

NOTICE OF PUBLIC HEARING

Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-21:272

APPLICANTS: Owner J. Schertzer & S. Henderson
Agent Duy Nguyen

SUBJECT PROPERTY: Municipal address **178 Dromore Cres., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended by By-law 96-109

ZONING: C/S-1361 district (Urban Protected Residential, etc.)

PROPOSAL: To permit the construction of a one-storey rear addition to the existing single-family dwelling, notwithstanding,

1. A floor area ratio of 0.86 shall be applied, permitting a maximum gross floor area of 286.0 square metres, instead of the maximum permitted floor area ratio of 0.45, allowing a maximum gross floor area of 149.65 square metres;

2. A minimum easterly side yard width of 0.9 metres shall be provided to the proposed rear addition instead of the minimum required side yard width of 1.2 metres;

3. An eave and gutter shall be permitted to encroach the entire width of the easterly side yard instead of the maximum permitted encroachment of one-half the width of the required side yard;

4. Two (2) parking spaces shall be permitted to be located within the front yard whereas the Zoning By-law permits only one (1) parking space to be located with the front yard; and,

5. Accessibility to three (3) of the required parking spaces shall be permitted to be obstructed by another parking space whereas the Zoning By-law permits the accessibility to only one (1) parking space to be obstructed by other required parking spaces.

NOTES:

1. A proposed gross floor area of 283.82 square metres, as noted in the application, has been used to determine the proposed floor area ratio. It is unclear if the applicant has applied the deduction permitted by Section 2(a)(ii) of By-law 96-109 as details of the areas occupied by laundry facilities and HVAC equipment have not been provided.

2. A further variance will be required should any portion of the single family dwelling provide a ceiling height in excess of 4.6 metres.

This application will be heard by the Committee as shown below:

DATE:	Thursday, August 26th, 2021
TIME:	1:55 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	To be streamed at
	www.hamilton.ca/committeeofadjustment
	for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

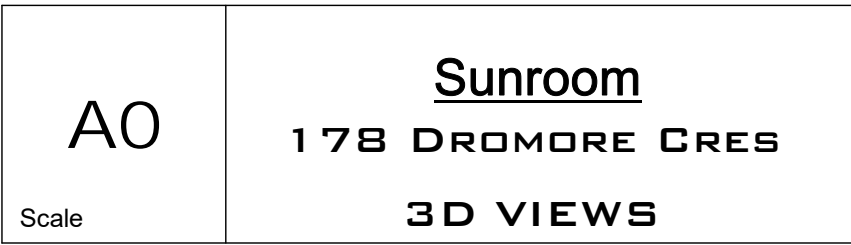
- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

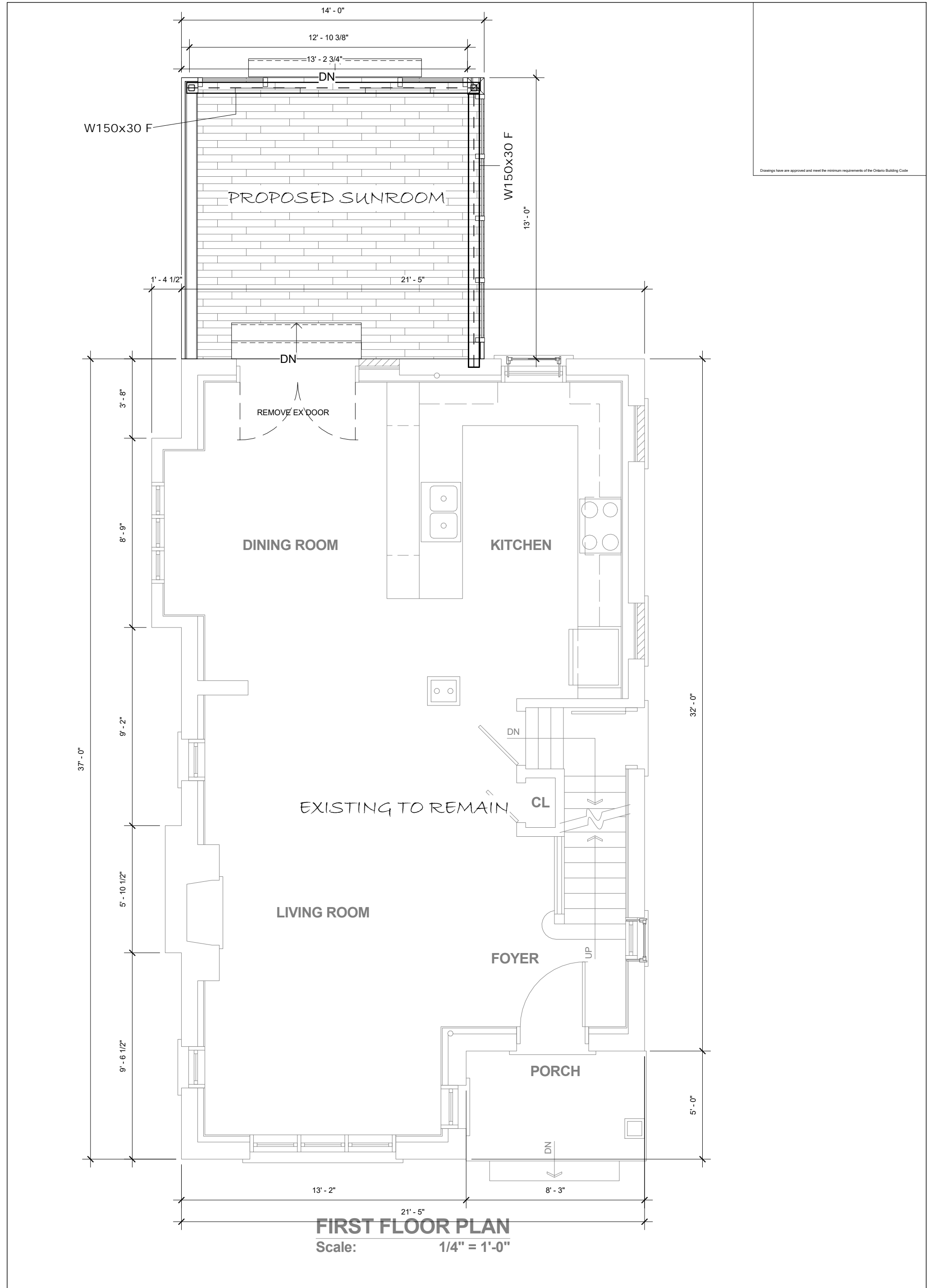
DATED: August 10th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

Drawings have been approved and meet the requirements of the local planning authority.

[illegible]



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A1.01

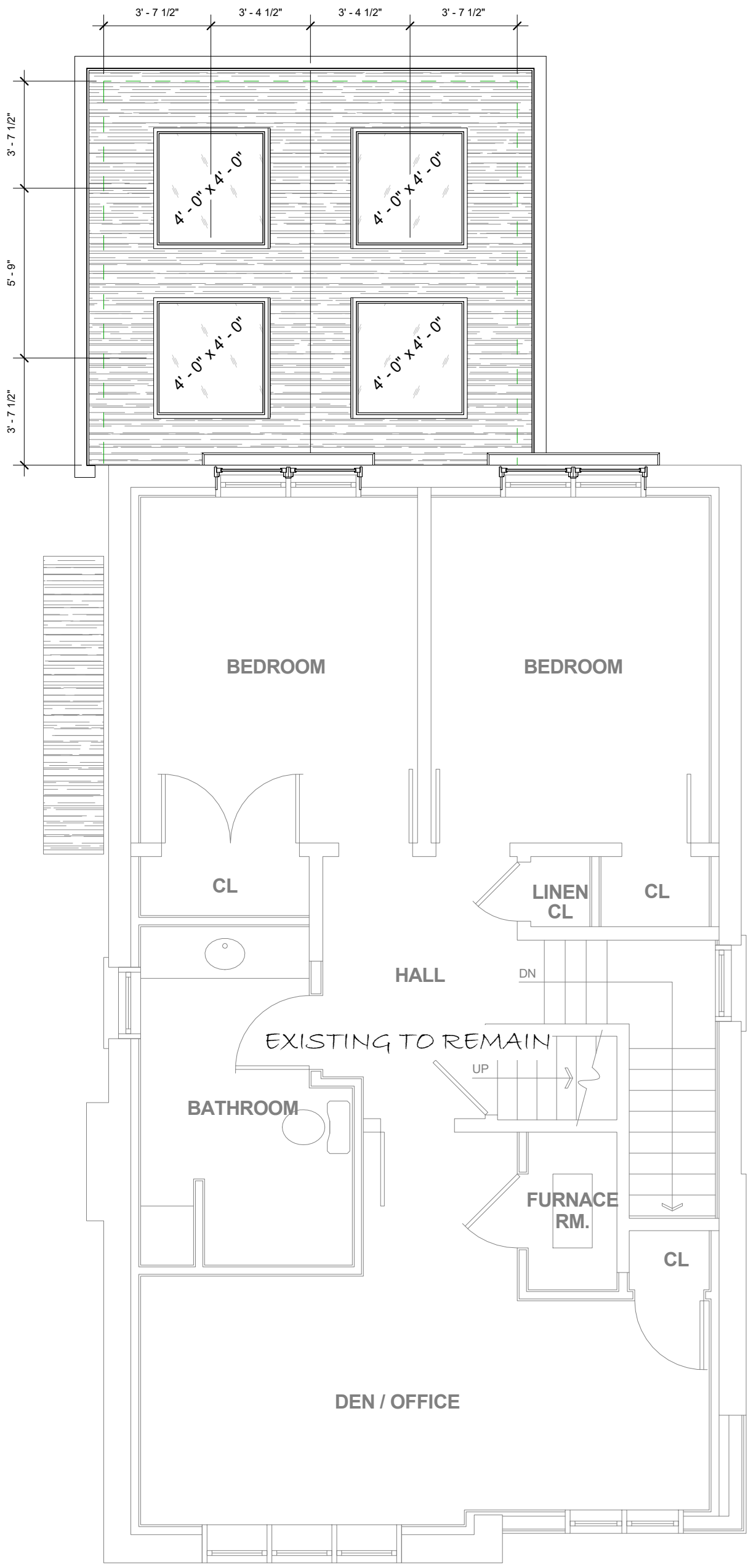
Scale 1/4" = 1'-0"

Sunroom

178 DROMORE CRES

FIRST FLOOR PLAN

No.	Description	Date
1	Issue for Variance	2021-5-20



Drawings have are approved and meet the minimum requirements of the Ontario Building Code

SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"

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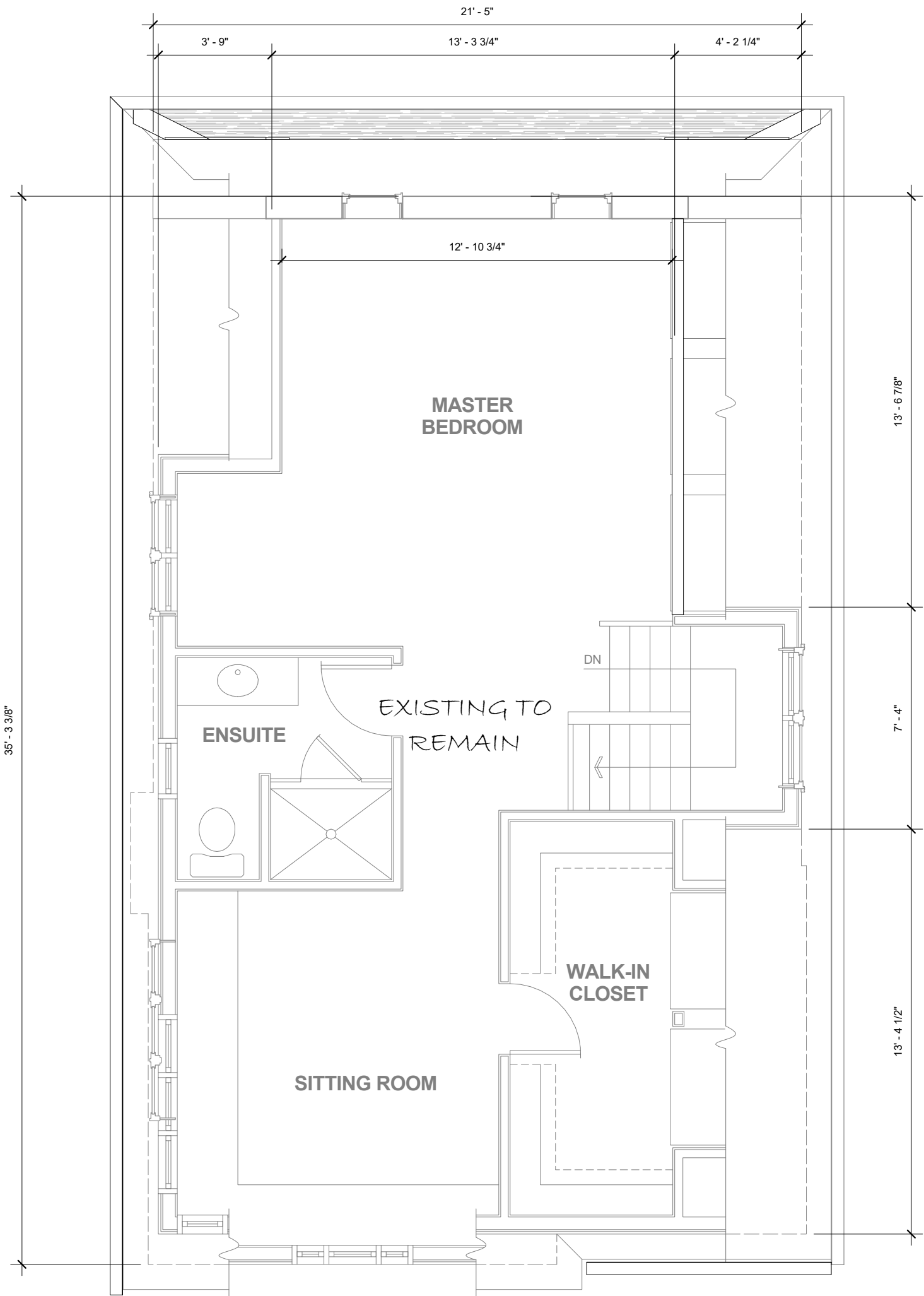
Scale 1/4" = 1'-0"

Sunroom

178 DROMORE CRES

SECOND FLOOR PLAN

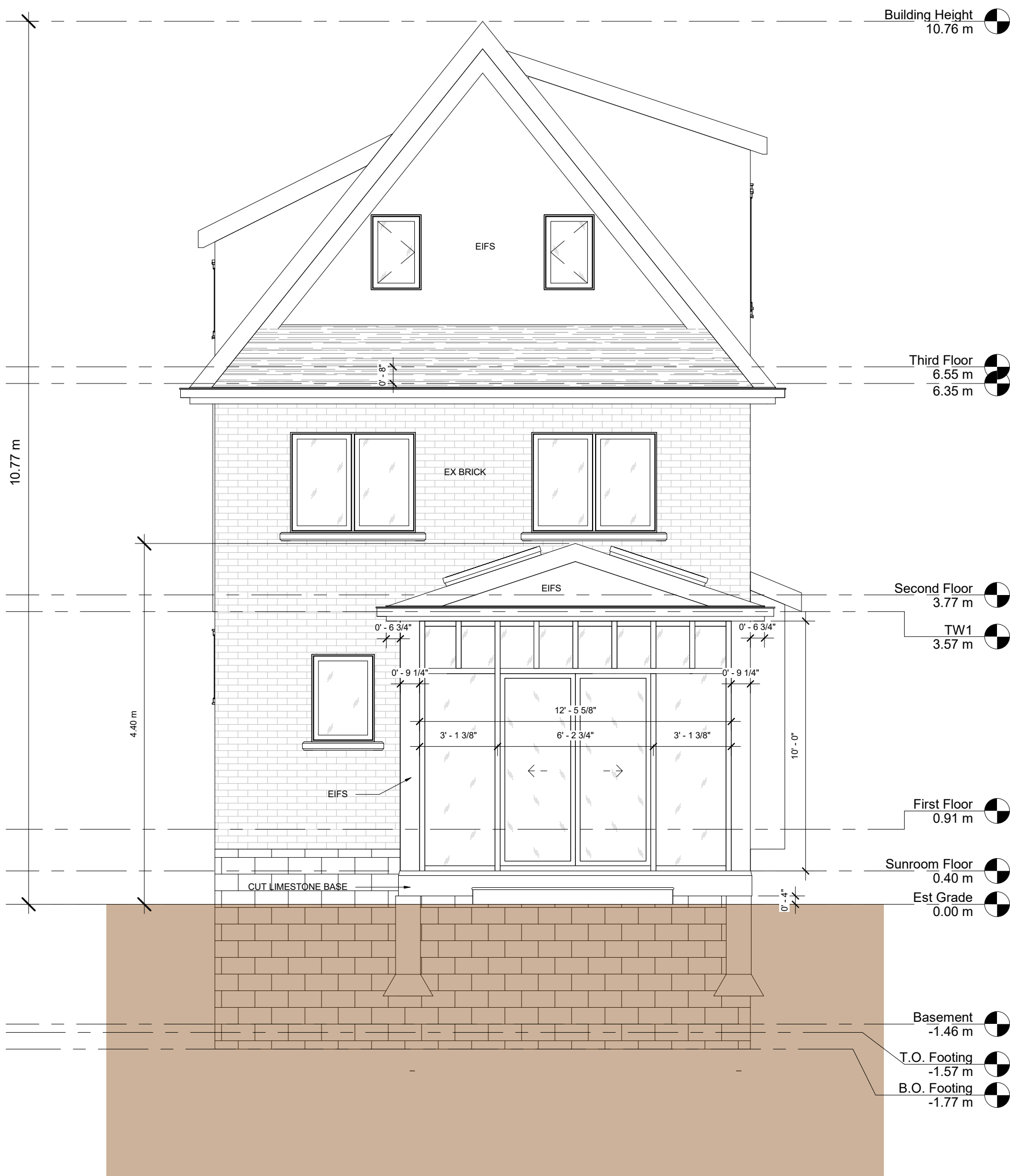
No.	Description	Date
1	Issue for Variance	2021-5-20



THIRD FLOOR PLAN
Scale: 1/4" = 1'-0"

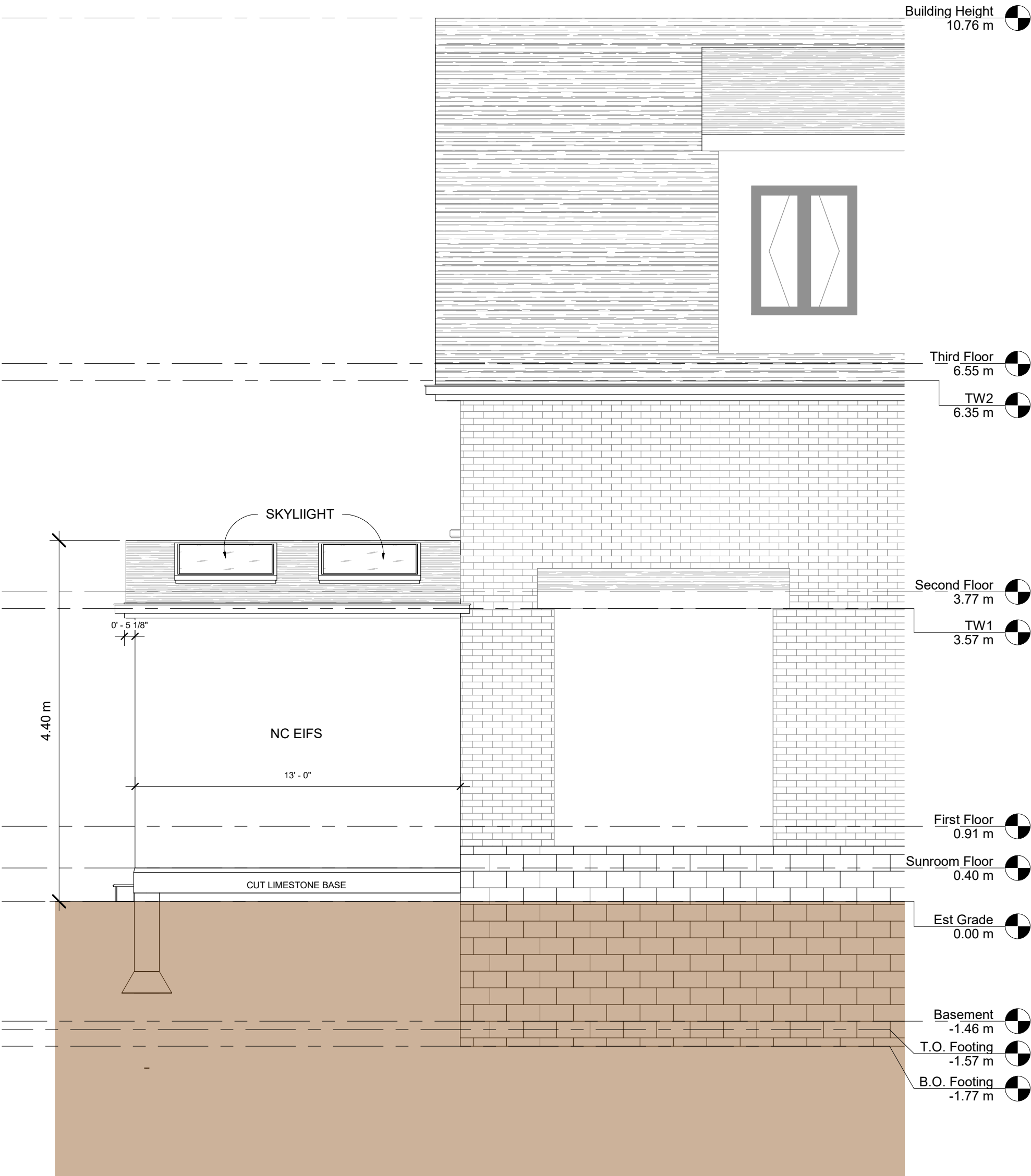
No.	Description	Date
1	Issue for Variance	2021-5-20

Drawings have are approved and meet the minimum requirements of the Ontario Building Code

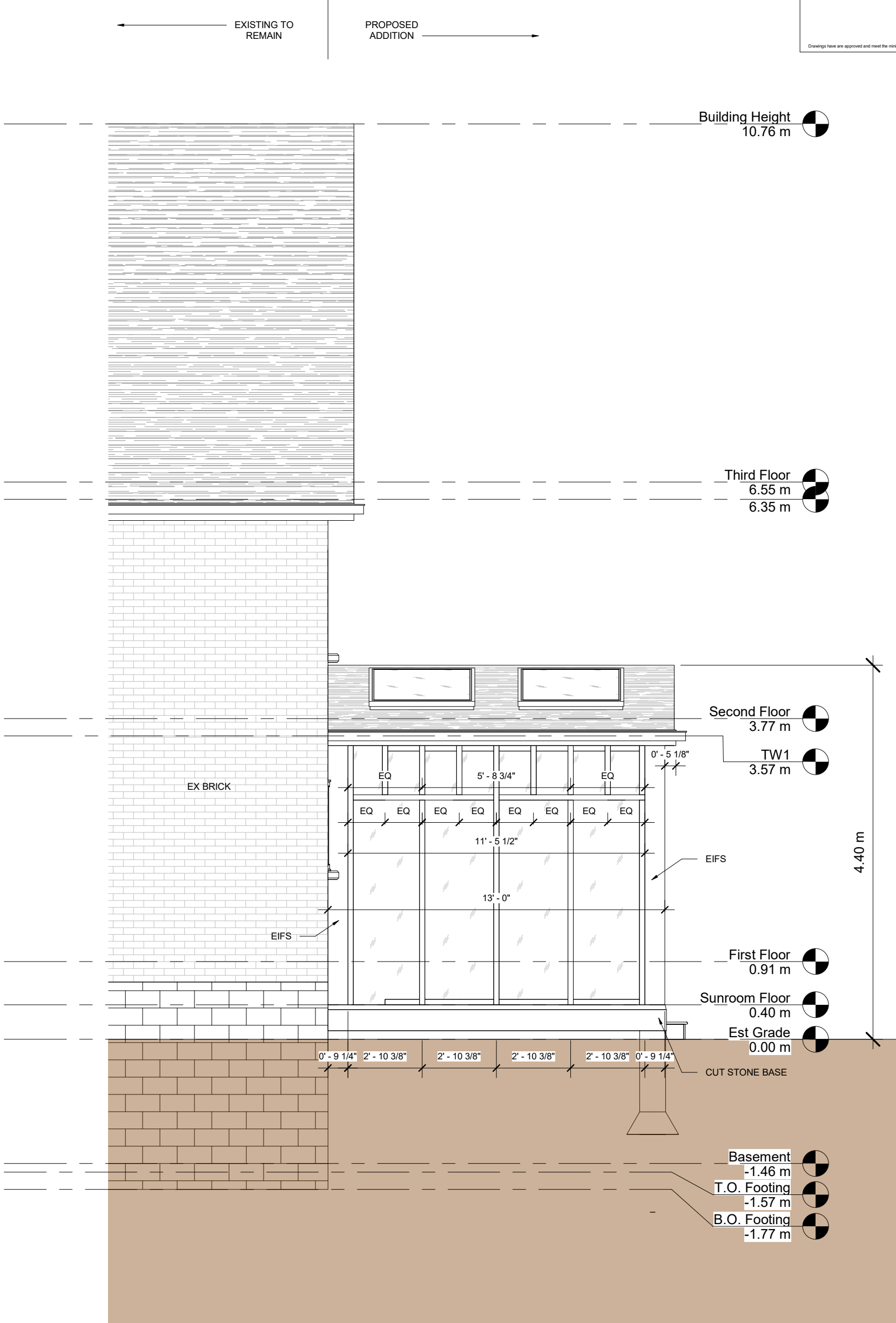


No.	Description	Date
1	Issue for Variance	2021-5-20

← PROPOSED ADDITION EXISTING TO REMAIN →



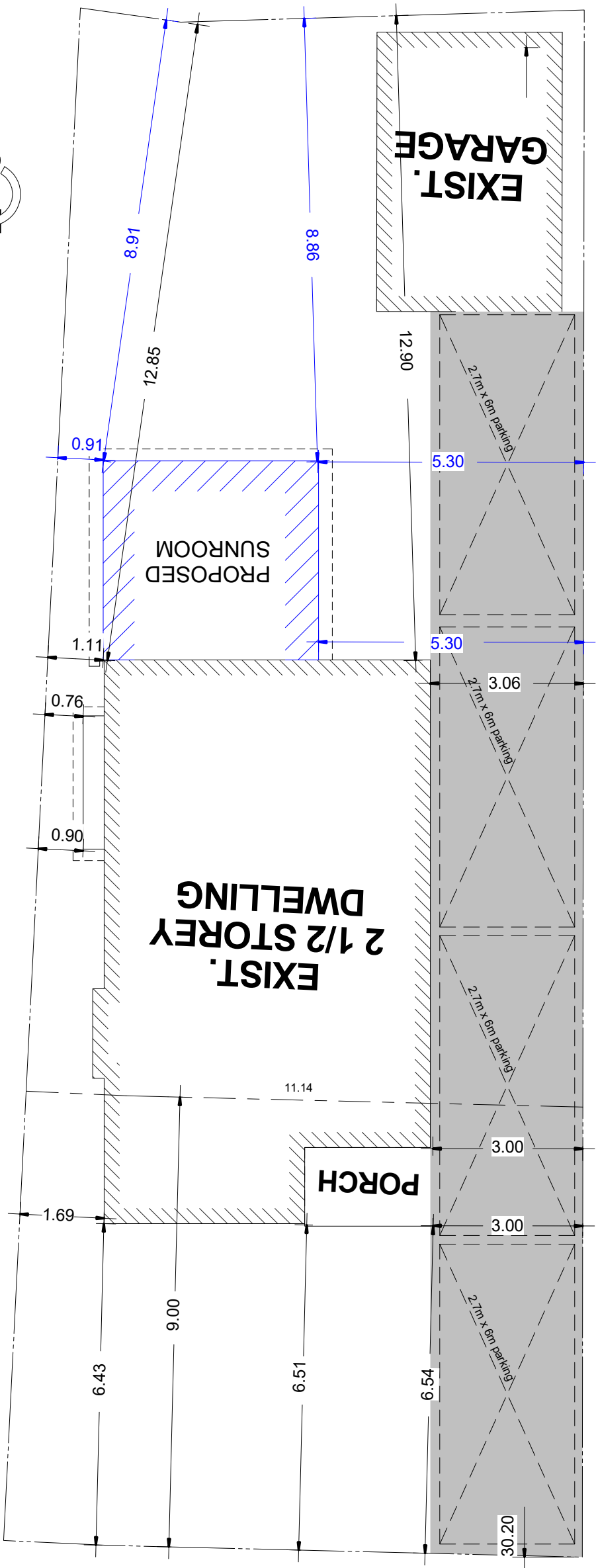
No.	Description	Date
1	Issue for Variance	2021-5-20



No.	Description	Date
1	Issue for Variance	2021-5-20



Drawings have are approved and meet the minimum requirements of the Ontario Building Code



178 Dromore Cresent, Zoning By-Law 6593 C/S-1361 C/S-1788							
Building Information			Area				
			Existing		Proposed		
			SF	SM	SF	SM	
Lot Area			3579.65	332.56	NC	NC	
Gross Floor Area	Basement	752.00	69.86	752.00	69.86		
	Ground	764.00	70.98	942.00	87.51		
	Second Floor	762.00	70.79	762.00	70.79		
	Third Floor	599.00	55.65	599.00	55.65		
	GFA Subtotal	2877.00	267.28	3055.00	283.82		
NOTE: GFA MEASURED TO THE EXTERIOR FACE OF EXTERIOR WALLS							
Building		Allowed	Existing	Proposed			
Storeys		3	2.5	2.5			
GFA Ratio		Allowed	Existing	Proposed			
GFA		N/A	80.37%	85.34%			
Distances		Allowed		Existing		Proposed (to addition)	
		(ft)	(m)	(ft)	(m)	(ft)	(m)
Building Height		36.09	11.00	35.33	10.77	14.44	4.4
Lot Width		NA	NA	33.04	10.07	33.04	10.07
S - Rear Yard Setback		24.61	7.50	42.16	12.85	29.07	8.86
N- Front Yard Setback		19.68	6.00	21.10	6.43	21.10	6.43
E - Side Yard Setback (10% of lot width)		3.64	1.11	2.49	0.76	2.99	0.91
W - Side Yard Setback (10% of lot width)		3.64	1.11	9.84	3.00	17.39	5.30
Parking		Required	Existing	Proposed			
Spaces		3 based on # of habitable rooms	4	4			
Parking Size		2.7 m x 6m	2.7 m x 6m	2.7 m x 6m			

DROMORE CRES

1 SITE LOT
1 : 100



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SP1.01

Scale 1 : 100

Sunroom
178 DROMORE CRES
SITE PLAN

No.	Description	Date
1	Issue for Variance	2021-5-20

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS	
Registered Owners(s)			
Applicant(s)*			
Agent or Solicitor			

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:
5. Why it is not possible to comply with the provisions of the By-law?
6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):
7. PREVIOUS USE OF PROPERTY

Residential _____ Industrial _____ Commercial _____

Agricultural _____ Vacant _____

Other _____
- 8.1 If Industrial or Commercial, specify use _____
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes _____ No _____ Unknown _____
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes _____ No _____ Unknown _____
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes _____ No _____ Unknown _____
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes _____ No _____ Unknown _____
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes _____ No _____ Unknown _____
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes _____ No _____ Unknown _____
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes _____ No _____ Unknown _____
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes _____ No _____ Unknown _____

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?
Yes _____ No _____ Unknown _____

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes _____ No _____

9. **ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Date



Signature Property Owner

Print Name of Owner

10. Dimensions of lands affected:

Frontage

Depth

Area

Width of street

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)
Existing:_____

Proposed

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)
Existing:

Proposed:

13. Date of acquisition of subject lands:

14. Date of construction of all buildings and structures on subject lands:

15. Existing uses of the subject property:

16. Existing uses of abutting properties:

17. Length of time the existing uses of the subject property have continued:

18. Municipal services available: (check the appropriate space or spaces)
Water _____ Connected _____
Sanitary Sewer _____ Connected _____
Storm Sewers _____

19. Present Official Plan/Secondary Plan provisions applying to the land:

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

21. Has the owner previously applied for relief in respect of the subject property?
Yes No
If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes No

23. Additional Information

24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.