

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: AN/A-20:272

APPLICANTS: Owner Alpha Group
Agent Alpha Group

SUBJECT PROPERTY: Municipal address **414 Glancaster Rd., Ancaster**

ZONING BY-LAW: Zoning By-law 05-200, as Amended

ZONING: M11, H37 and P5 district Airport Prestige Business (M11)
zone and Conservation/Hazard Land (P5) zone

PROPOSAL: To permit the construction of a 1,689.33m² warehouse area (Temporary Unheated Storage Area) which is composed of a 17.297m (56'9") x 73.476m (214'0¼") fabric enclosure building and twelve (12), 2.44m (8'0") x 12.192m (40'0") HQ containers, alteration of the existing single detached dwelling into an office accessory to the warehouse and to use an existing detached garage for related parking and establish a new parking area notwithstanding that:

1. Site alteration shall be permitted without the "H37" (Holding) zone being removed in order to allow construction of a 1,689.33m² warehouse area (Temporary Unheated Storage Area) which is composed of a 17.297m (56'9") x 73.476m (214'0¼") fabric enclosure building and twelve (12), 2.44m (8'0") x 12.192m (40'0") HQ containers, alteration of the existing single detached dwelling into an office accessory to the warehouse and to use an existing detached garage for related parking and establish a new parking area notwithstanding that that lands do not have access to servicing, the provision of adequate municipal water, municipal wastewater, and transportation infrastructure in accordance with the respective master plans for the Airport Employment Growth District to the Satisfaction of the Director of Development Engineering as required for removal of the "H37" (Holding) zone.
2. No maximum yard abutting a street shall be required for the proposed warehouse building and twelve containers instead of the maximum yard abutting a street of 27.0m.
3. Parking shall be permitted within the front yard and the southerly side yard instead of the requirement that where a lot has frontage on Garner Road or Glancaster Road or Twenty Road, no parking shall be permitted within the front yard or side yard.
4. A gravel surface shall be permitted for the parking lot instead of the requirement that parking lots shall be designed and maintained with stable surfaces such as asphalt, concrete or other hard-surfaced material.

NOTE:

- i) The applicant has requested a variance for a Temporary Use By-law in order to allow a temporary fabric structure and HQ containers to be built and store COVID-19 supplies for a period of two (2) years. This requested variance is incorrect as the proposed temporary fabric storage building for warehousing of COVID-19 supplies is within the portion of the lot zoned “M11, H37” and the “M11” zone permits a “warehouse” use. Variance 1 is intended to allow site alteration to the portion of the lot zoned “M11, H37” for the temporary fabric structure, the 12 HQ containers, alteration of the existing single detached dwelling into an office accessory to the warehouse and to use an existing detached garage for related parking and establish a new parking area without requiring a Zoning By-law Amendment to remove the “H37” (Holding) zone.
- ii) The lands are subject to Site Plan Control. To date, a Site Plan Control Application has not been submitted by the Applicant. As such, a full zoning review has not been conducted. Further variances may be required at such time that a full zoning review is conducted on the proposal.
- iii) All development in the City of Hamilton shall comply with the Hamilton Airport Zoning (Height) Regulations established by Transport Canada, which are registered at the local Land Titles Office and which may be amended from time to time.
- iv) The existing single detached dwelling is intended to be renovated in order to be used for an office for the warehouse and the existing detached garage is to be used for parking related to the warehouse and accessory office use.

This application will be heard by the Committee as shown below:

DATE:	Thursday, August 26th, 2021
TIME:	1:35 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
To be streamed at	www.hamilton.ca/committeeofadjustment
for viewing purposes only	

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

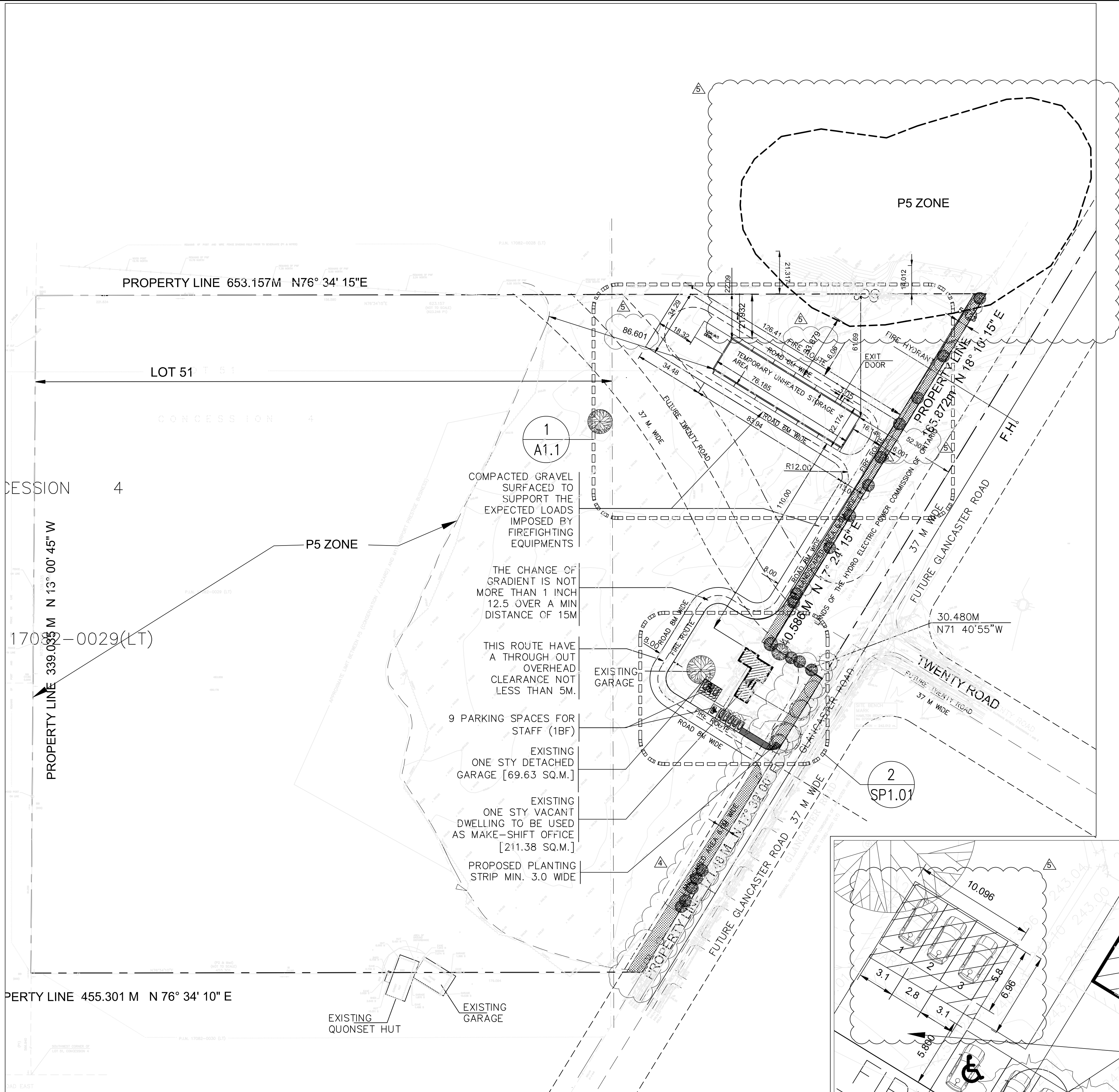
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

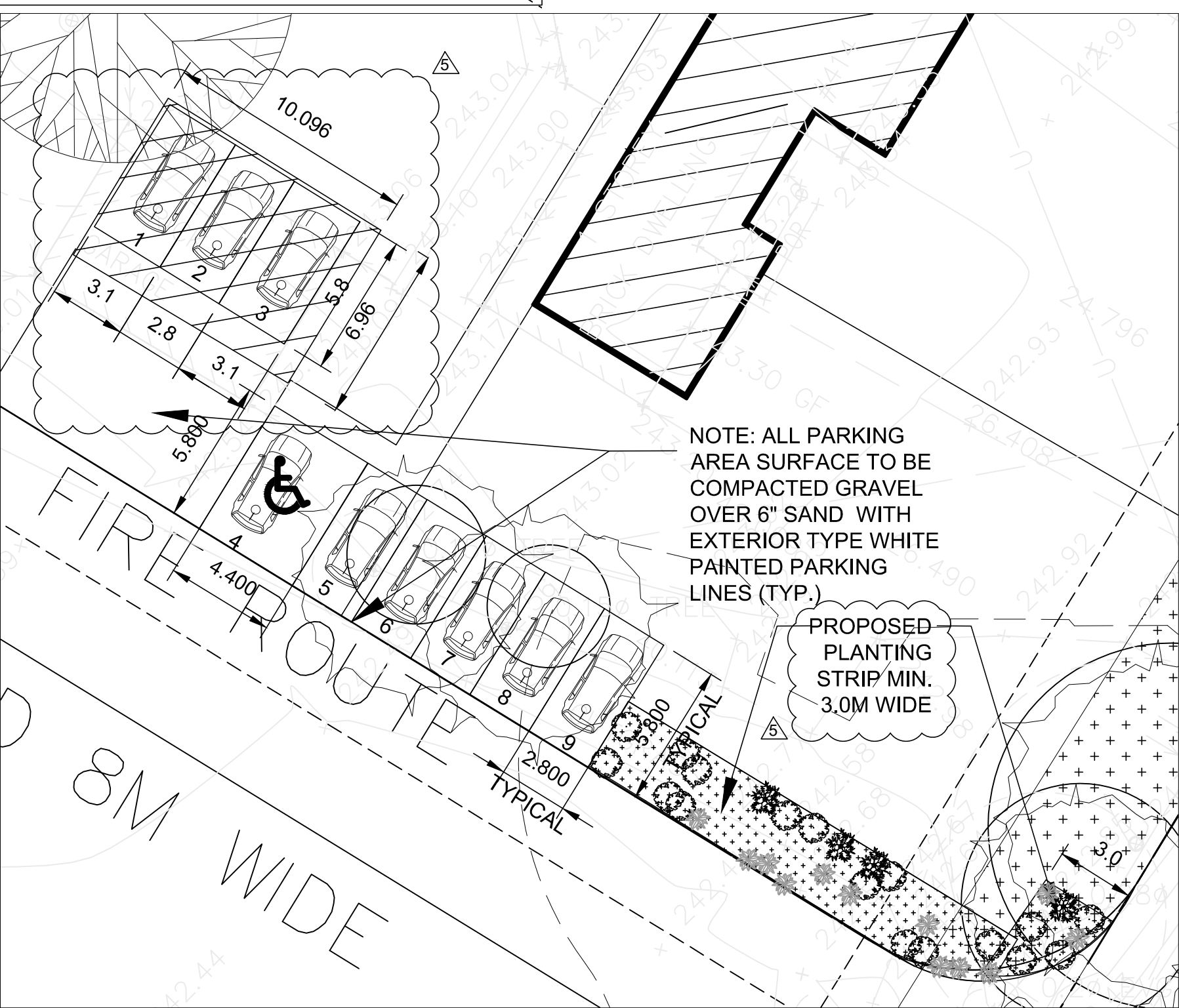
DATED: August 10th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



1 SITE PLAN
SCALE= 1:1200



2 DETAIL OF PARKING AREA
SCALE= 1:200

Name of Practice:
ARCHISYSTEM INC.
CERTIFICATE OF PRACTICE # 5465

Name of Project:
TEMPORARY STORAGE FACILITY FOR COVID-19 PPE SUPPLIES AT 414 GLANCASTER ROAD, ANCASTER, ON.

ONTARIO BUILDING CODE MATRIX - PART 3 OR 9		OBC References							
		PART 11	PART 3	PART 9					
Project Description: TEMPORARY STORAGE FACILITY USING STEEL CONTAINERS AND MODULAR OWS/ NON-COMB. FABRIC ENCLOSURE		11.1 TO 11.4	1.12 [A]						
MAJOR OCCUPANCY(S) F3-LOW HAZARD INDUSTRIAL			3.1.2.1.(1)	9.10.2					
BUILDING AREA (m2) EXISTING 281.01 SQ.M. NEW 1,689.33 SQ.M. TOTAL 1,970.34 SQ.M.			1.4.1.2[A]	1.4.1.2[A]					
GROSS AREA EXISTING 211.38 SQ.M. NEW 1,689.33 SQ.M. TOTAL 1,970.34 SQ.M. * EXCL. EX. DETACHED GARAGE			1.4.1.2[A]	1.4.1.2[A]					
NUMBER OF STOREYS ABOVE GRADE 1 BELOW GRADE 0									
NUMBER OF STREETS / FIRE FIGHTER ACCESS 1			3.1.2.1.(1)	9.10.2					
BUILDING CLASSIFICATION 3.2.2.82 (GROUP F) UP TO 1 STOREY			3.1.3.1.(2)	9.10.9.11(3)					
SPRINKLER SYSTEM PROPOSED ☐ ENTIRE BUILDING ☐ SELECTED COMPARTMENTS ☐ SELECTED FLOOR AREAS ☐ BASEMENT ☐ IN LIEU OF ROOF RATING ☒ NOT REQUIRED			3.2.2.20-63 3.2.2.76 3.2.1.5 3.2.2.17	9.10.2.1 9.18.2					
STANDPIPE REQUIRED ☐ YES ☒ NO <3000 m2			3.2.9.1	N/A					
FIRE ALARM REQUIRED ☐ YES ☒ NO <75 P			3.2.4.1 (h)	9.10.18					
WATER SERVICE / SUPPLY IS ADEQUATE ☒ YES ☐ NO			3.2.5.7	N/A					
HIGH BUILDING ☐ YES ☒ NO			3.2.6	N/A					
CONSTRUCTION RESTRICTIONS ☐ COMBUSTIBLE PERMITTED ☒ NON-COMBUSTIBLE PERMITTED ☐ BOTH			3.2.2.57	9.10.8					
ACTUAL CONSTRUCTION ☐ COMBUSTIBLE ☒ NON-COMBUSTIBLE ☐ BOTH									
MAZZANINE(S) AREA (m2) 0			3.2.1.1.(3)+(8)	9.10.4.1					
OCCUPANT LOAD BASED ON ☐ m2/PERSON ☒ DESIGN OF BUILDING			3.1.17.	9.9.1.3					
1ST FLOOR OCCUPANCY (WAREHOUSE) MAX. LOAD 8 PERSONS									
BARRIER-FREE DESIGN ☒ YES ☐ NO (EXPLAIN)			3.8.	9.5.2.					
HAZARDOUS SUBSTANCES ☐ YES ☒ NO			3.3.1.2 & 3.3.1.19	9.10.1.3.(4)					
REQUIRED FIRE RESISTANCE RATING (FRR) FLOOR 0 HOURS ROOF 0 HOURS MEZZANINE N/A HOURS			3.2.2.59	9.10.8 9.10.9					
SPATIAL SEPERATION - CONSTRUCTION OF EXTERIOR WALLS									
	Area of EBF (m2)	L.D. or H.L.	Permitted Max % of Openings	Proposed % of Openings	FRR (Hours)	Listed Design or Description	Comb. Const.	Comb. Const. Non-Cladding	Non-Comb. Const.
NORTH	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
SOUTH	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
EAST	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
WEST	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
* FROM CENTRE LINE OF PROPERTY									
PLUMBING FIXTURE REQUIREMENTS							OBC References		
							PART 3	PART 9	
Male/Female Count @ 50 % 50 % except noted otherwise		OCCUPANT LOAD	OBC TABLE NO.	FIXTURES REQUIRED	FIXTURES PROVIDED				
1ST Floor Occupancy F3		8	3.7.4.9(1)	EXISTING	8 (EXIST'G)	3.7.4.9 (1)			
OTHER (Describe)									

SITE STATISTICS:

LOT AREA	=187,432.20 SQ.M. [46.31 AC / 18.74 HA]
EXISTING BUILDINGS AREA	=211.38 SQ.M.
EXISTING DETACHED GARAGE AREA	= 69.63 SQ.M.
PROPOSED TEMP. STORAGE BUILDING AREA	=1,689.33 sq.m
LOT COVERAGE	=1,900.72 SQ.M. (1.014 %)
LANDSCAPED AREA	=121310.39 SQ.M. (64.72%)
EXISTING CAR PARKING	= 3 CAR PARKING
PROPOSED CAR PARKING	= 6 CAR PARKING
TOTAL CAR PARKING	=9 CAR PARKING (1 B.F.)
BICYCLE PARKING	= NOT REQUIRED



KEY PLAN
A1.0 N.T.S

PROJECT ARCHITECTS:
ARCHISYSTEM INC.
CONSULTING ARCHITECTS
CERTIFICATE OF PRACTICE # 5465

80 Eastern Ave. Unit A9, Brampton, ON
Canada L6W 0B6
Tel: (905) 858-2665 (C) 847-295-2665
www.theirchisystem.com
e-mail: archisystem@gmail.com

NOTES:
THE DRAWINGS SHALL NOT BE SCALED.
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUM AND LEVELS PRIOR TO COMMENCING THE WORK. FAILURE TO THAT THE CONTRACTOR WILL BE LIABLE TO RECTIFY WITHOUT EXTRA COST.
ALL ERRORS AND OMISSIONS TO BE REPORTED IMMEDIATELY TO THE ARCHITECT. VARIATIONS AND MODIFICATIONS TO WORK SHOWN ON THIS DRAWING SHALL NOT BE CARRIED OUT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
THIS DRAWING IS EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REPRODUCED WITHOUT THE ARCHITECT'S PERMISSION.
ALL WORKS TO BE DONE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO PREVAILING ONTARIO BUILDING CODE.

OWNER / CLIENT:
ALPHA GROUP
USDA ASHA

Structural Engineers:

REVISIONS	04.22.2021
REVISIONS	04.05.2021
REVISIONS	03.21.2021
REVISIONS	06.01.2020
BUILDING PERMIT	05-28-2020
REVISIONS:	ISSUED:

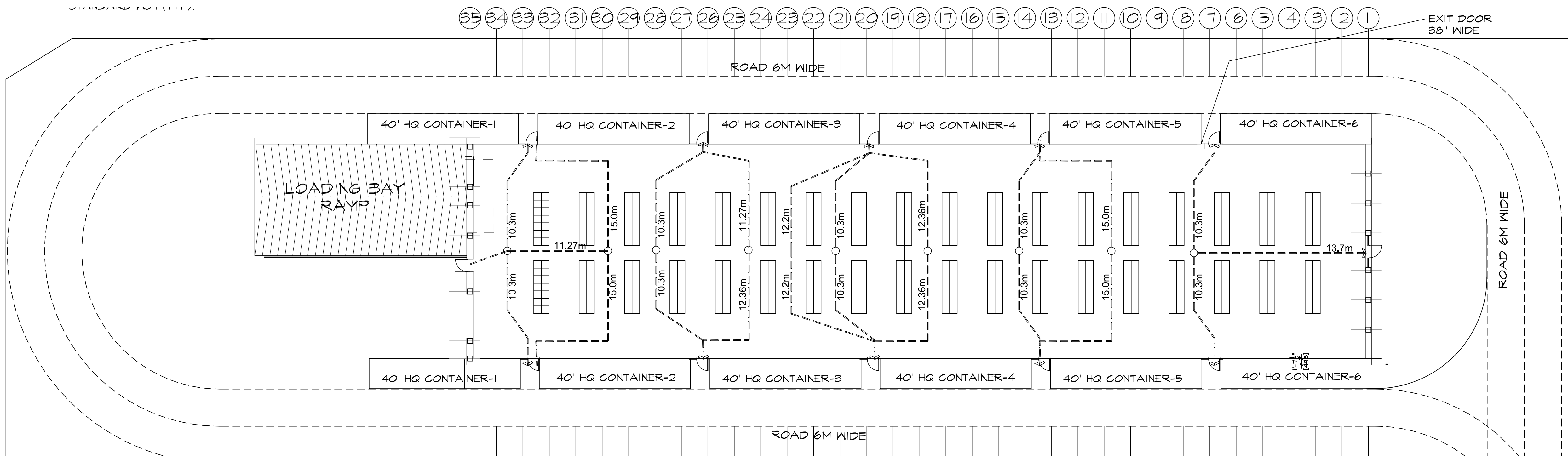
PROJECT:
TEMPORARY STORAGE FACILITY FOR COVID-19 PPE SUPPLIES

414 GLANCASTER ROAD, ANCASTER (WARD 12), ONTARIO.

DRAWING TITLE:
PERMIT DRAWINGS

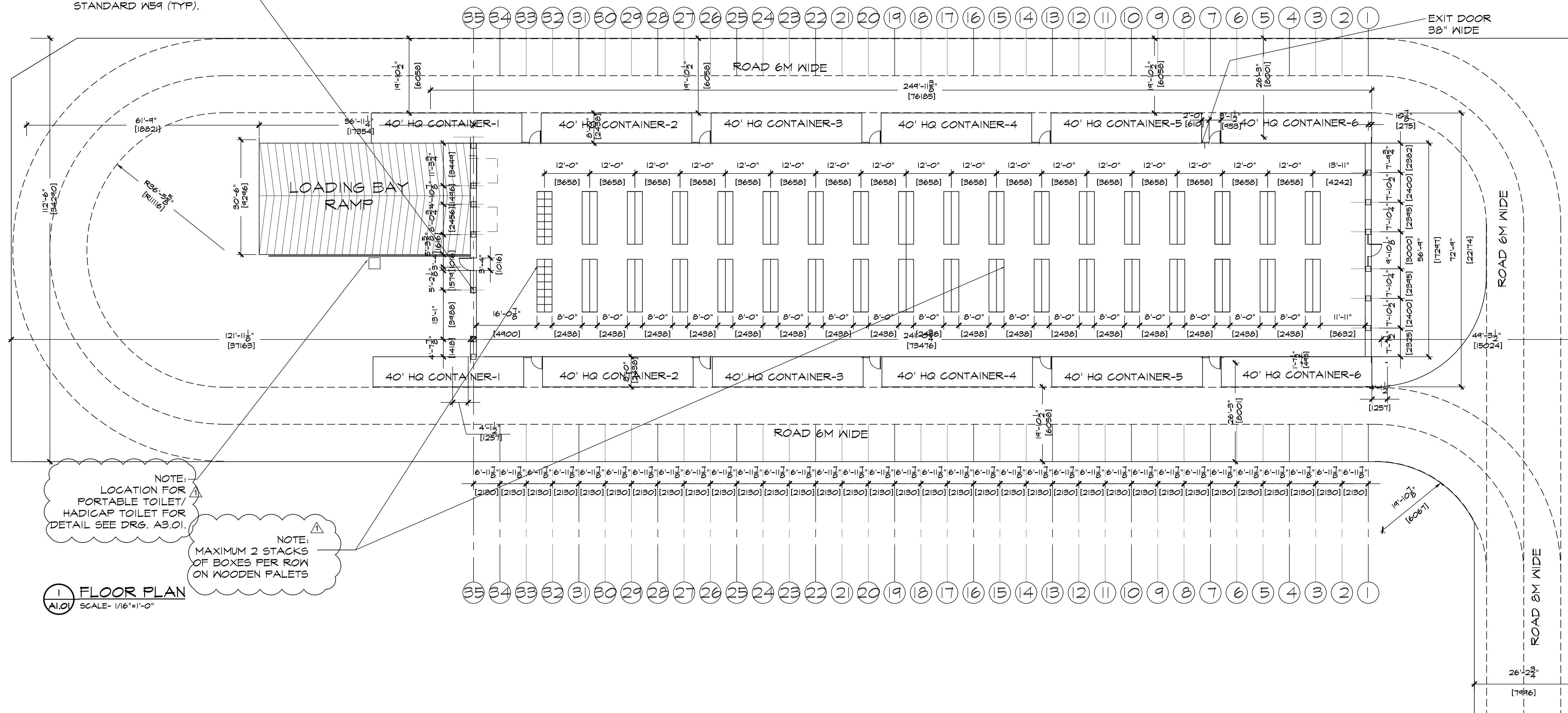
SHEET TITLE:
SITE PLAN

JOB #: 2020053
SCALE: AS NOTED
SHEET NO: **SP1.01**



2 EGRESS ROUTES PLAN
SCALE: 1/16"=1'-0"

FRAME WITH @ 150 X 19
(STEEL CH.) BOTH
VERTICAL &
HORIZONTAL BY
WELDING AS PER CSA
STANDARD W59 (TYP).



NOTE:
LOCATION FOR
PORTABLE TOILET/
HADICAP TOILET FOR
DETAIL SEE DRG. A3.01.

NOTE:
MAXIMUM 2 STACKS
OF BOXES PER ROW
ON WOODEN PALETS

1 FLOOR PLAN
SCALE: 1/16"=1'-0"

DESIGN NOTE:
SUPER STRUCTURE AS PER
MANUFACTURE'S SPECIFICATION.
EACH TYP. CONTAINER DETAILS:
LENGTH = 40'-0"
WIDTH = 8'-0"
HEIGHT = 9'-6"
WEIGHT (EMPTY) = 3740 Kg (8245 lbs)
Wind speed 120 km/h
Snow load 80 kg/m² = 150 kPa SLS
Soil Bearing Capacity = 225kPa ULS

TOP OF FLOOR & RAMP SHALL BE
MADE OF 3" DOWN-GRADED STONE
MIXED WITH COURSE SAND AND
COMPACTED TO 98% SPMD

PROJECT ARCHITECTS:

ARCHISYSTEM INC.
CONSULTING ARCHITECTS
CERTIFICATE OF PRACTICE # 5466
30 Eastern Ave. Unit A3, Brampton, ON
Canada L6Y 0B5
Tel: (C) 305-858-2585 (C) 847-395-2565
www.archisystem.com
email: archisystem@gmail.com

NOTES:

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LEVELS PRIOR TO COMMENCING THE WORK. FAILURE TO
DO SO SHALL BE AT THE CONTRACTOR'S RISK. THE CONTRACTOR SHALL BE LIABLE TO RECTIFY
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PRACTICE AND CONFORM TO PREVAILING ONTARIO
BUILDING CODE

OWNER / CLIENT:

ALPHA GROUP
UZMA AISHA

Structural Engineers:

SIGMA
ENGINEERS & ASSOCIATES
2925 TORRIS RD. UNIT NO. 3 MISSISSAUGA,
ONTARIO, L4W 4L5
TEL: 905-461-8906 FAX: 905-564-7001
EMAIL: sigmaengr@gmail.com
Contact: Engr. Abukamal Ud Din

ARCH/ST. REVISIONS 05.31.2020
REVISIONS: ISSUED:

ONTARIO ASSOCIATION
OF
ARCHITECTS
ARCHITECT
SARWAT S. AHMED
LICENCE
7987
PROFESSIONAL ENGINEER
K. M. KAMALUDDIN
100116494
APR 30, 2020
PROVINCE OF ONTARIO

PROJECT:

**TEMPORARY
STORAGE FACILITY
FOR COVID-19 PPE
SUPPLIES**

414 GLANCASTER ROAD, ANCASTER
(WARD 12), ONTARIO.

DRAWING TITLE:

PERMIT DRAWINGS

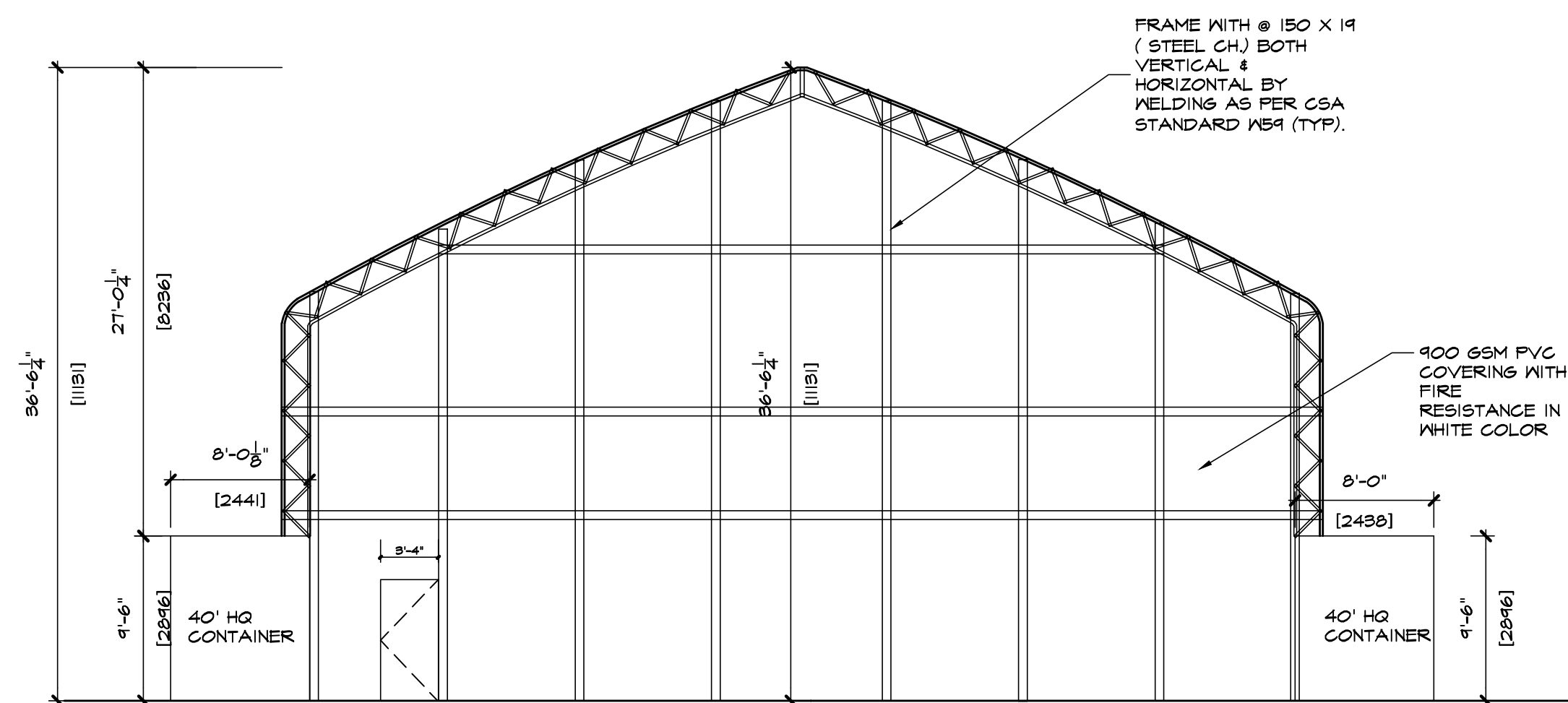
SHEET TITLE:

**FLOOR PLAN & TRAVEL
DISTANCE PLAN**

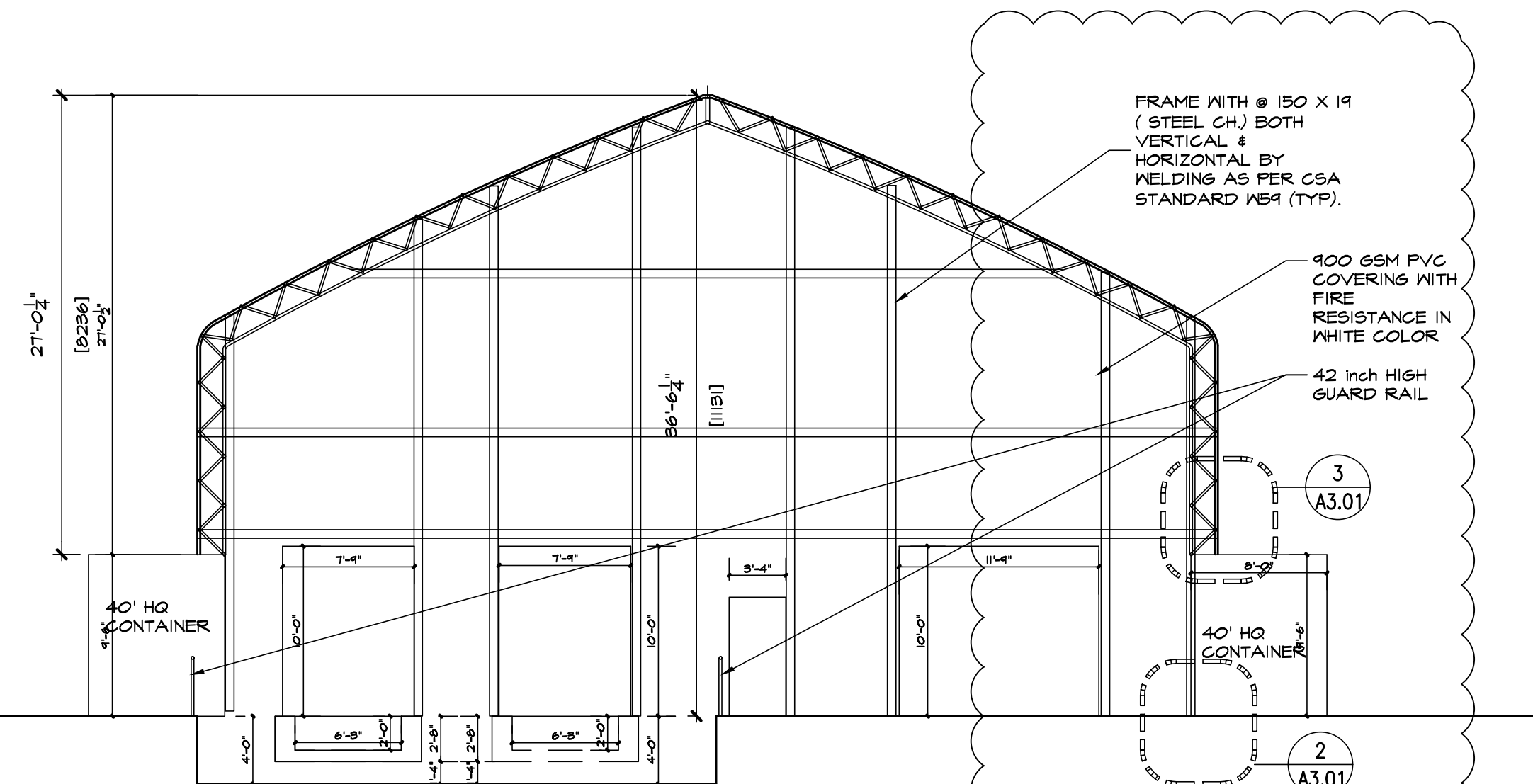
JOB #: 2020053

SCALE: AS NOTED

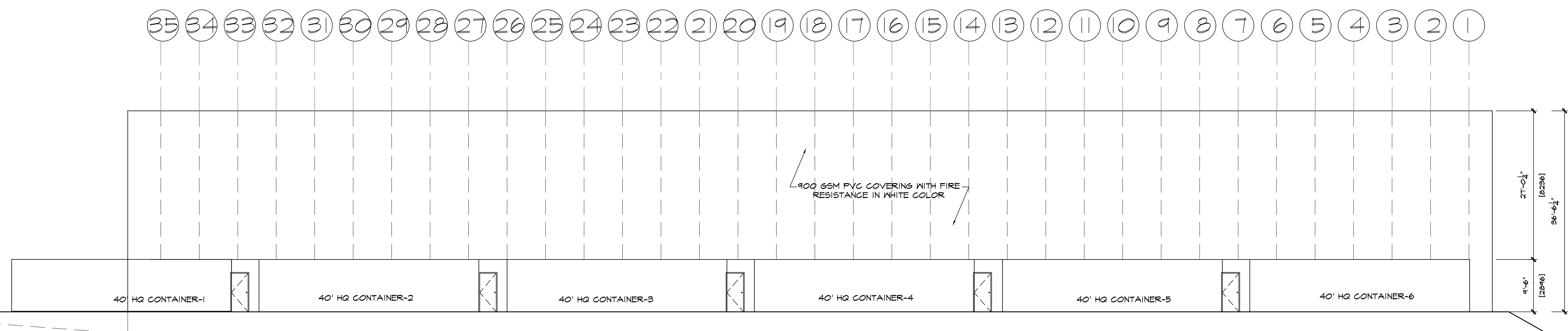
SHEET NO: A1.01



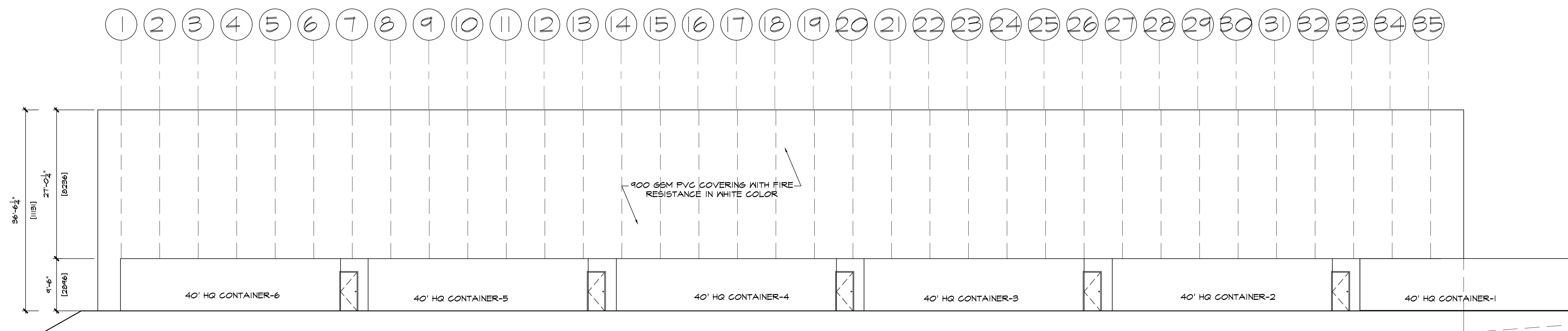
1 EAST ELEVATION
SCALE- 1/8"=1'-0"



2 WEST ELEVATION
SCALE- 1/8"=1'-0"



3 SOUTH ELEVATION
SCALE- 3/32"=1'-0"



4 NORTH ELEVATION
SCALE- 3/32"=1'-0"

NOTE:

SUPER STRUCTURE AS PER MANUFACTURE'S SPECIFICATION.

EACH TYP. CONTAINER DETAILS:

LENGTH = 40'-0"
WIDTH = 8'-0"
HEIGHT = 9'-6"
WEIGHT (EMPTY) = 3740 Kg (8245 lbs)

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Snow load 80 kg/m2

NOTE:

TOP OF FLOOR & RAMP SHALL BE MADE OF 3" DOWN-GRADED STONE MIXED WITH COURSE SAND AND COMPACTED TO 98% SPMD

PROJECT ARCHITECTS:

ARCHISYSTEM INC.
CONSULTING ARCHITECTS
CERTIFICATE OF PRACTICE # 5465
80 Eastern Ave. Unit A11, Brantford, ON
Canada L6W 0B5
Tel: (519) 355-8888 (C) 347-395-2565
www.archisystem.ca
Email: info@archisystem.com

NOTES:

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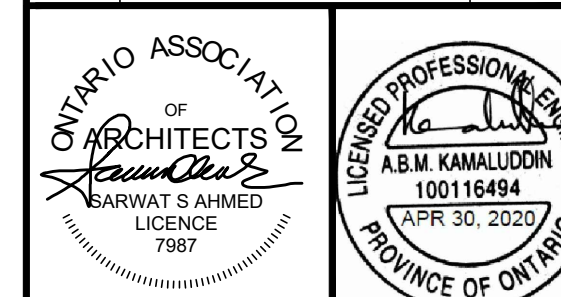
OWNER / CLIENT:

ALPHA GROUP
UZMA AISHA

Structural Engineers:

SIGMA
ENGINEERS & ASSOCIATES
1923 TOMKEN RD. UNIT NO. 5 MISSISSAUGA,
ONTARIO, L4W 4L4
TEL: 905-461-3906 FAX: 905-564-7001
EMAIL: info@sigma-eng.com
Contact: Engr. AbuKamal Ud Din

ARCH/ST. REVISIONS	05.31.2020
REVISIONS:	ISSUED:



PROJECT:

**TEMPORARY
STORAGE FACILITY
FOR COVID-19 PPE
SUPPLIES**

414 GLANCASTER ROAD, ANCASTER
(WARD 12), ONTARIO.

DRAWING TITLE:

PERMIT DRAWINGS

SHEET TITLE:

ELEVATIONS

JOB #: 2020053

SCALE: AS NOTED

SHEET NO.

A2.01



Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

**PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.**

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

**CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO**

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner Alpha Group _____ Telephone No. _____

FAX NO. _____ E-mail address. _____

2. Address _____
_____ Postal Code _____

3. Name of Agent Harry Aasman _____ Telephone No. _____

FAX NO. _____ E-mail address. _____

4. Address _____
_____ Postal Code _____

Note: Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:

_____ Postal Code _____

_____ Postal Code _____

6. Nature and extent of relief applied for:
Seeking permission to construct and use a temporary structure for a period of 2 years
to store and distribute COVID-19 relief products on the property.
7. Why it is not possible to comply with the provisions of the By-law?
Due to a holding provision on the site, no development is allowed on site until the services
along Glancaster Road are upgraded. This use will not increase the needs for
services.
8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):
Lot 51, Concession 4
9. PREVIOUS USE OF PROPERTY
- Residential ☒ Industrial ☐ Commercial ☐
Agricultural ☐ Vacant ☐
Other
- 9.1 If Industrial or Commercial, specify use
- 9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes ☐ No ☒ Unknown ☐
- 9.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes ☐ No ☒ Unknown ☐
- 9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes ☐ No ☒ Unknown ☐
- 9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes ☐ No ☒ Unknown ☐
- 9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes ☐ No ☒ Unknown ☐
- 9.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes ☐ No ☒ Unknown ☐
- 9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes ☐ No ☒ Unknown ☐

- 9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
Yes _____ No X Unknown _____
- 9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?
Yes _____ No X Unknown _____
- 9.11 What information did you use to determine the answers to 9.1 to 9.10 above?
A Phase 1 ESA was completed for the site by Pinchin Ltd. in August of 2018. The results of which were used to answer the above questions.
- 9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.
Is the previous use inventory attached? Yes _____ No _____

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

11-25-20
Date


Signature Property Owner

UZMA AISHA
Print Name of Owner

10. Dimensions of lands affected:
Frontage 562.16m
Depth _____
Area 18.2 ha
Width of street 26.213 m
11. Particulars of all buildings and structures on or proposed for the subject lands:
(Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)
Existing: One storey single detached dwelling with a footprint area of 416 sq. m.
A single storey detached garage with a footprint area of 81 sq. m.

Proposed: The single detached dwelling will remain.
Proposed single storey temporary storage building with a footprint area of 5,132.92 m²
(55,250.29 ft²)

12. Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)
Existing: Front: 23.99 m, Side: 7.07 m, Rear: 500.86 m

Proposed: Front: 39.81 m, Side: 50.15 m, Rear: 401.61 m

13. Date of acquisition of subject lands:
Currently Unknown
14. Date of construction of all buildings and structures on subject lands:
1967
15. Existing uses of the subject property: Single detached residential dwelling
16. Existing uses of abutting properties: Residential across Glancaster Road to the east.
Industrial zoned lands are located to the immediate north, south and west
17. Length of time the existing uses of the subject property have continued:
Since construction in the 1960s.
18. Municipal services available: (check the appropriate space or spaces)
Water 200 mm ductile and 600 mm concrete watermain Connected Yes
Sanitary Sewer N/A Connected No
Storm Sewers N/A
19. Present Official Plan/Secondary Plan provisions applying to the land:
Lands are located within the Airport Employment Growth District
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
There is a holding provision on site which requires services.
21. Has the owner previously applied for relief in respect of the subject property?
☒ Yes ☐ No
If the answer is yes, describe briefly.
We had a formal consultation with the City of Hamilton, but they refused to entertain the idea of a temporary storage facility on the site without upgrading the services despite the fact that no workers will be present on site on a daily basis.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes ☒ No
23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps