.19 m ²
OVERLAPPING EXISTING/PROPOSED ROOF:	4.01 m ²
TOTAL ADDITIONAL ROOF FOOTPRINT:	47.18 m ²
ADDITIONAL LOT COVERAGE:	11.63 %

EXISTING BUILDING AND PROPOSED STRUCTURE SITE STATISTICS:	
TOTAL LOT ROOF COVERAGE:	187.29 m ²
TOTAL LOT COVERAGE:	46.16 %

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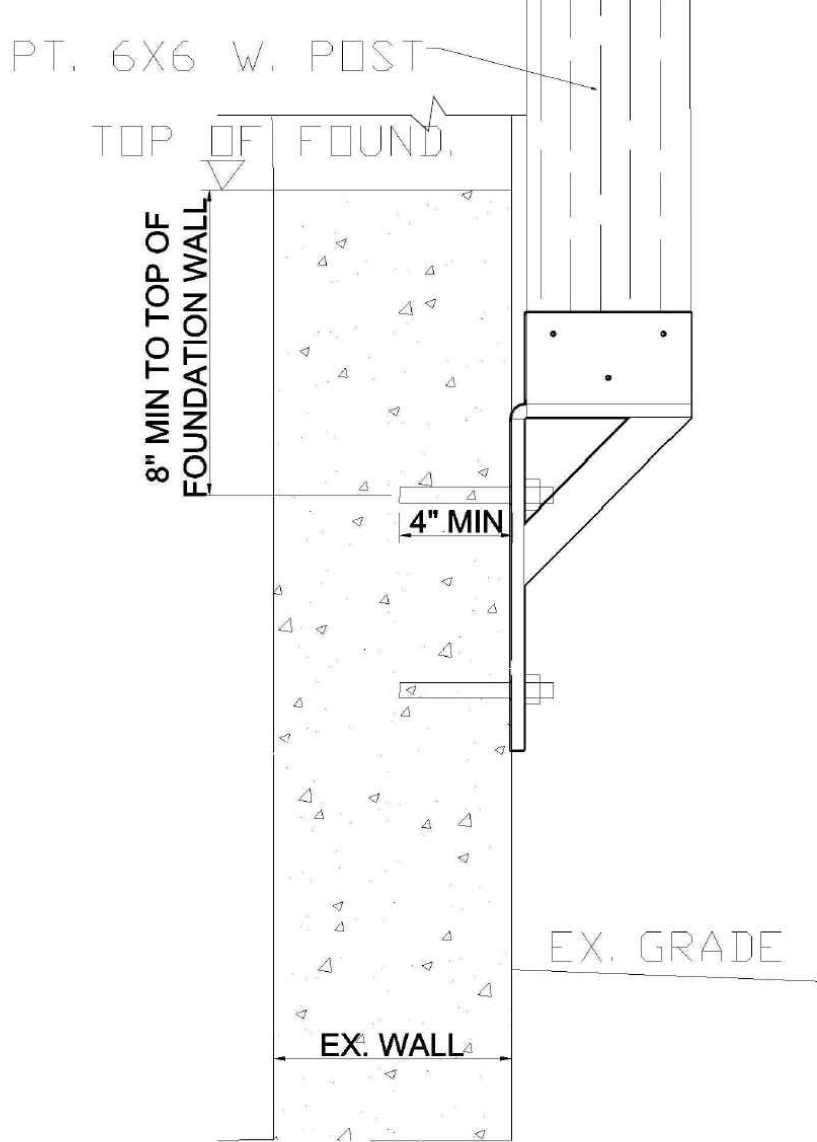
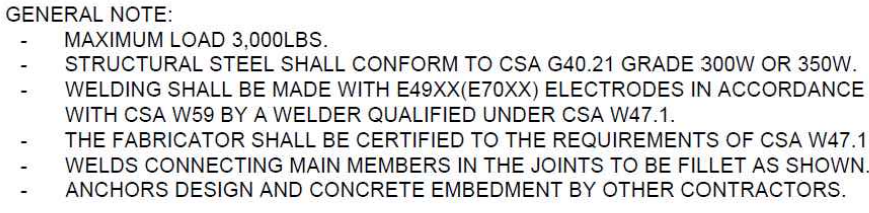
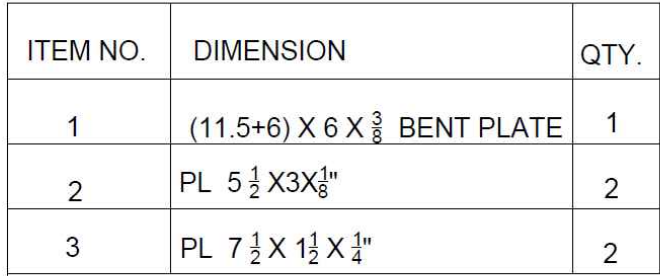
PROJECT ADDRESS:
**50 ROSEBURY WAY
MOUNT HOPE, ON**


DRAWING:
**PAVILION
SITE PLAN**

DATE:
MAY 24, 2021

REVISION DATE:
-

PAPER SIZE: 11" x 17"	D7
SCALE: 1:125	



THE DECK STORE INC. 454 South Service Rd. West, Oakville, ON, L6K 2H4 T: 905-337-7707 Deckstore.ca	LHW ENGINEERING LTD. 23 Canham Cres. Toronto, ON M1S 2H7 T: 416-299-8837, 647-923-4818 lhw.engineering@gmail.com 	No.	Revision / Issue	PROJ. TITLE	DRAWN BY
		1		WOOD DECK	YF
		2			CHECKED BY
		3			BW
				DWG. TITLE	SCALE
				WOOD COLUMN BRACKET	AS SHOWN
					PROJ. NO.:
					DWG. NO.:

#	DATE	REVISION
1	05-24-21	ISSUED
2	06-28-21	REVISED FOR PERMIT

PROJECT ADDRESS:

50 ROSEBURY WAY
MOUNT HOPE, ON

PAVILION
FOUNDATION BRACKET

DATE: MAY 24, 2021

REVISION DATE: -

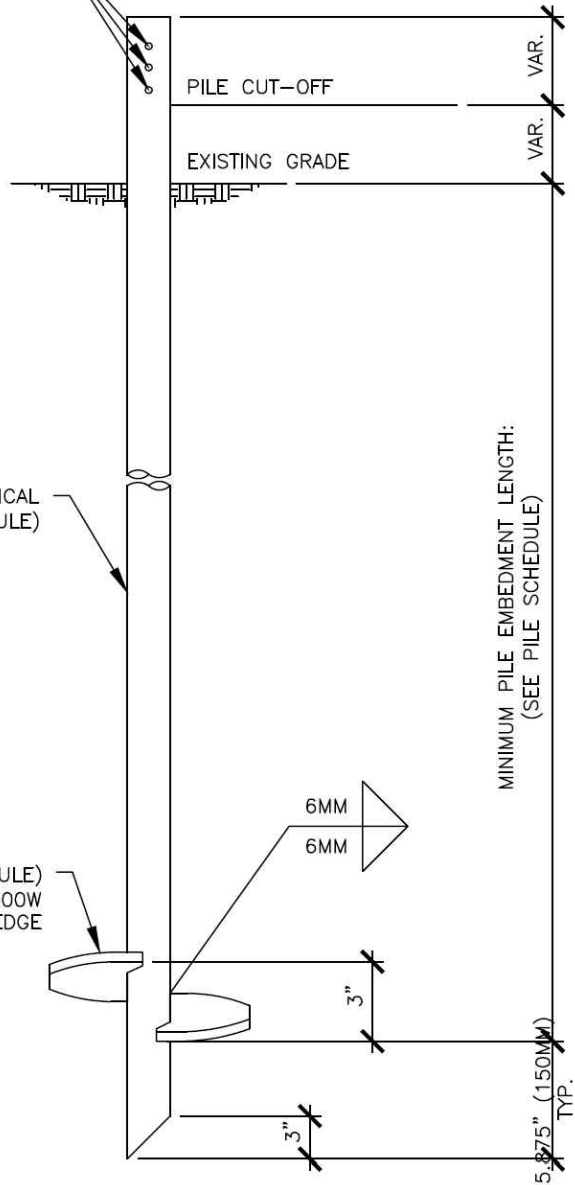
PAPER SIZE: 11" x 17"	DO
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SCALE: **DO**
AS NOTED

DRIVE HOLES: QUANTITY, SIZE
& LOCATION AS REQUIRED

STEEL PILE (SEE HELICAL
PILE SCHEDULE)

STEEL PLATE (SEE PILE SCHEDULE)
CSA G40.20/G40.21 GR. 300W
SHARPEN LEADING EDGE



NOTES:

1. GENERAL:

1.1 THE DESIGN, FABRICATION AND INSTALLATION OF PILES SHALL BE GOVERNED BY THE FOLLOWING CODES, STANDARD AND REGULATIONS:

- 1.1.1 CSA G40.21 STRUCTURAL QUALITY STEEL.
- 1.1.2 2012 ONTARIO BUILDING CODE.
- 1.1.3 CSA W48-18 FILLER METALS AND ALLIED MATERIAL FOR METAL ARC WELDING.
- 1.1.4 CSA W47.1 CERTIFICATION OF COMPANIES FOR FUSION WELDING OF STEEL STRUCTURES.
- 1.1.5 ASTM A252 WELDED AND SEAMLESS STEEL PIPE PILES.
- 1.1.6 ASTM A53 WELDED AND SEAMLESS STEEL PIPE.
- 1.1.7 PROVINCIAL HEALTH AND SAFETY REGULATIONS.

1.2 PILE SHAFT DIAMETER, WALL THICKNESS AND HELIX PLATE THICKNESS SHALL NOT BE LESS THAN MINIMUM SPECIFIED IN PILE SCHEDULE.

2. MATERIALS:

- 2.1 STEEL PIPE PILE MATERIALS SHALL CONFORM TO ASTM A500, GRADE B OR ASTM A252 (GRADE 3) MINIMUM.
- 2.2 HELICES SHALL CONFORM TO CSA-G40.21. GRADE 300W.
- 2.3 HELICES SHALL BE WELDED TO THE PIPE SECTION USING A CONTINUOUS FILLET WELD ON BOTH SIDES OF THE HELIX-PIPE CONNECTION. HELICES SHALL HAVE MINIMUM THICKNESS AS SPECIFIED.
- 2.4 SACRIFICIAL STEEL THICKNESS HAS BEEN PROVIDED TO ACCOUNT FOR CORROSION. AS PER ONTARIO BUILDING CODE SECTION 4.2.3.10.
- 2.5 ALL WELDS SHALL BE MIN. 6MM FILLET WELDS, UNLESS NOTED OTHERWISE.
- 2.6 WELD TENSILE STRENGTH = 480MPA.
- 2.7 WELDING ELECTRODES SHALL CONFORM TO CSA W48.1.

3. DESIGN:

- 3.1 PILES DESIGN LOAD IS BASED ON THE EXISTING STRUCTURAL DRAWING.
- 3.2 ANY CHANGES TO THE PILE LAYOUT SHALL BE REVIEWED BY CONSULTANT ENGINEER FOR APPROVAL.
- 3.3 DUE TO NO GEOTECHNICAL INFO AVAILABLE, SOIL PROPERTY IS ASSUMED BASED ON ADJACENT PROJECT, ANY UNFORESEEABLE GEOTECHNICAL CHANGES WILL BE THE RESPONSIBILITY OF OWNER.

4. CONSTRUCTION:

- 4.1 PILES SHALL BE INSTALLED OPEN ENDED; AND ENDS SHALL BE CUT AS 45 DEGREES.
- 4.2 PILES SHALL BE INSTALLED CONTINUOUSLY WITHOUT INTERRUPTION TO THE MINIMUM EMBEDMENT DEPTH AND MINIMUM INSTALLATION TORQUE INDICATED ON THE PILE SCHEDULE.
- 4.3 PILE INSTALLATION RECORDS SHALL BE DOCUMENTED BY A QUALIFIED PILING INSPECTOR REPRESENTING THE GEOTECHNICAL ENGINEER.
- 4.4 FABRICATION SHALL BE CARRIED OUT IN ACCORDANCE WITH STANDARD PRACTICES AND APPLICABLE CODES.
- 4.5 PILE EMBEDMENT DEPTHS INDICATED IN THE PILE SCHEDULE ARE HELIX DEPTH FROM THE EXISTING GRADE. STICKUP AND TIP PROJECTION LENGTHS SHALL BE ADDED TO THE PILE LENGTH AS REQUIRED.
- 4.6 INSTALL PILES VERTICALLY AND ENSURE THE RATE OF ADVANCEMENT INTO THE SOIL PER REVOLUTION IS EQUAL TOT HE HELIX PITCH.

5. TOLERANCES:

- 5.1 PILE SHALL BE INSTALLED TO THE FOLLOWING TOLERANCES:
 - 5.1.1 TOP OF PILE WITHIN 75MM OUT OF ALIGNMENT.
 - 5.1.2 NOT MORE THAN 2% INCLINATION FROM VERTICAL.
- 5.2 ANY GAP AROUND INSTALLED PILE MUST BE BACKFILLED WITH CRUSHED STONES OR APPROVED EQUIVALENT.
- 5.3 WHERE PILES DEVIATE FROM ABOVE TOLERANCE AND DESIGN REQUIREMENTS, THE CONDITION OF THE FOUNDATION SHALL BE ASSESSED BY THE ENGINEER AND WHERE REQUIRED, CORRECTIONS SHALL BE MADE.

6. ACCEPTANCE:

- 6.1 BOTH MINIMUM TOP HELIX EMBEDMENT DEPTH AND MINIMUM INSTALLATION TORQUE MUST BE ACHIEVED FOR PILE ACCEPTANCE.

HELICAL PILE SCHEDULE

PILE TYPE	QUANTITY	MAX. FACTORED DESIGN LOAD			AXIAL STRUCTURAL CAPACITY (KN)	SHAFT SIZE (MM)	HELIX SIZE (MM)	TOP HELIX MIN. EMBEDMENT (MM)	NO. OF HELIX	MIN. TORQUE (LB-FT)	MAX. TORQUE (LB-FT)
		COMPRESSION (KN)	UPLIFT (KN)	LATERAL (KN)							
M2	4	85	60		280	76.2 X 4.76	254 X 9.53	1200	1	3200	6200

CLIENT:

MASCORE INC.

Designed

S.N.

Project:

Project Number:

Drawn

S.N.

Title:

Drawing Number:

CONSULTANT:

Checked

S.N.

HELICAL PILE DETAILS

Rev:

△

NO. Revision By Date

No. Date Description By No. Date Description By

REVISIONS:

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PROJECT ADDRESS:

50 ROSEBURY WAY
MOUNT HOPE, ON

DRAWING:

PAVILION
HELICAL PIERS

DATE:

MAY 24, 2021

REVISION DATE:

-

PAPER SIZE:

11" x 17"

SCALE:

AS NOTED

D9



Hamilton

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)	Jamie and Peter Cook	
Applicant(s)*	Same as above	
Agent or Solicitor	Chris Hopkins	

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:
The existing deck and pergola are rotting and becoming unsafe for our family. To make our backyard safe for our family we're proposing to create a space that will provide shade for our kids to play and protection covered from the elements.

Secondary Dwelling Unit

Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?
In order to provide shade from the sub and protection from the elements we need to cover the entire new patio.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

Registered Plan Number: 62M-1051

Lot Number: 59

Legal Description: S/T EASEMENT IN GROSS OVER LOT 59 PLAN 62M1051 AS IN WE375392. S/T/ EASEMENT FOR ENTRY UNTIL 2011/05/07 AS IN WE383208. CITY OF HAMILTON SUBJECT TO AN EASEMENT FOR ENTRY AS IN WE616747.

Street and Street Number: 50 Rosebury Way

7. PREVIOUS USE OF PROPERTY

Residential

Industrial

Commercial

Agricultural

Vacant

Other

Other _____

- 8.1 If Industrial or Commercial, specify use _____
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes _____ No X Unknown _____
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes _____ No X Unknown _____
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes _____ No X Unknown _____
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes _____ No X Unknown _____
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes _____ No X Unknown _____
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes _____ No X Unknown _____
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes _____ No X Unknown _____

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

This subdivision is approx. 15 years old and prior to that it was vacant land.

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes _____ No X

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application

May 26, 2021
Date


Signature Property Owner(s)

Jamie and Peter Cook
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage 40 ft.
Depth 109 ft.
Area 4,360 sq. ft.
Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _____

House:

Ground Floor Area: 597 sq.ft.
Gross Floor Area: 1,542 sq.ft.
Length: 33'
Width: 28'
Height: 8'
Number of Stories: 2

Proposed

Pavilion:

Ground Floor Area/Gross Floor Area: 476 sq.ft.
Length: 29.75'
Width: 16'
Height: 14.5'
Number of Stories: 1

12. Location of all buildings and structures on or proposed for the subject lands: (Specify distance from side, rear and front lot lines)

Existing:

House:

Distance from Side: 5'10"
Distance from Side: 4'2"
Distance from Rear: 38'
Distance from Front: 27.5'

13. Date of acquisition of subject lands:
November 15, 2017
-
14. Date of construction of all buildings and structures on subject lands:
Unknown
-
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
Single Family
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
Single Family
17. Length of time the existing uses of the subject property have continued:
Over 15 years
18. Municipal services available: (check the appropriate space or spaces)
- | | | | |
|----------------|---|-----------|---|
| Water | X | Connected | X |
| Sanitary Sewer | X | Connected | X |
| Storm Sewers | X | | |
19. Present Official Plan/Secondary Plan provisions applying to the land:
Neighbourhoods
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
21. Has the owner previously applied for relief in respect of the subject property?
Yes No
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.